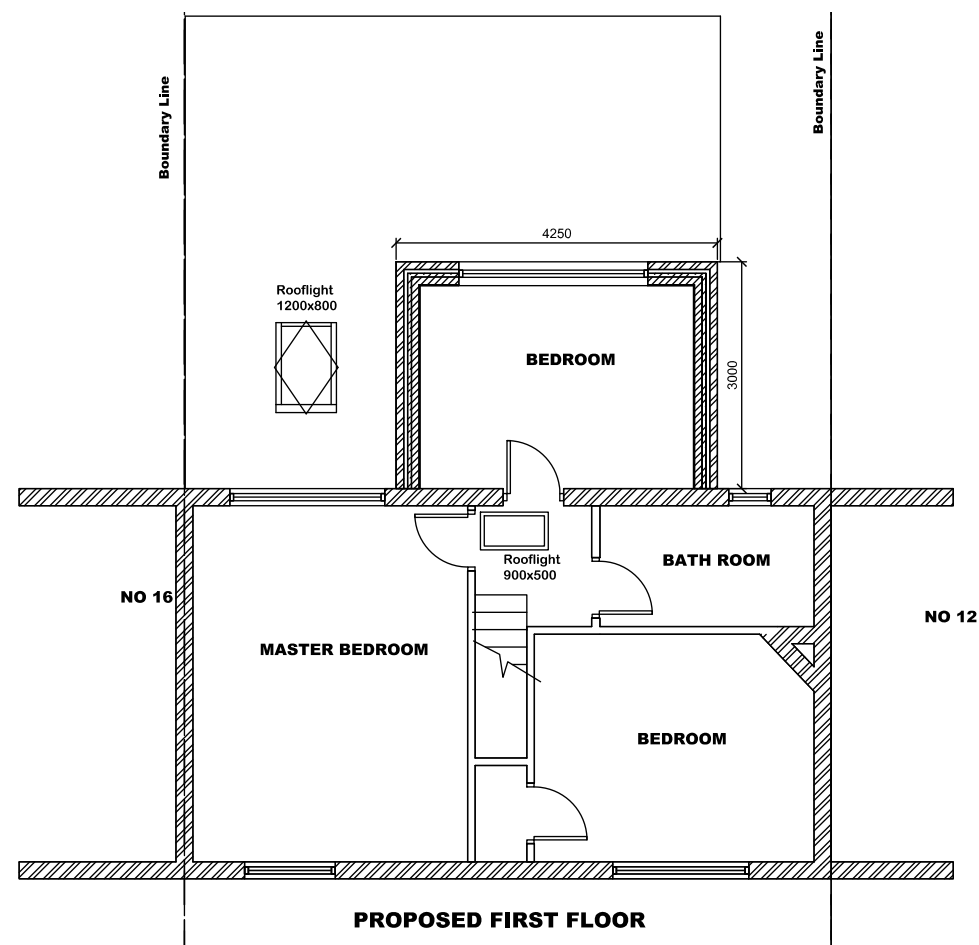
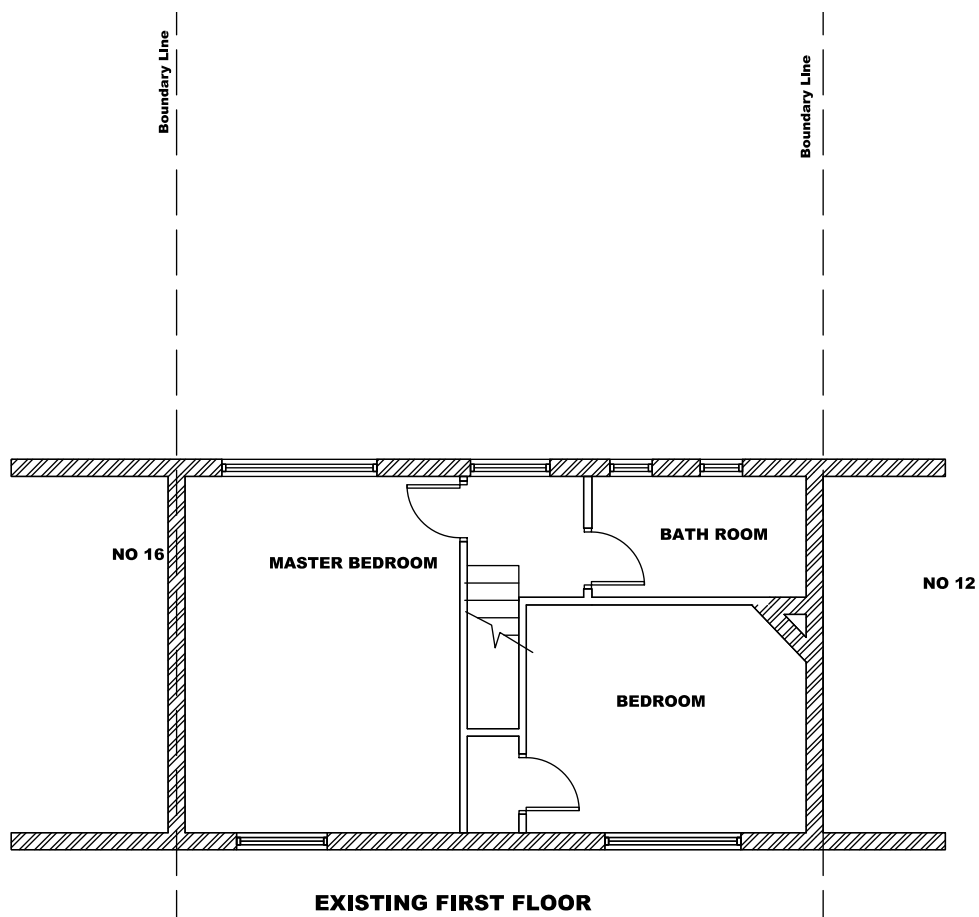


**General Notes:**

1. All works to be carried out to the latest Building Regulations and in accordance with the current Code of Building Practice.
2. All dimensions to be checked on site prior to ordering the materials and commencing the work. Any discrepancies found on the drawing to be agreed with the Employer.
3. All dimensions must not be scaled and no variations to the stated dimensions will be permitted without the prior consent of the Local Authority Building Control Officer and Employer. This also applied to any specified materials.
4. Insulated cavity closers are to be provided to the reveals to all openings in the cavity walls
5. The new electrical installation should be designed, installed and tested to BS7671:2008 and certified by a competent Person for submission to the Council
6. All lighting units are to be fitted with LED bulbs

**PARTY WALL ACT**

The owner, should they need to do so under the requirements of the Party Wall Act 1996, has a duty to serve a Party Structure Notice on any adjoining owner if building work on, to or near an existing Party Wall involves as Excavations within 3 metres of an existing structure where the new foundations will go deeper than adjoining foundations, or within 6 metres of an existing structure where the new foundations are within a 45 degree line of the adjoining foundations. A Party Wall Agreement is to be in place prior to start of works on site.



SITE ADDRESS	14 HOLMAN ROAD EPSOM SURREY KT19 9PQ	
TITLE	PROPOSED AND EXISTING GROUND & FIRST FLOOR PLANS	
DRG. NO 14HR/01	SCALE 1:100	DATE APRIL 2021