

Design, Access and Heritage Statement

3 Windmill Hill, Hexham

Loft conversion and rear extension



March 2021

Table of Contents

Introduction	3
Historical significance	3
Proposed works	6
Discussion on the impact of the proposed works on the Corbridge Conservation Area.....	8
Design and Access.....	8

Introduction

No 3 Windmill Hill is one of a series of semidetached dwellings winding up this natural promontory within the Hexham Conservation Area, in the form of a crescent. As do other dwellings in the street, no.3 is constructed on a relatively steep slope from the street to the rear garden. Whilst the dwelling is two storey with access at street level, the steep slope to the rear creates an undercroft at lower ground level, thereby creating three storeys. The undercroft is approximately 1.8mets high and just high enough for head clearance.

The applicant wishes to:

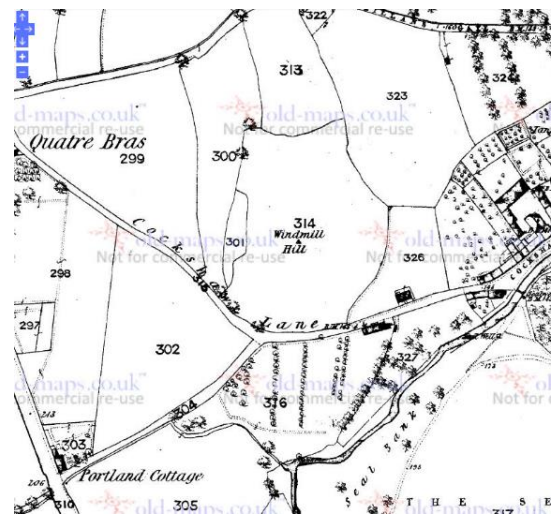
- Convert the loft space to provide additional bedrooms.
- Refurbish the lower ground floor room, for domestic use.
- Construct an extension to provide access between the ground floor and the lower ground floor

Historical significance

Map regression and the architectural design of the dwellings in Windmill hill indicate this area of Hexham was developed at the turn of the 20th C circa 1910. The Hexham Conservation Area Appraisal refers to this area as ‘Terraced suburbs’. Whilst the adjacent streets are laid out with relatively dense housing with back lanes and yards, Windmill Hill has a much more open aspect with the dwellings in semi-detached form rather than terraces, and each with private rear gardens. Clearly, these were meant for occupants of higher status.



1826



1865



1922

1





Nos 5 and 6 Windmill Hill

No. 3 Windmill Hill, as are the other dwellings constructed of coursed stone with a quarried face. No 3 has a single storey bay window constructed with dressed stone, with similar dressings to window surrounds and entrance door.

The roofs in Windmill Hill have natural welsh slates. The latter with overhanging eaves, more popular in the Edwardian period rather than the earlier Victorian roof eaves which were usually flush. Nos 5 and 6 have flat roof dormers to the roof spaces: typical Edwardian design with lead capping and side cheeks.

Whilst the front door to no 3, is the original panelled door with fielded panels, the original sliding sash box frame windows have been replaced with modern casement windows.



Street elevation to no 3



Rear garden elevation

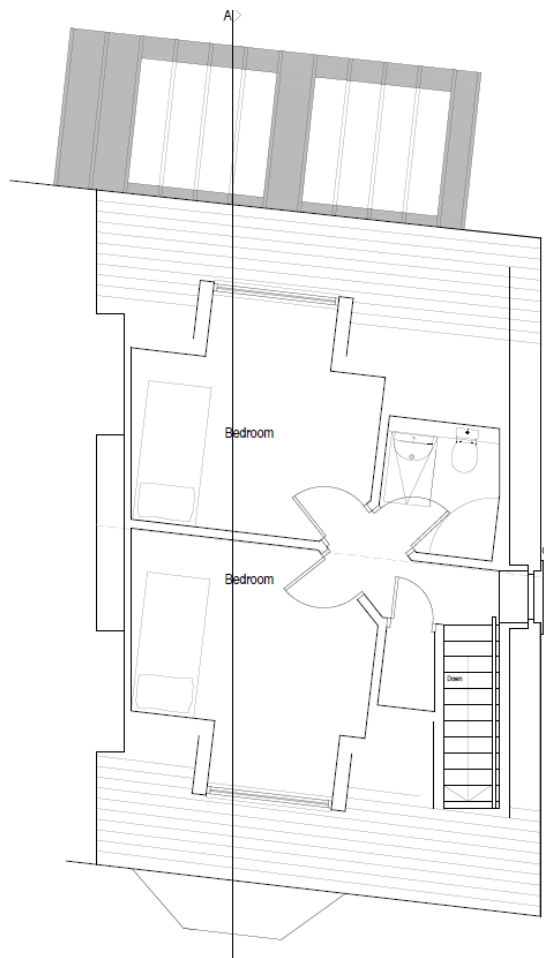


Rear elevation to no 4 Windmill Hill showing recently converted loft complete with two double pitched dormer windows.



Loft to no 3, with ample space for conversion

Proposed works



Loft conversion

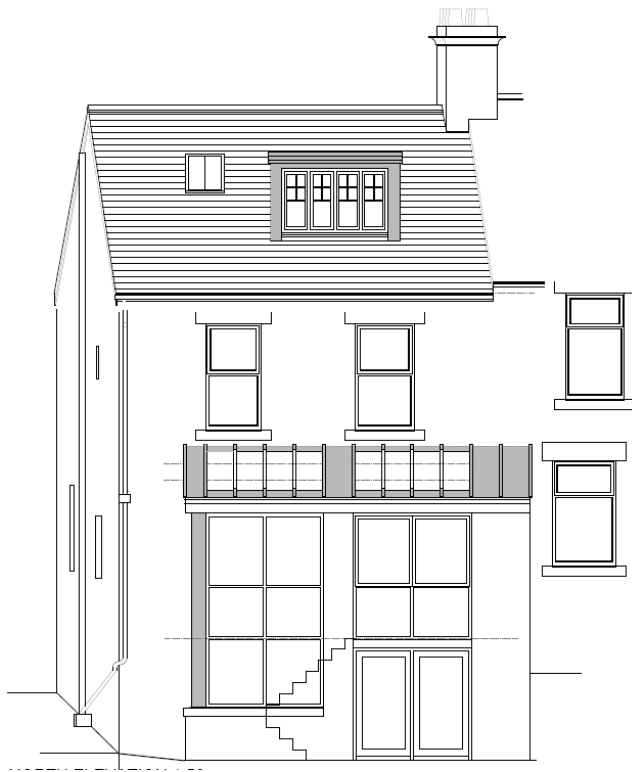
The proposed works will convert the loft space to provide two additional bedrooms complete with a shower room.

Each bedroom will have a dormer window to provide daylight and floor space. The dormers have been designed to be consistent with the Edwardian design/character of the dwelling, with lead flat roof and side cheeks, similar to those found at no 5 and 6 Windmill Hill, in terms of scale and proportions.

A rooflight will illuminate the shower room

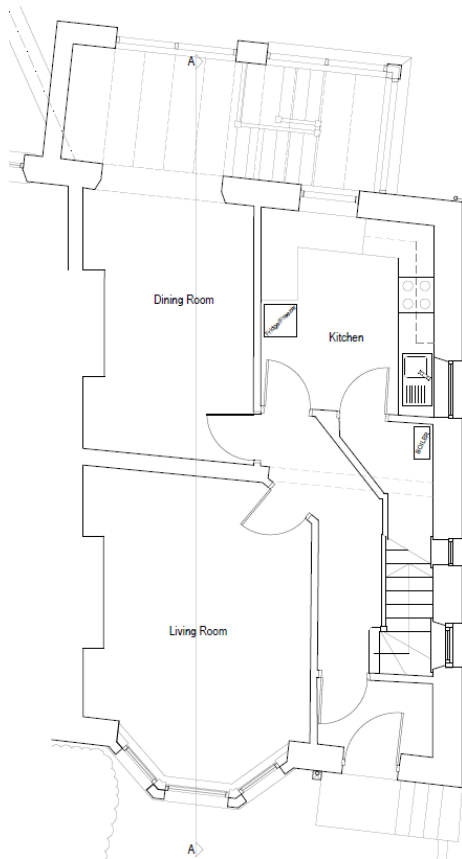
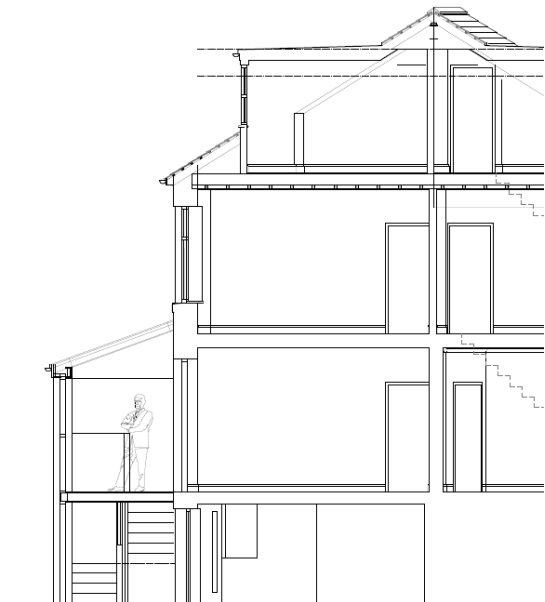


Rear Extension



The land profile creates a change in level from the front to rear of the property of nearly a full storey. This creates an undercroft. However, there is no direct access to the undercroft from the house other than by an external stair from the kitchen. The stair is constructed in timber.

The proposals in this application will construct an extension which will include a new stair, increasing floor space to the Dining Room, and provide access to the undercroft and garden. The undercroft will be refurbished to provide sound dry storage space.



The extension is designed in a contemporary style with powder coated aluminium glazing to capitalise on the views. The roof will be finished in zinc with standing seams, and the walling finished in self coloured render. The roof will include roof glazing to provide daylight to the Kitchen and Dining Room.

Discussion on the impact of the proposed works on the Hexham Conservation Area

The only change to the main front elevation will be the addition of a dormer window. The design of the dormer has been informed by the similar dormers within the street, ie. a lead finished flat roof dormer. The style of the dormer is consistent with the street and the Edwardian style of the dwelling, both in scale, and proportion. The windows will be painted hardwood with sealed double glazed units.

The dormer to the rear will be similar to that to the front.

The rear extension is needed to resolve the poor access from the house to the undercroft and the garden. Although, it is a little under two storeys high by virtue of the sloping site, it sits very low in the rear elevation reaching only up to the ground floor.

The lean-to mono pitch roof form to the extension is appropriate and sympathetic to the Conservation Area.

The contemporary design of the extension using render, aluminium glazing and zinc roof finish sits comfortably in the Conservation area and will have a positive effect on its character.

Design and Access

Amount, mass and form

The proposed works will be a very modest addition to the existing building. Its form as a lean-to with a mono-pitch roof is sympathetic to the character of the Conservation Area

Access

Existing access to the main entrance will be retained. A new level access will be provided to the dwelling to the lower ground floor level.

Layout

The general layout of the building will remain unchanged: only minor internal changes to layout.

Scale and appearance

The general scale of the dwelling will be unaltered.

The changes to external appearance have been designed to ensure they are consistent with the appearance of the dwellings the wider Conservation Area.