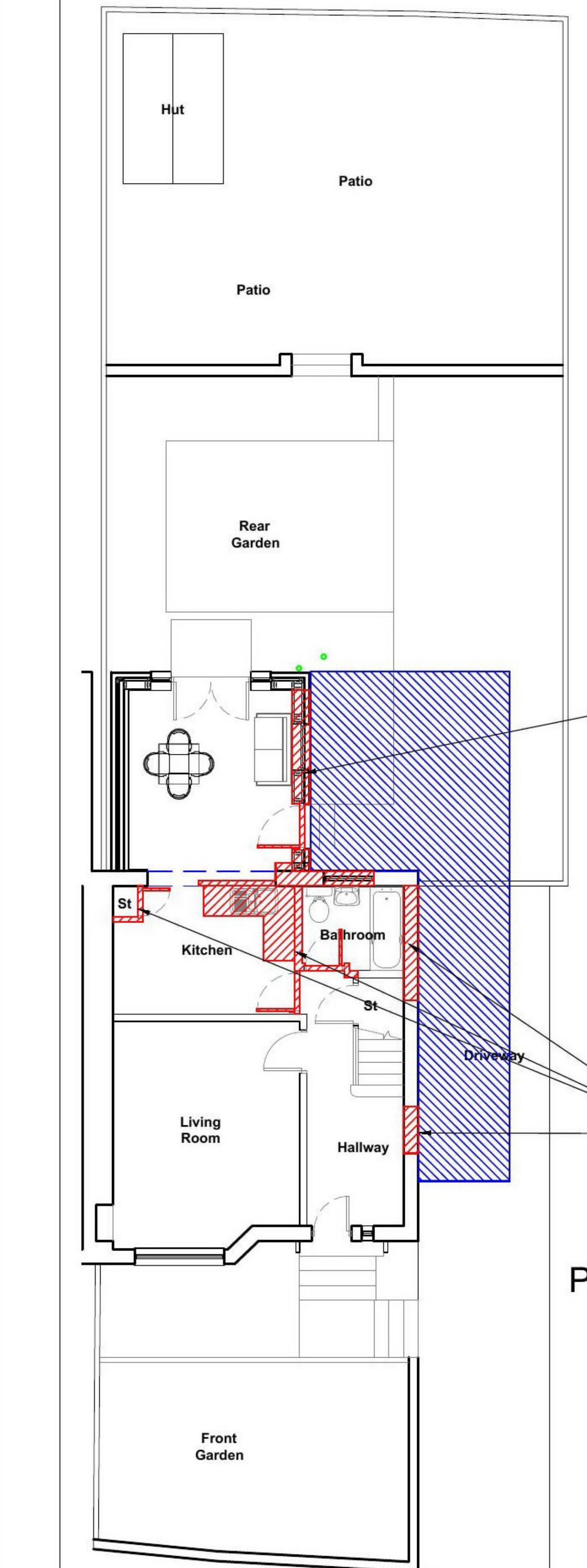


Drawing to be read in conjunction with Drawing 003.21.002. Drawing for Planning & building warrant purposes.

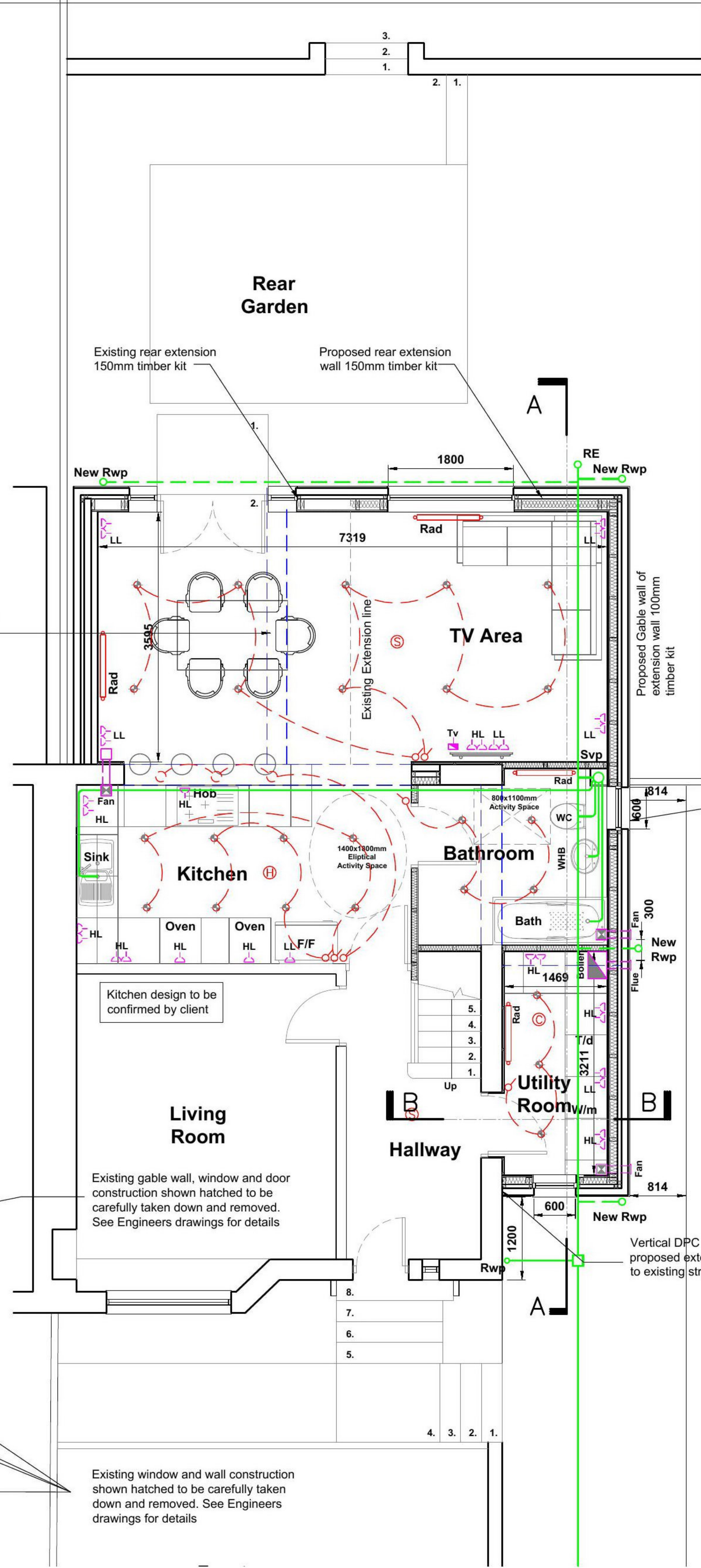
- General Notes
- Do Not scale from this drawing
 - This drawing is to be read in conjunction with all relevant drawings and specifications, i.e. structural engineer's drawings etc
 - The contractor must advise the Designer and Engineers of any discrepancies between the contract drawings and the existing site dimensions
 - All dimensions to be checked on site prior to fabrication or erection
 - Contractor to take exact measurements on the proposed roof to ensure roof construction c/w lead flashing sits under first floor window cills and does not impede at its furthest projection the internal ceiling height.
 - Contractor / Client to inform of any underground services within the proposed area prior to commencement of works or ordering of materials.
 - No work to be begun until the appropriate approvals (i.e Building warrant and planning) have been received. Initial drawings submitted to the council may require altering to suit local authorities comment. Councils stamped drawings should be used during construction.
 - Client / Contractor responsibility to investigate existing ground prior to construction with regards to existing underground services, i.e. gas, water etc.
 - Scottish Water - It is the Owners responsibility to obtain the appropriate consents from Scottish Water regarding building over Water mains & sewers
 - Clients responsibility to confirm if in a listed building or conservation area prior to submitting for approvals.
 - For Additional information see www.cafdesigns.co.uk
 - All dismantling and demolition works to be carried out in accordance with BS 6187:2011 and the Health and Safety at Work Act 1974
 - All works to Building (Scotland) Act 2003 and Building (Scotland) Regulations 2018
 - Where the land is sloping at the proposed works or surrounding area, then it is the clients responsibility to provide a survey i.e. topographical survey to provide accurate gradients.
 - If in Doubt Ask

See Engineers drgs for intel support



EXISTING GROUND FLOOR PLAN SCALE 1:100

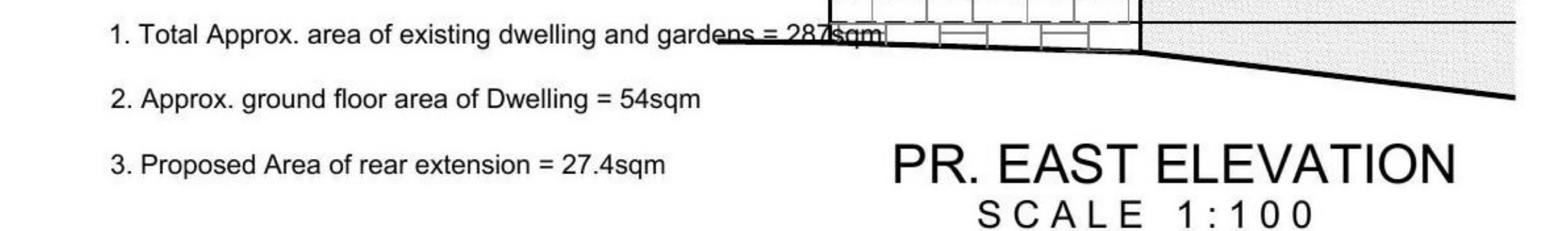
- Total Approx. area of existing dwelling and gardens = 28.6sqm
- Approx. ground floor area of Dwelling = 54sqm
- Proposed Area of rear extension = 27.4sqm



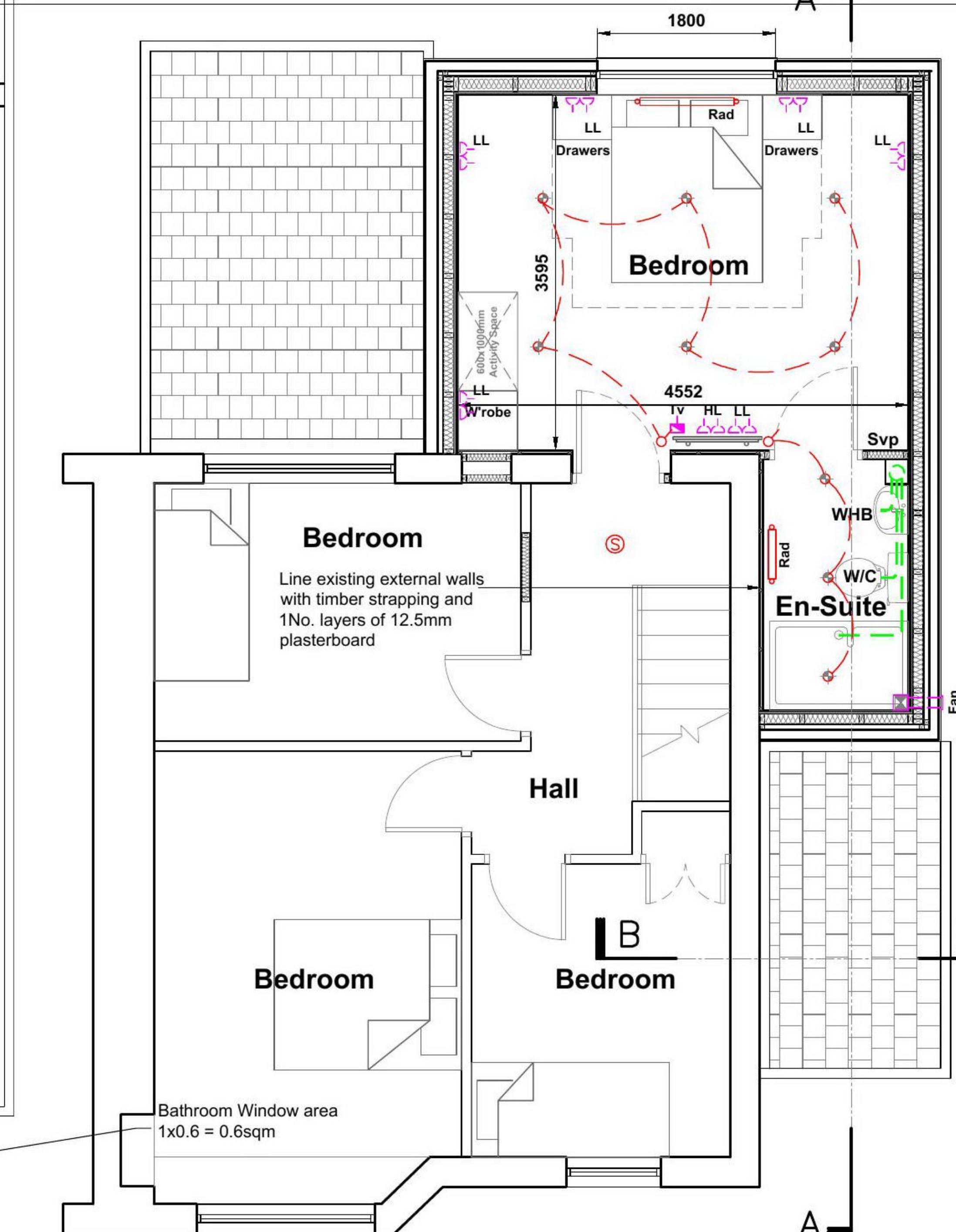
PROPOSED FIRST FLOOR PLAN SCALE 1:50

- Proposed Downtakings
- Proposed Rear / Side Extension

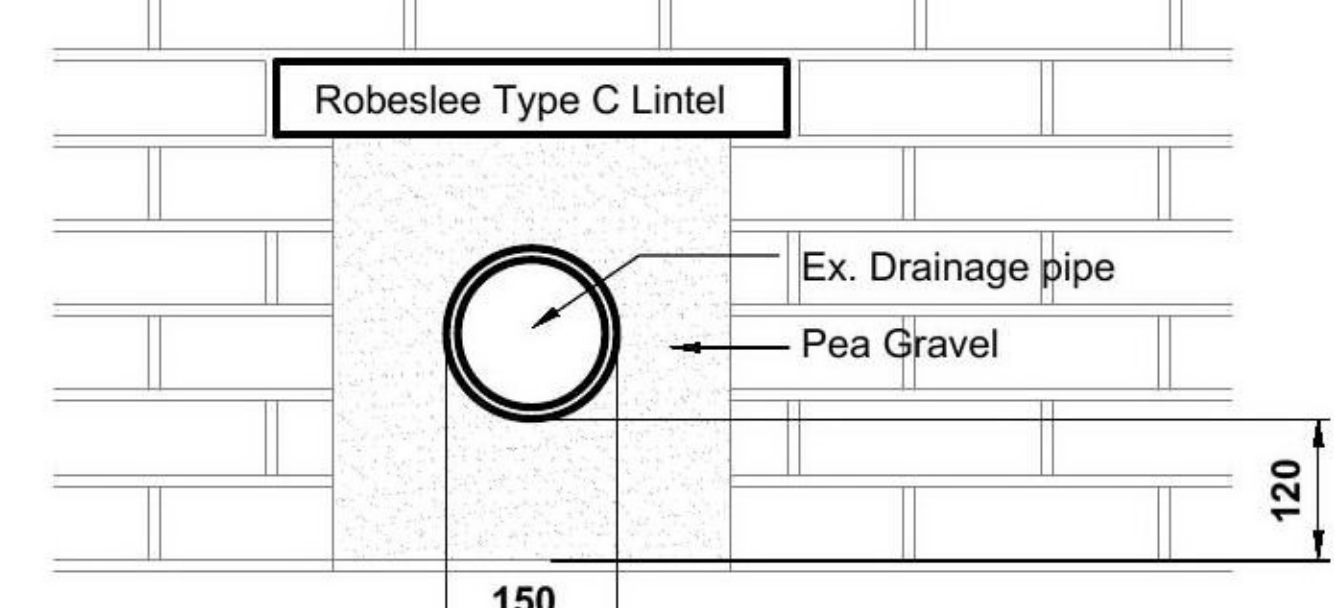
All construction to be erected on Clients land. No construction to encroach onto Neighbouring land



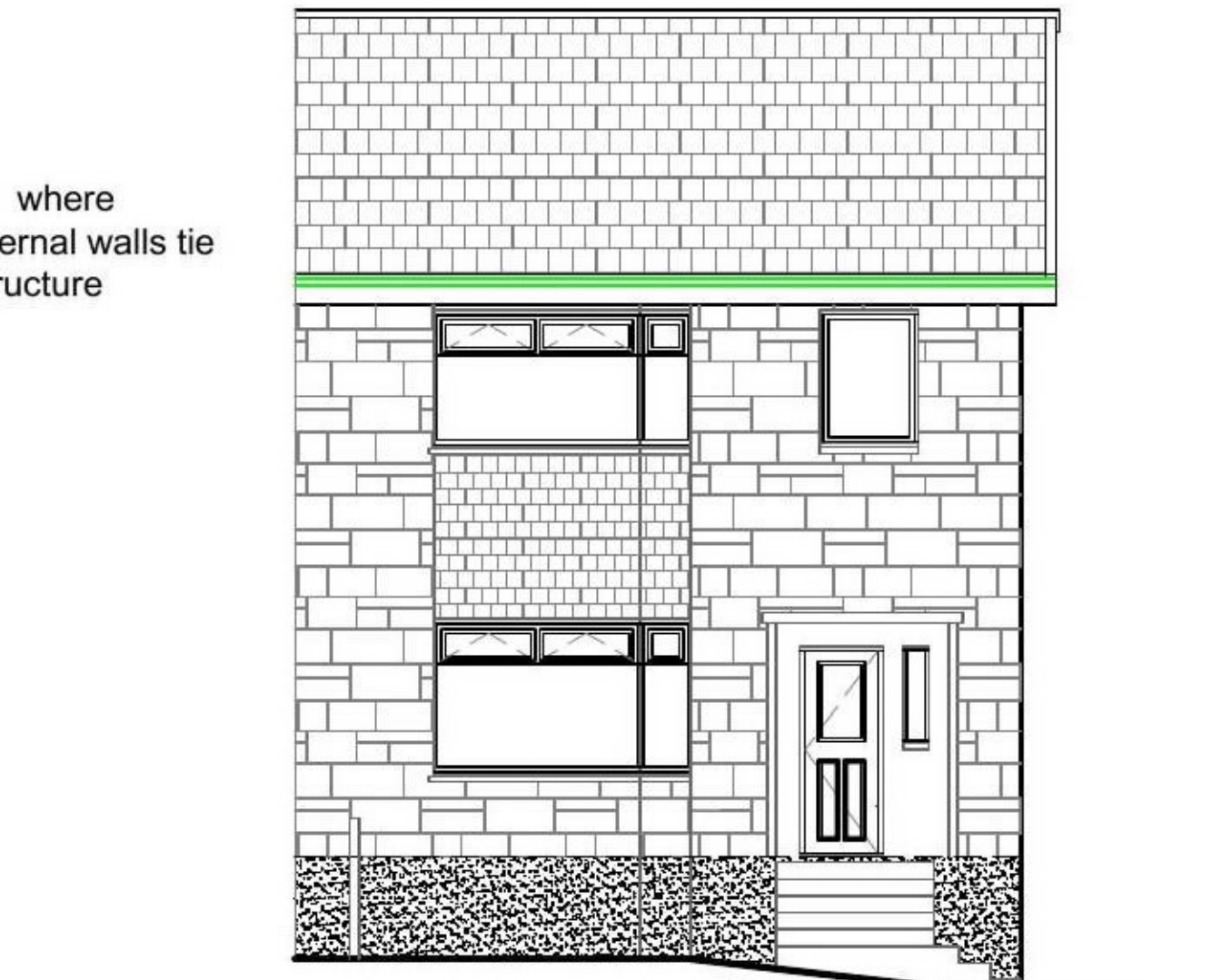
PR. EAST ELEVATION SCALE 1:100



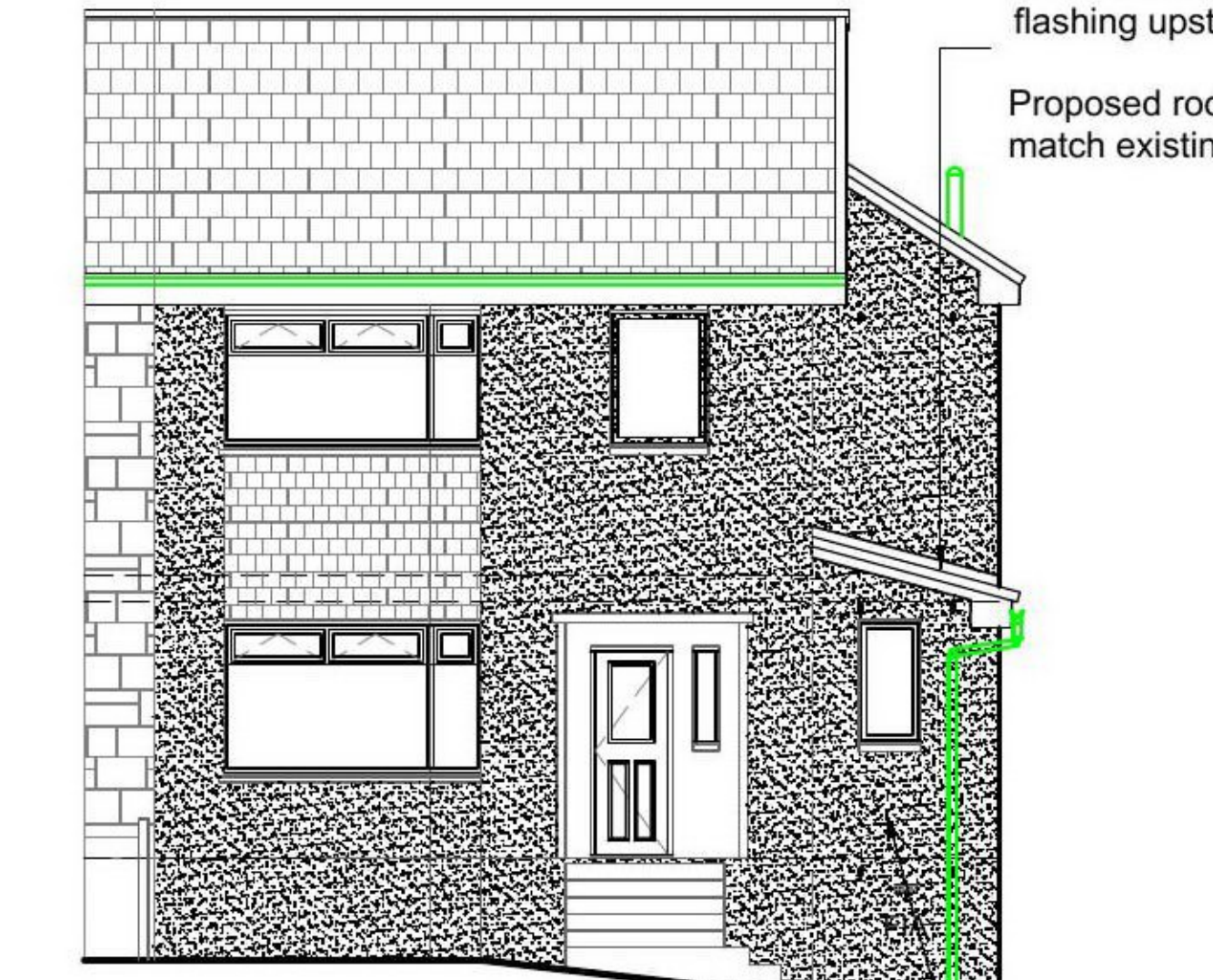
PROPOSED FIRST FLOOR PLAN SCALE 1:50



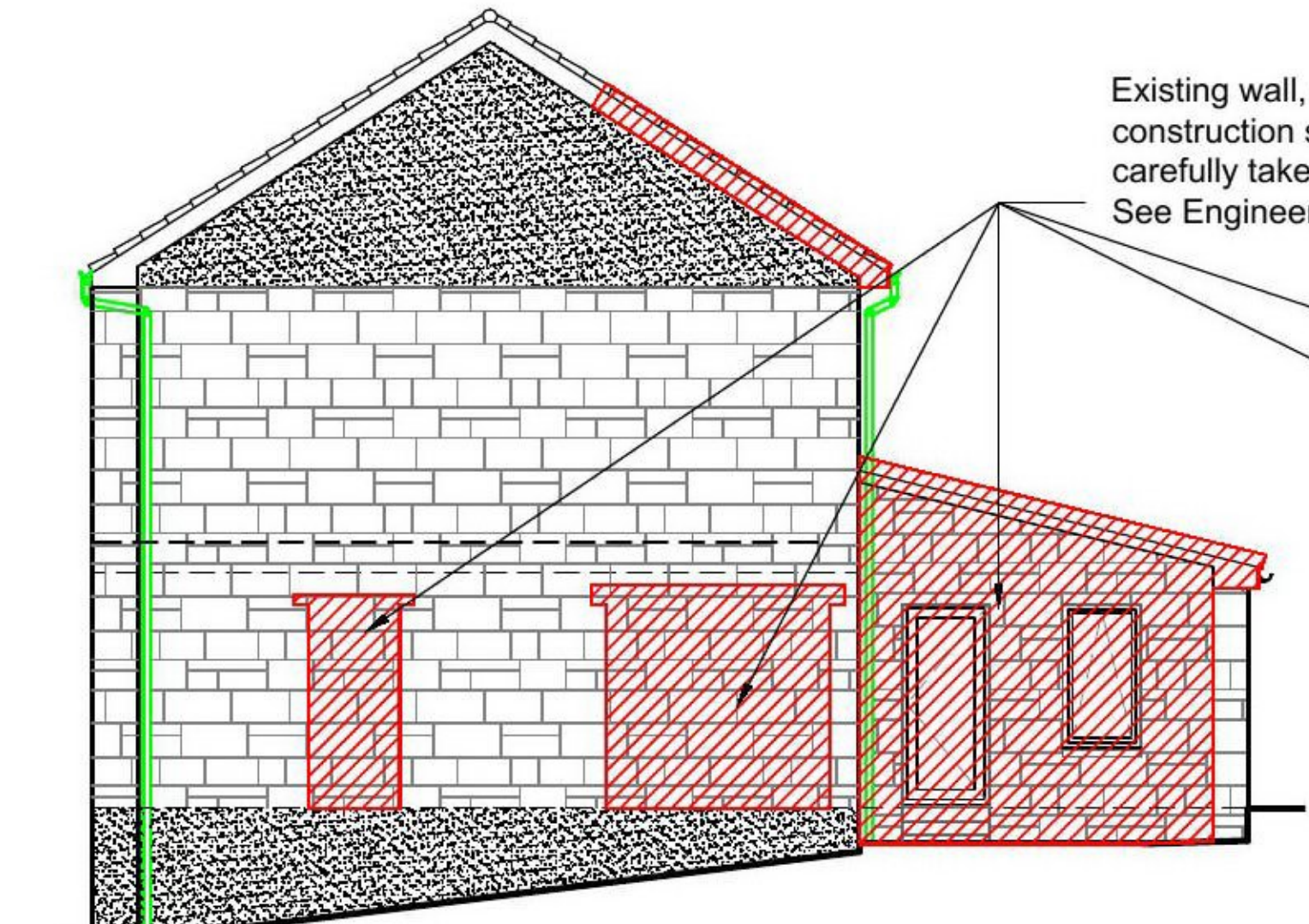
PROPOSED DRAIN DETAIL E-E SCALE 1:10



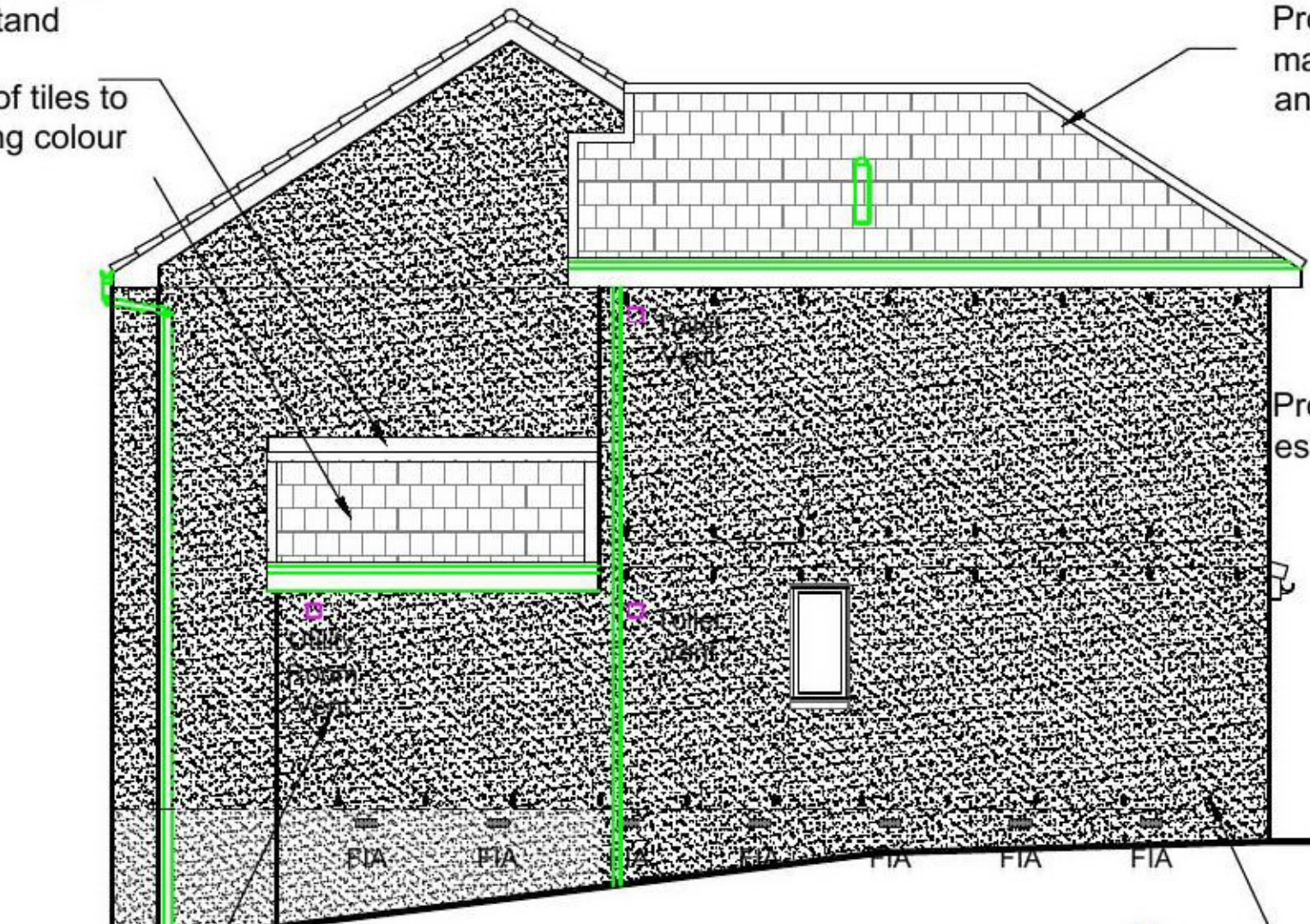
EX. NORTH ELEVATION SCALE 1:100



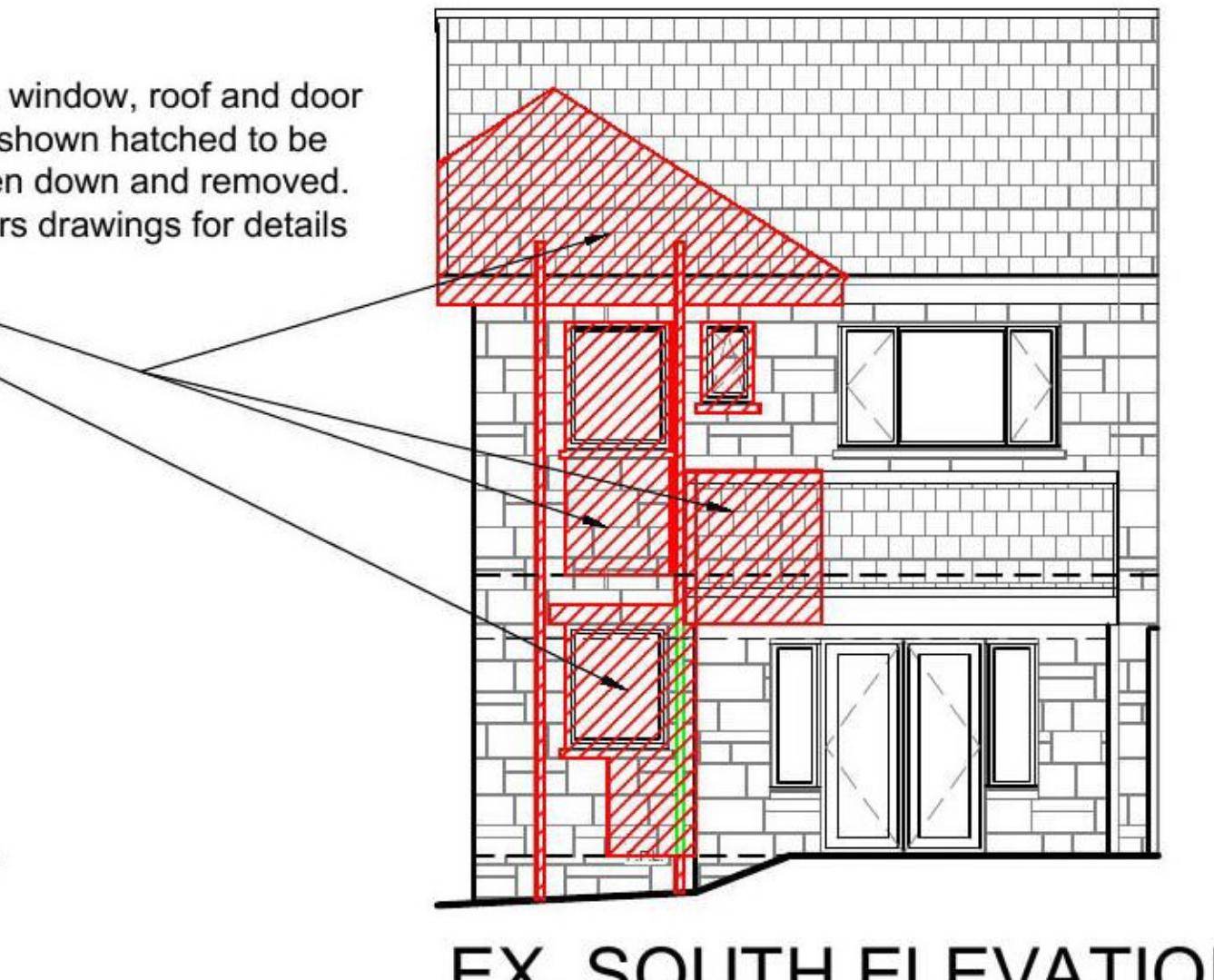
PR. NORTH ELEVATION SCALE 1:100



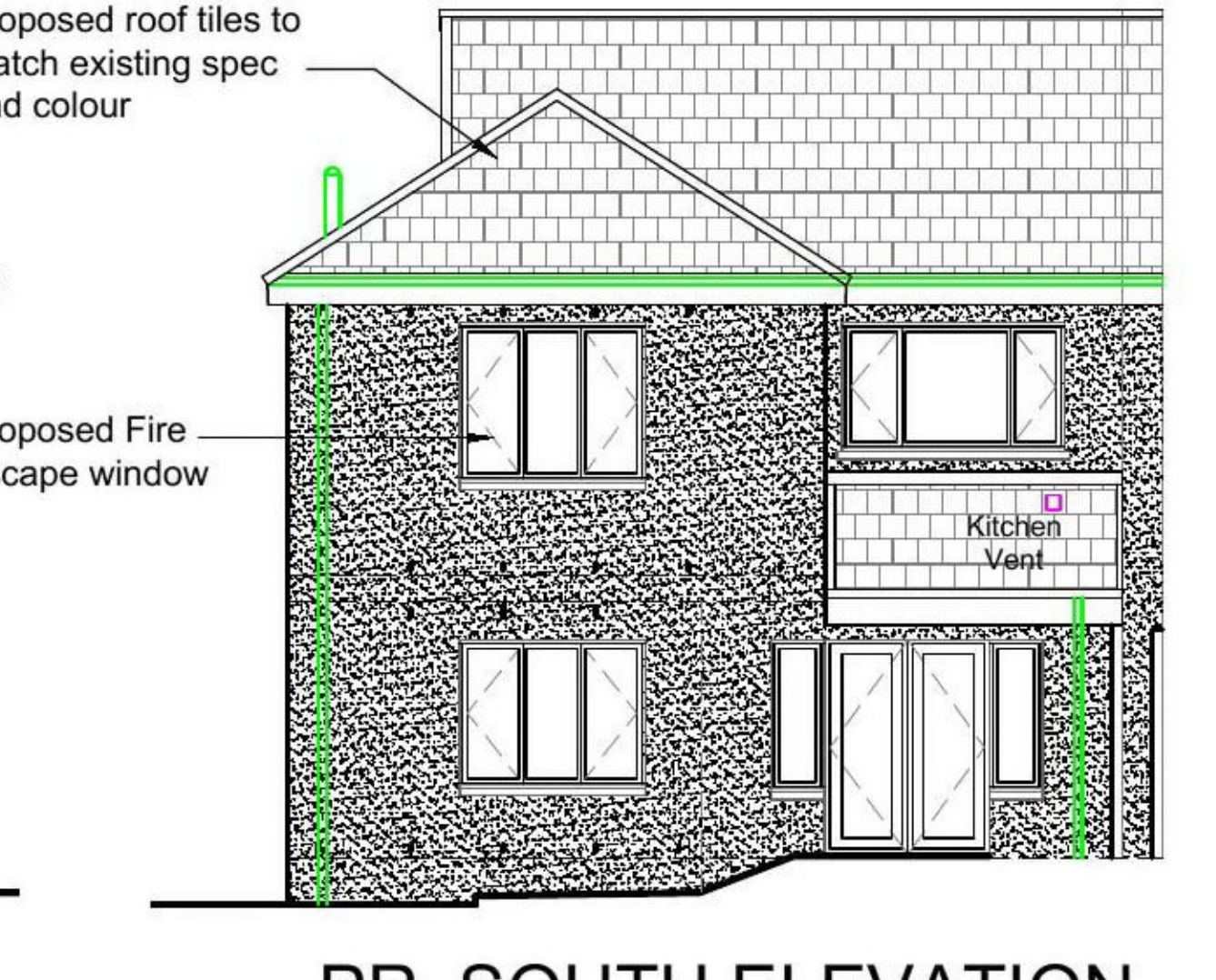
EXISTING WEST ELEVATION SCALE 1:100



PROPOSED WEST ELEVATION SCALE 1:100

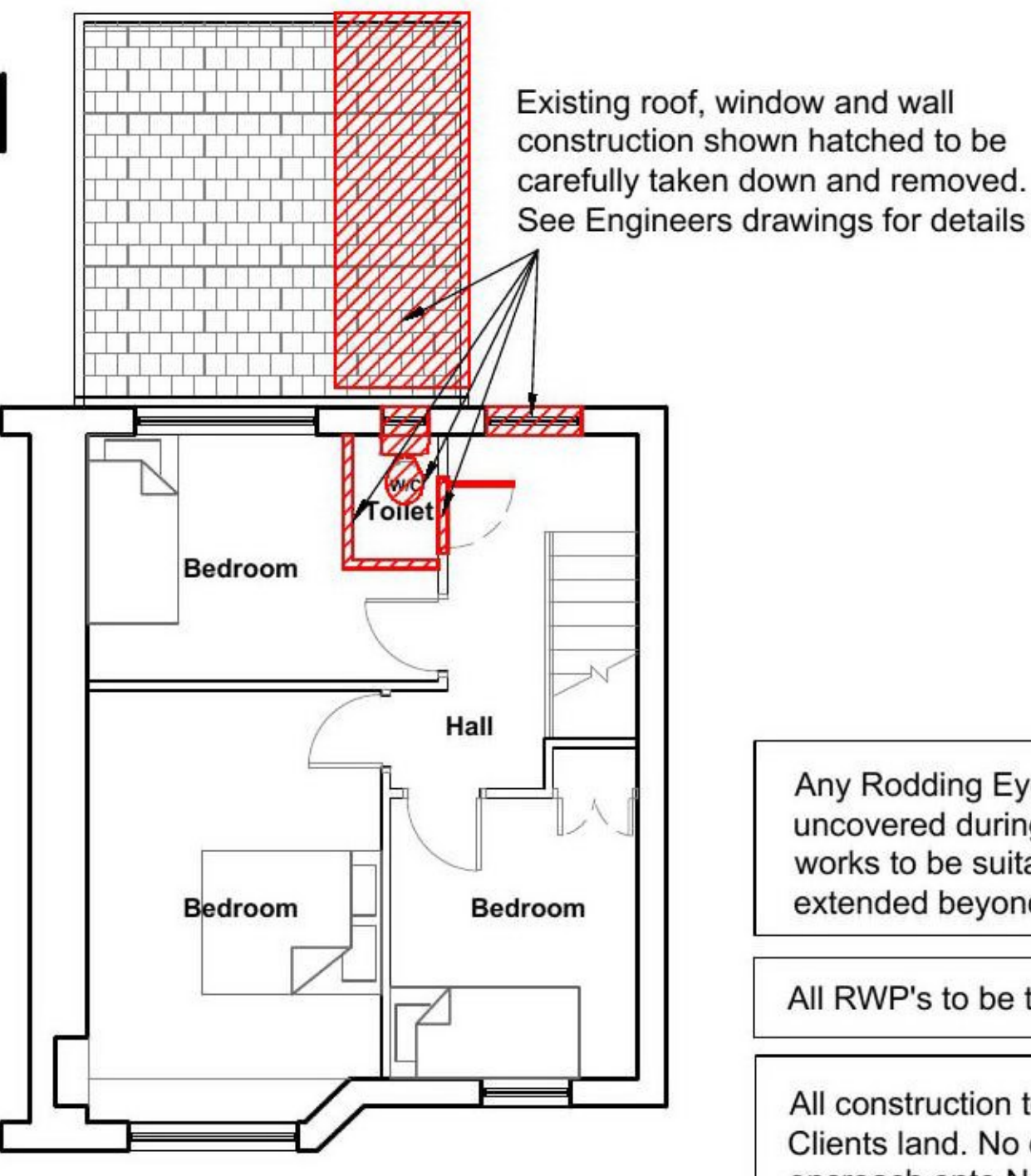


EX. SOUTH ELEVATION SCALE 1:100



PR. SOUTH ELEVATION SCALE 1:100

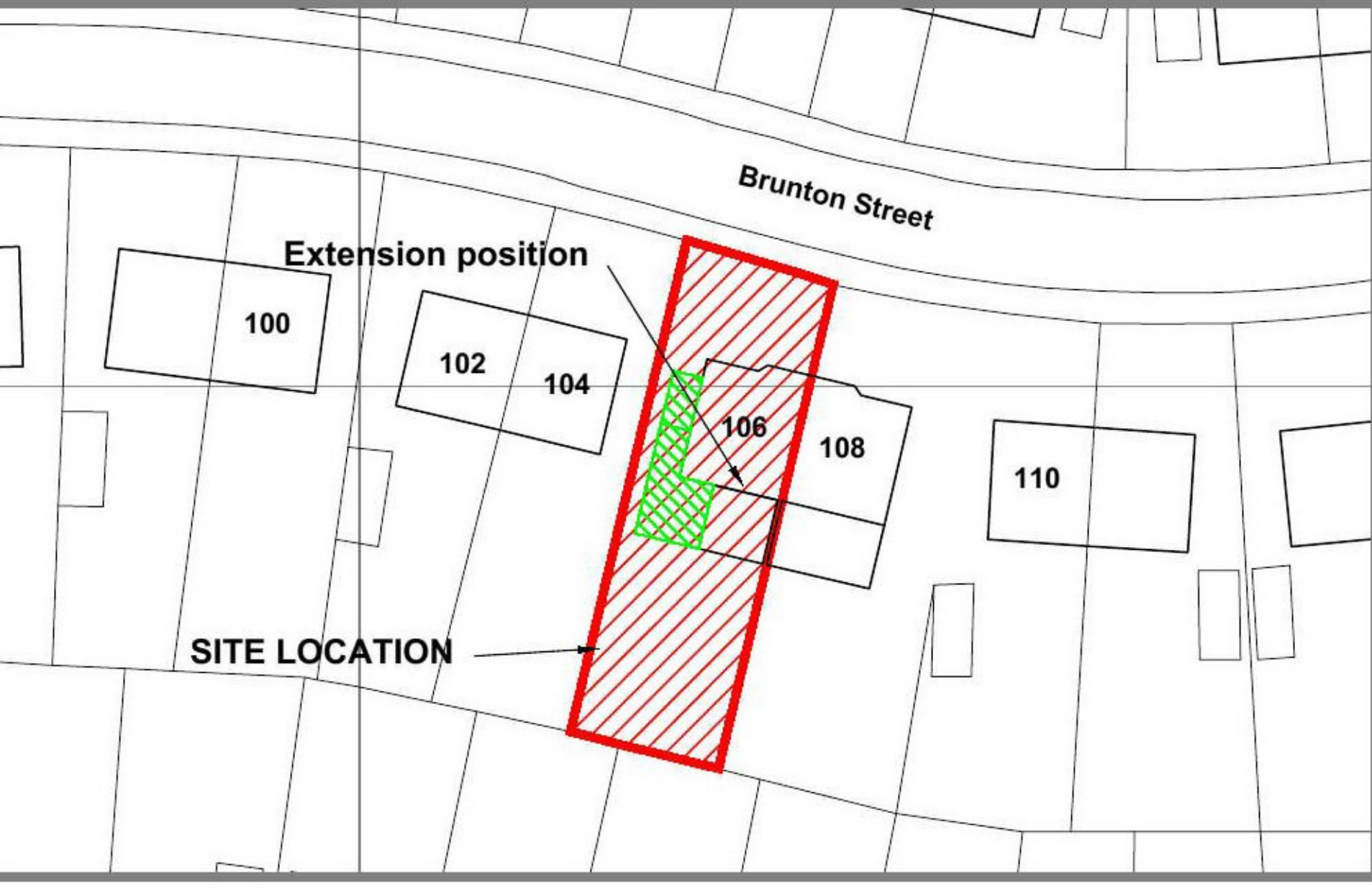
- Legend
- Proposed Electrical lighting circuit
 - 2-Way Light Switch
 - Light Switch
 - Pendant Light Fitting with Ceiling Rose
 - Smoke detectors - wired to mains electrical supply; positioned min 300mm from light fittings and adjacent walls provided with battery backup
 - Hot water radiator connected to existing hot water system c/w TRV's
 - Proposed ceiling/ wall mounted mechanical ventilation by a Fan c/w ducting to external wall and vermin cover
 - Double 13A Socket
 - Low Level
 - High Level
 - Existing Electric Meter and Distribution Board
 - Relocated Semi recessed Gas Meter
 - Existing Drainage
 - Proposed Drainage Run
 - Rain Water Pipe
 - Soil Vent Pipe
 - Rodding Eye
 - Heat Detector
 - Recessed Spotlight



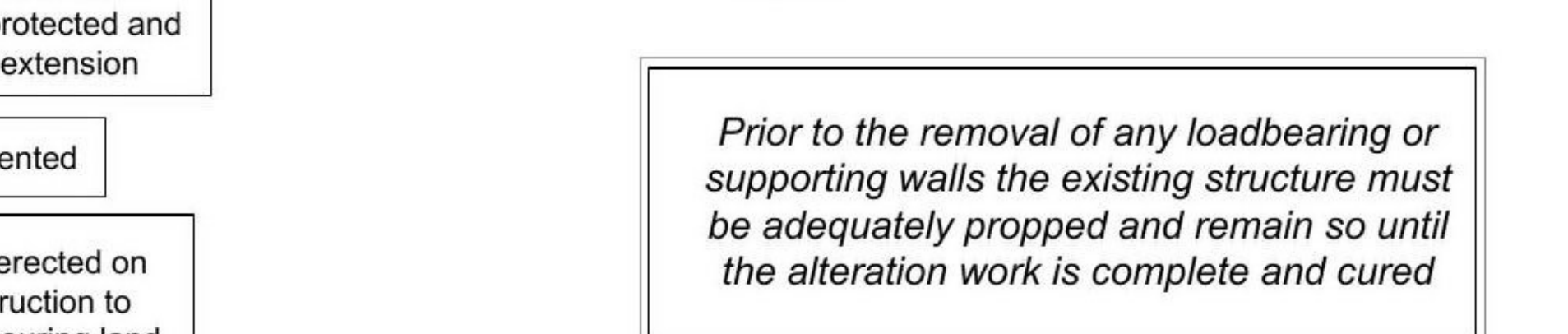
EX. FIRST FLOOR PLAN SCALE 1:100



EXISTING PHOTOGRAPHS



SITE LOCATION PLAN 1:1250



SITE PLAN 1:500

Any Rodding Eyes affected and uncovered during construction works to be suitably protected and extended beyond the extension

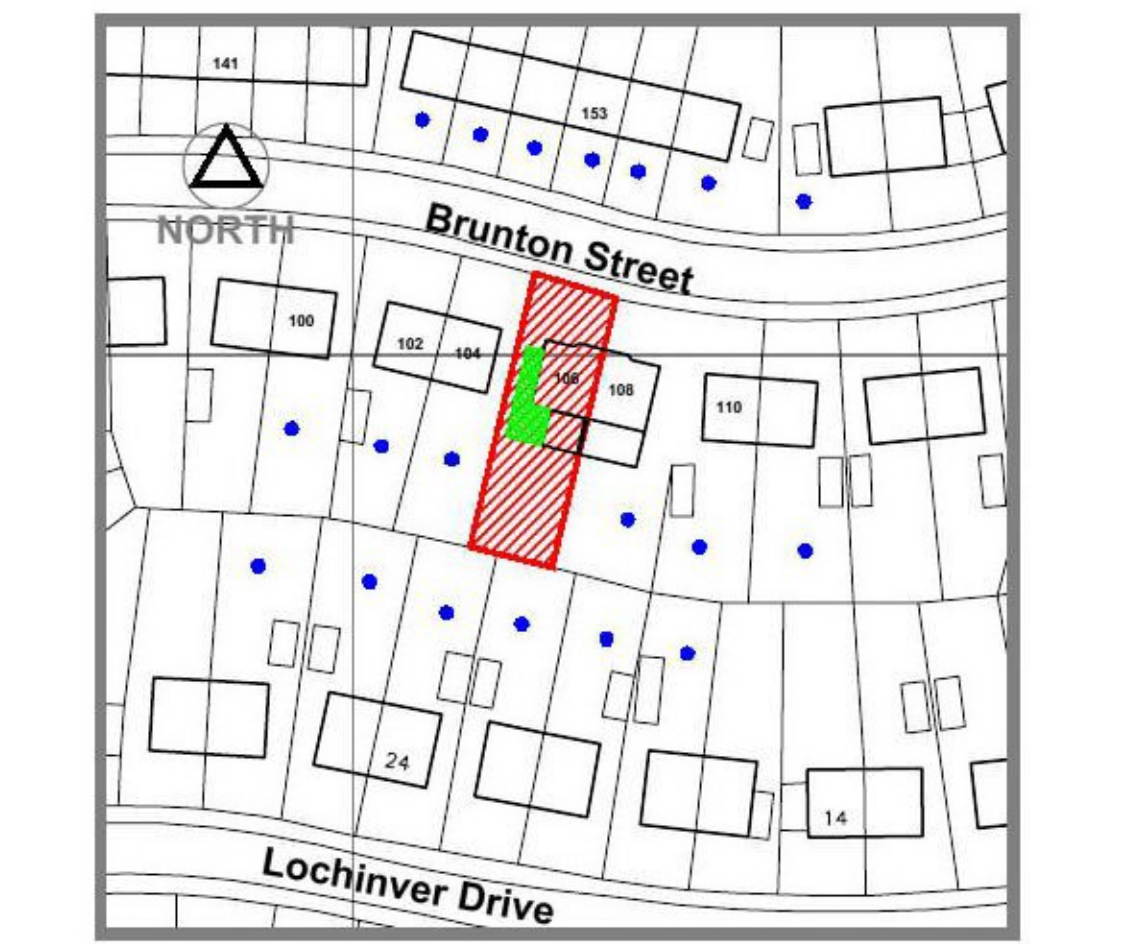
All RWP's to be trap vented

All construction to be erected on Clients land. No construction to encroach onto Neighbouring land

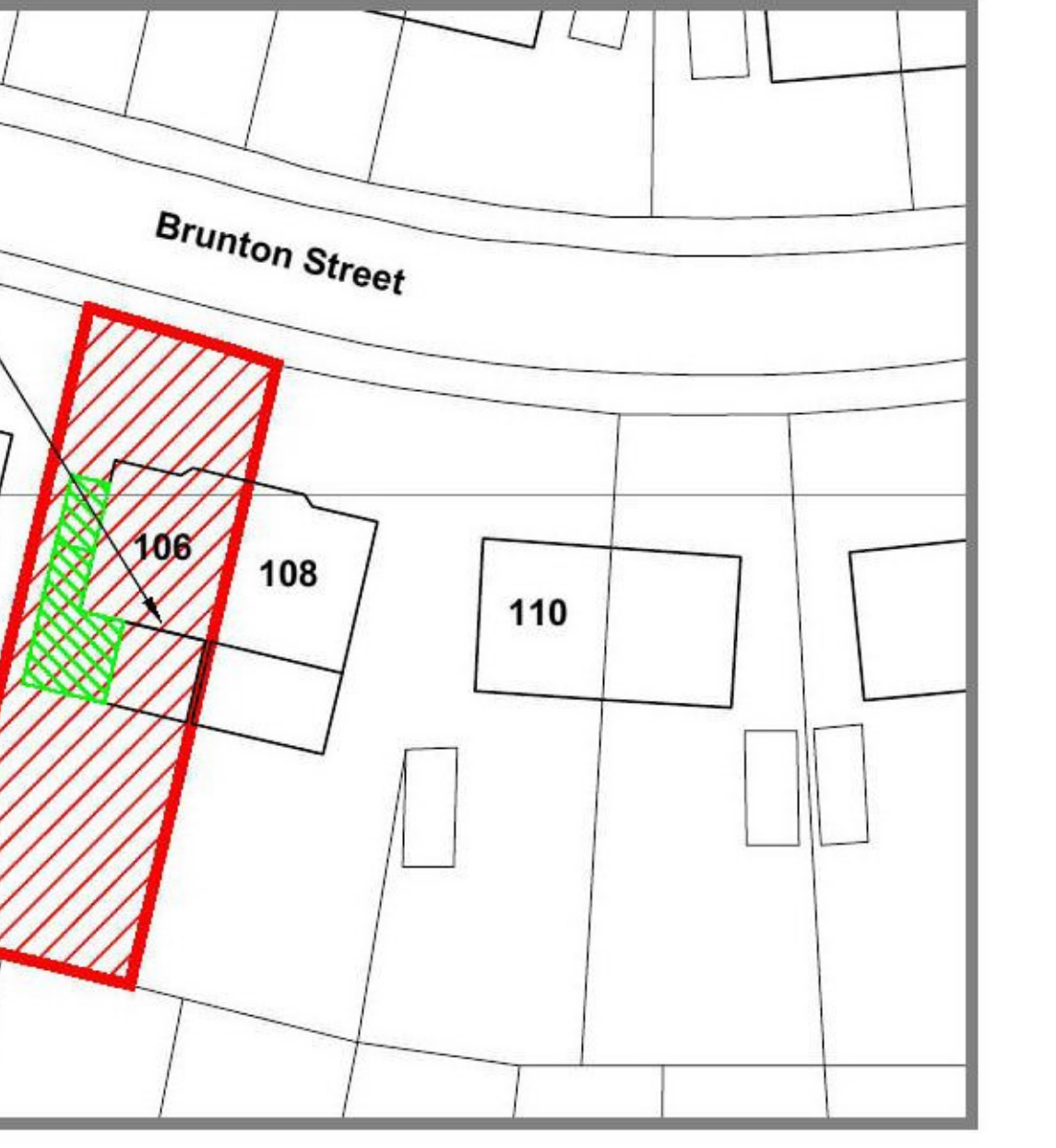
For all structural implications, detailing and specification see Structural Engineers designs and specifications

Prior to the removal of any loadbearing or supporting walls the existing structure must be adequately propped and remain so until the alteration work is complete and cured

SITE NATIONAL GRID REFERENCE NS 258323E, 660096N



SITE NATIONAL GRID REFERENCE



EXISTING PHOTOGRAPHS

Client and Project Address

Mr & Mrs Martin Kennedy
106 Brunton Street
Cathcart G44 3NQ

Drawing Title

Proposed Rear/ Side Extension
Existing & Proposed Plans & Location Plans

Rev E Description Elevations and services added Date 25/03/21

pringle Joinery
Sunrooms & Extensions

CAF
CAF DESIGNS
53 CALDERGLEN AVENUE
THE ELMS BLANTYRE

PLANNING

Drawn by CAD Location
CAF C:\Drawings\003-21

Scale Date Paper Size
1:50 Feb 21 A1

Drawing no. 003-21.001 E