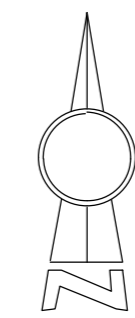


Blue lines denote information taken from OS Plans



1. Figured dimensions to be taken in preference to scaled dimensions
2. All dimensions are to be checked on site by the main contractor and any discrepancies found are to be reported to Sangwin Architects Ltd
3. This drawing is the copyright of Sangwin Architects Ltd
4. Contact details:

email  
**info@sangwinarchitects.co.uk**  
 office  
**01482 887729**

address  
**20 Flemingate, Beverley,  
 East Yorkshire, HU17 0NR.**

**House Type Schedule**

**Affordable Homes (15%)**

Adstock (mid)	2bed	775sq.ft	1	
Adstock (end)	2bed	775sq.ft	1	
			sub total	2 no.

**Private Sales**

Adstock (end)	2bed	775 sq.ft	2	
Adstock (mid)	2bed	775 sq.ft	3	
Addington (end)	3bed	775 sq.ft	2	
Hockney	3bed	955 sq.ft	6	
Woburn	3bed	1108 sq.ft	3	
Elwell	3bed	1140 sq.ft	3	
Asquith	4bed	1270 sq.ft	3	
			sub total	22 no.

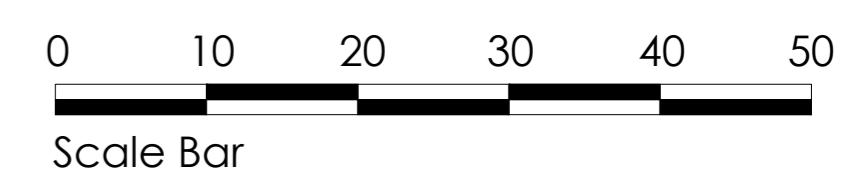
total 24 no.

Area = 0.774 hectares

Density = 31 houses per hect

- Affordable Homes (15%)
- Root protection Zones (7m)
- 1.8m high brick wall
- 1.8m high timber feather boarded fence
- 1.2m high metal Estate Fencing

Revision A - 17 February 2020.  
 Extended leg to turning head and link to remainder of allocation adjacent to plot 17 removed as no longer required. Footpath to Ness Lane removed in accordance with Highways Officers consultation response.  
 Revision B - 8th March 2021 - Changes made to layout based on comments by ERYC Highways Department. Tree T10a indicated.  
 Revision C - 1 April 2021 - Minor changes made to site plan at request of ERYC Planning Department.  
 Revision D - Affordable Housing to plot 15 replace with home for private sale.  
 Revision E - Footpath crossing and tactile paving added.  
 Revision F - Trees already removed and area for AGS added.



Client  
**Ward Homes Yorkshire**

Project Description  
**8 Sproatley Road  
 Preston  
 East Yorkshire**

Drawing Title  
**Site Plan**

Date	first drawn 26 August 2020
Scale	1:500 @ A1
Job Number	3190/ 09f

