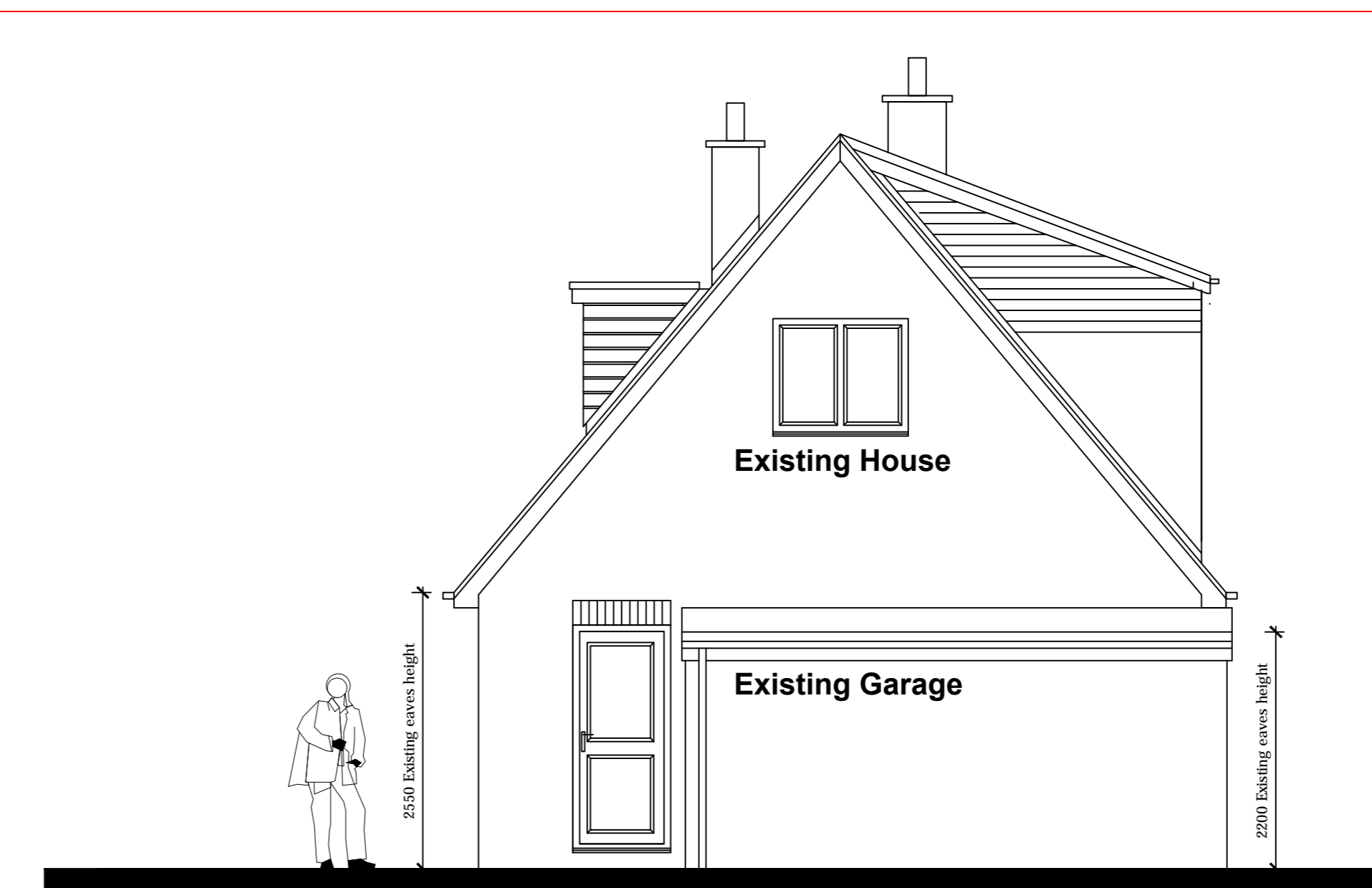


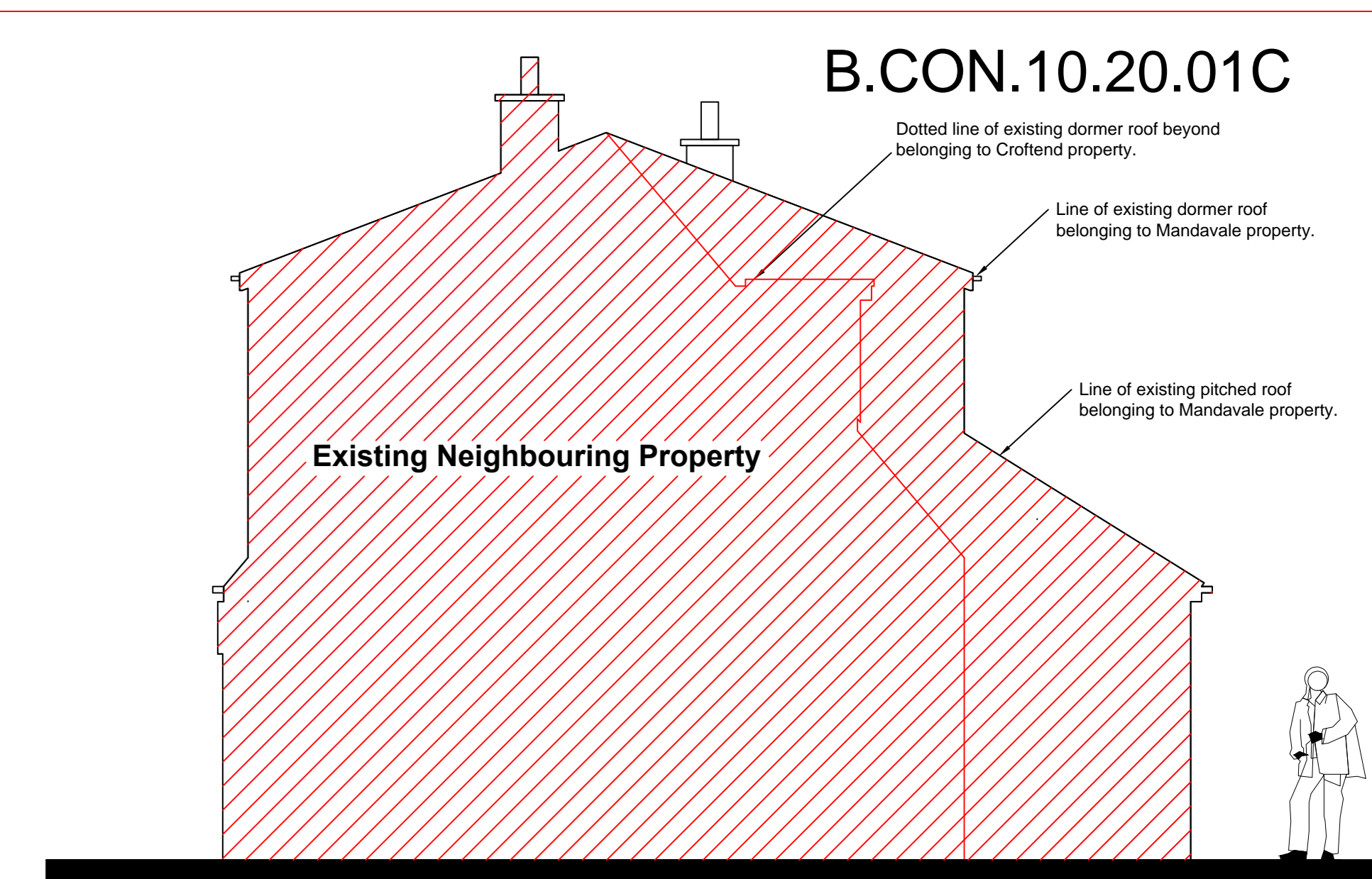
EXISTING WEST ELEVATION



EXISTING EAST ELEVATION



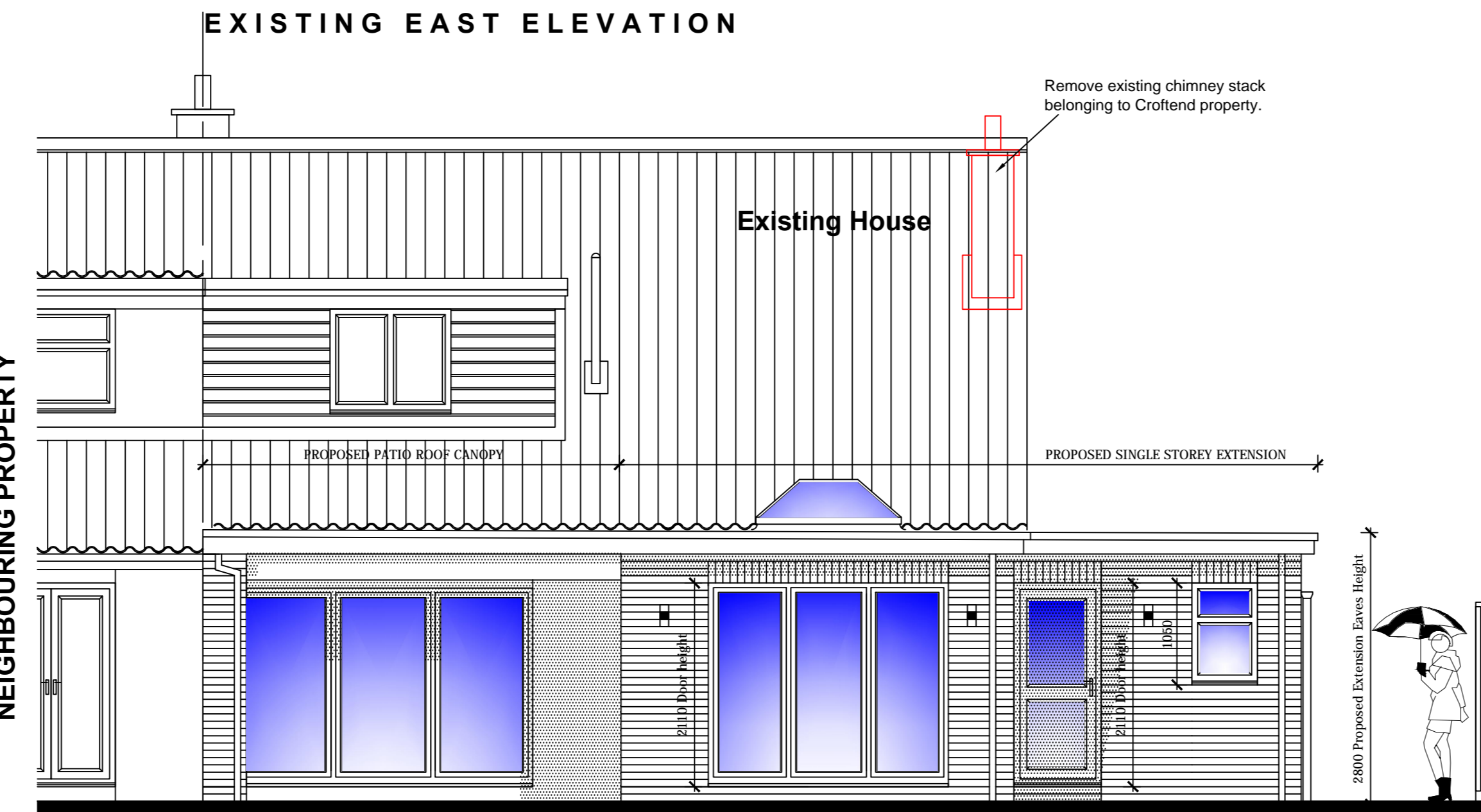
EXISTING NORTH ELEVATION



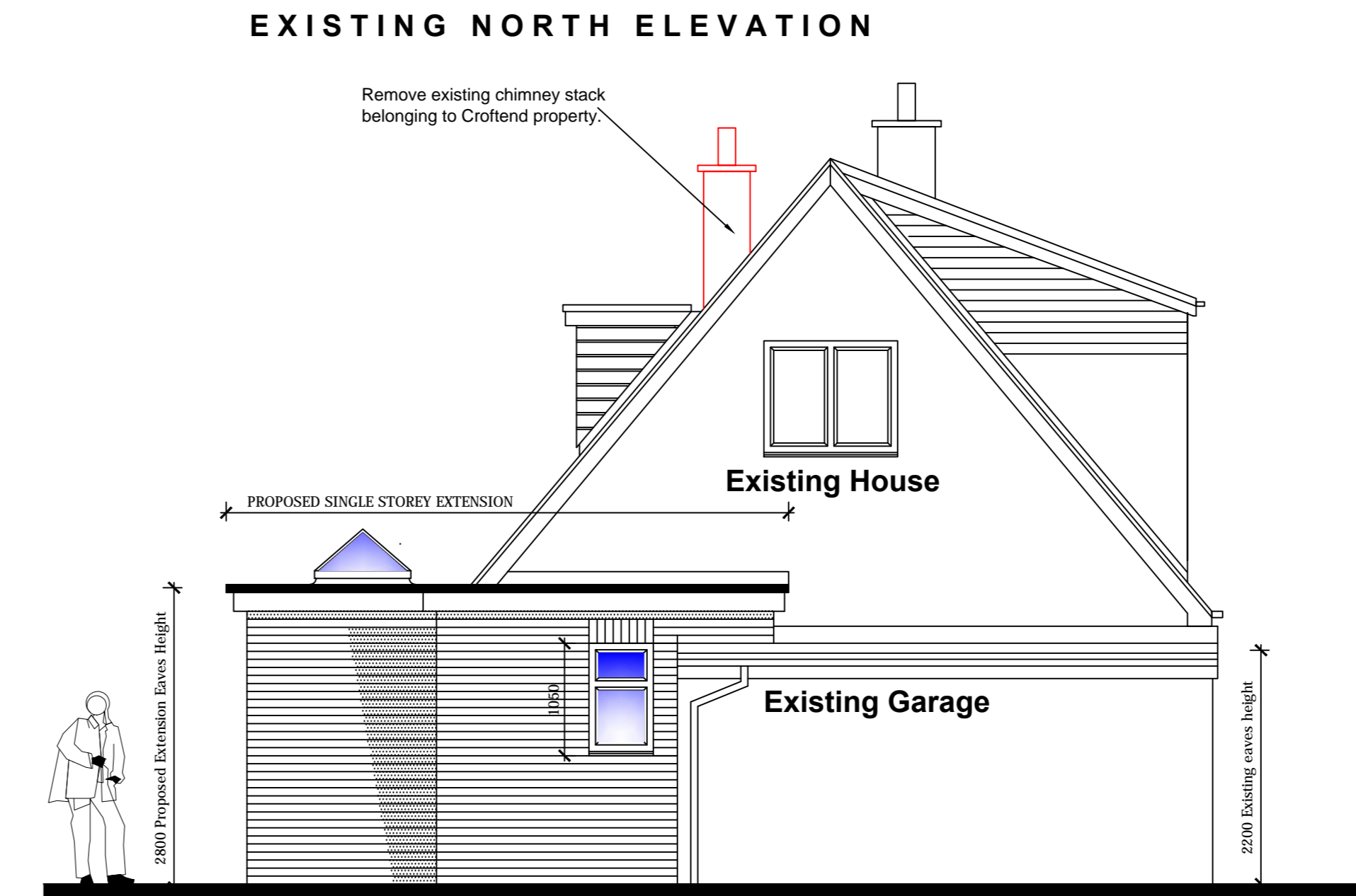
EXISTING SOUTH ELEVATION



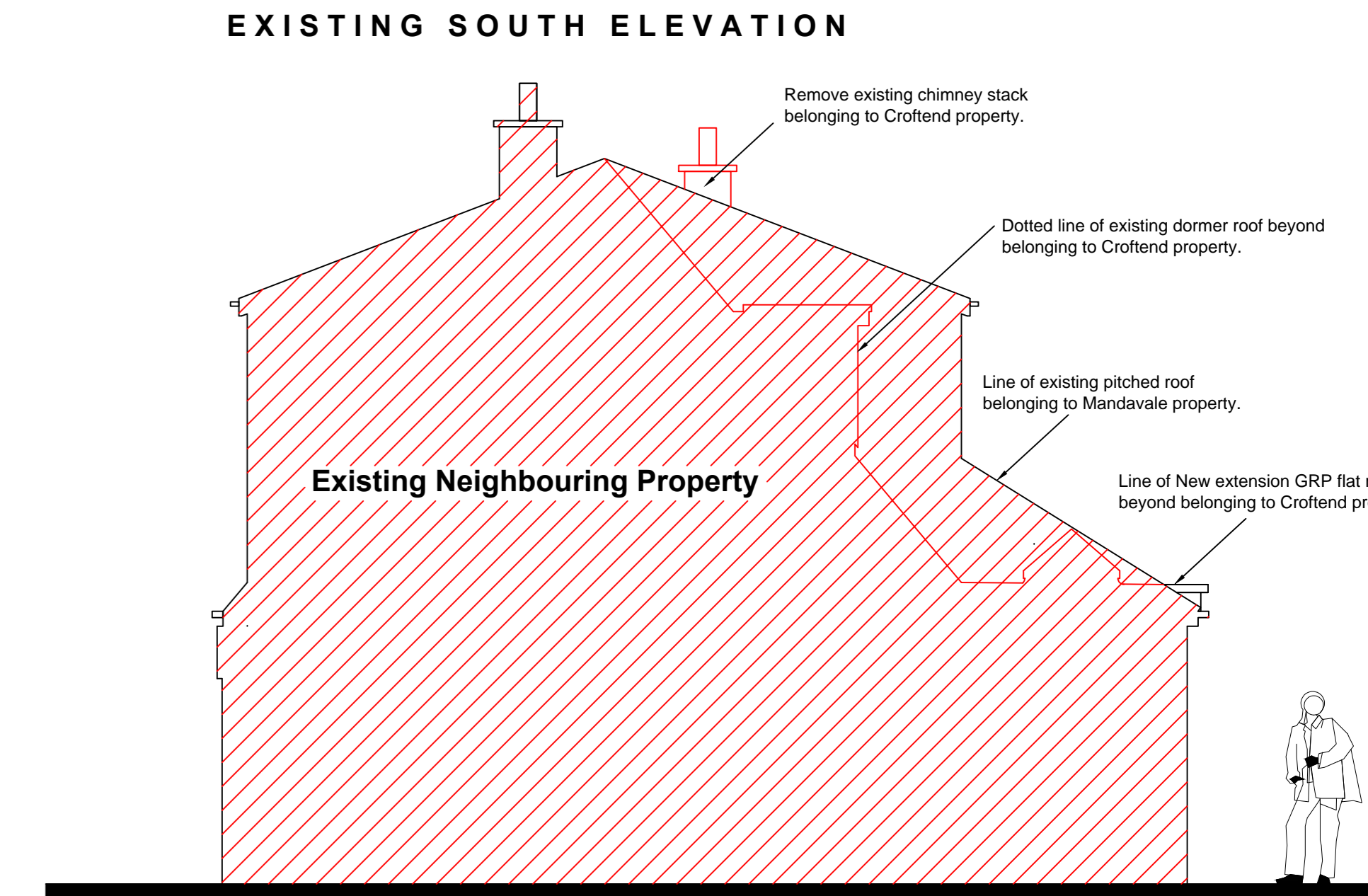
PROPOSED WEST ELEVATION



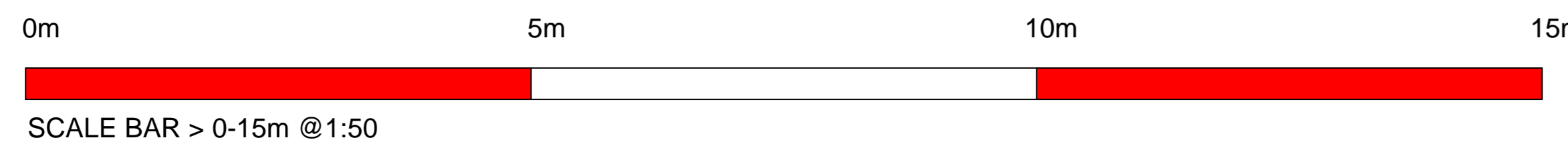
PROPOSED EAST ELEVATION



PROPOSED NORTH ELEVATION



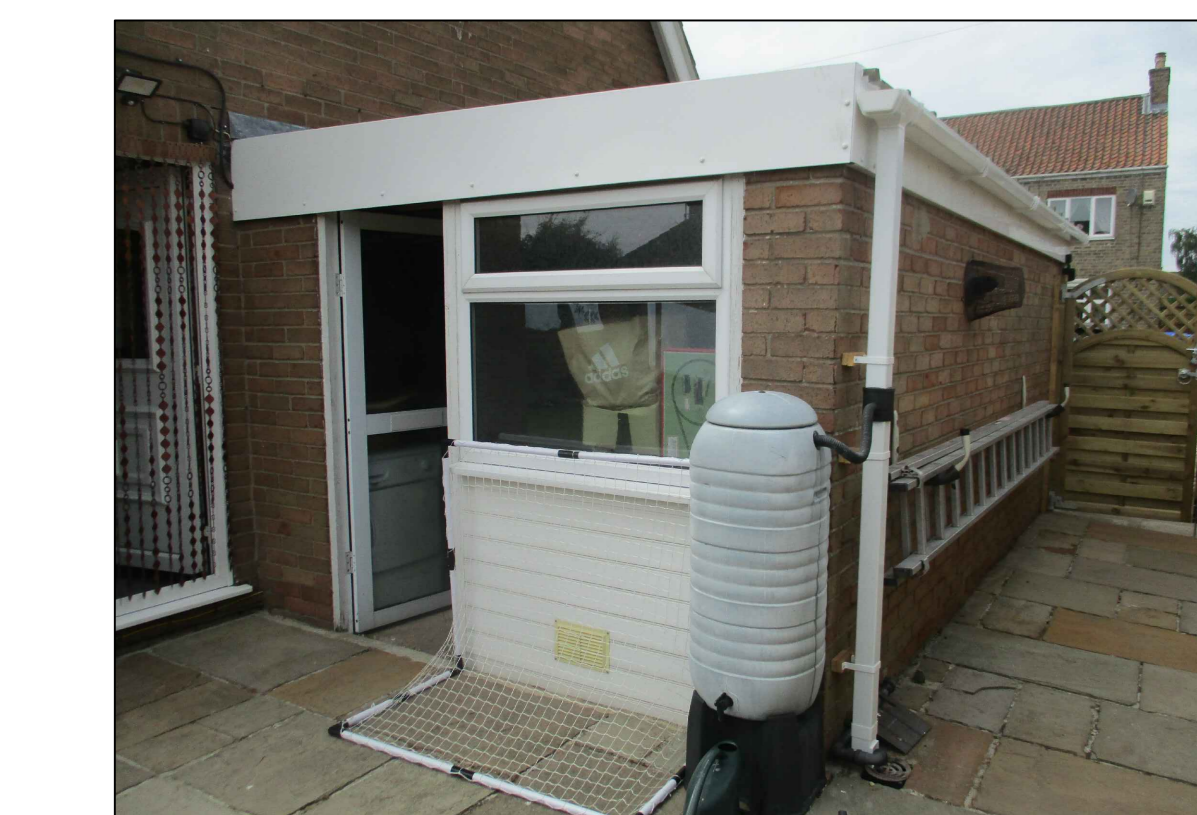
PROPOSED SOUTH ELEVATION



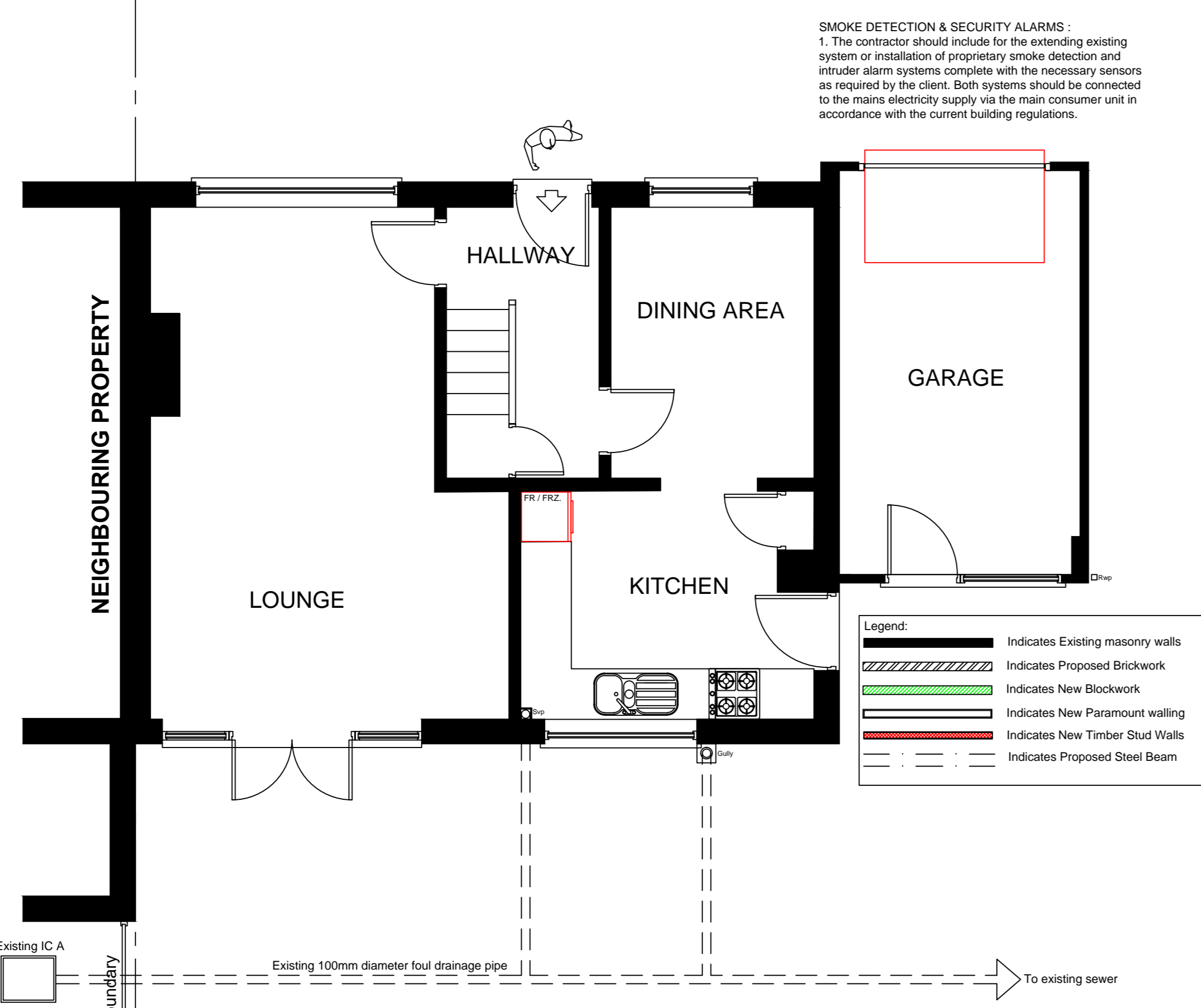
EXISTING FRONT IMAGE 01



EXISTING REAR IMAGE 03



EXISTING REAR / SIDE IMAGE 02

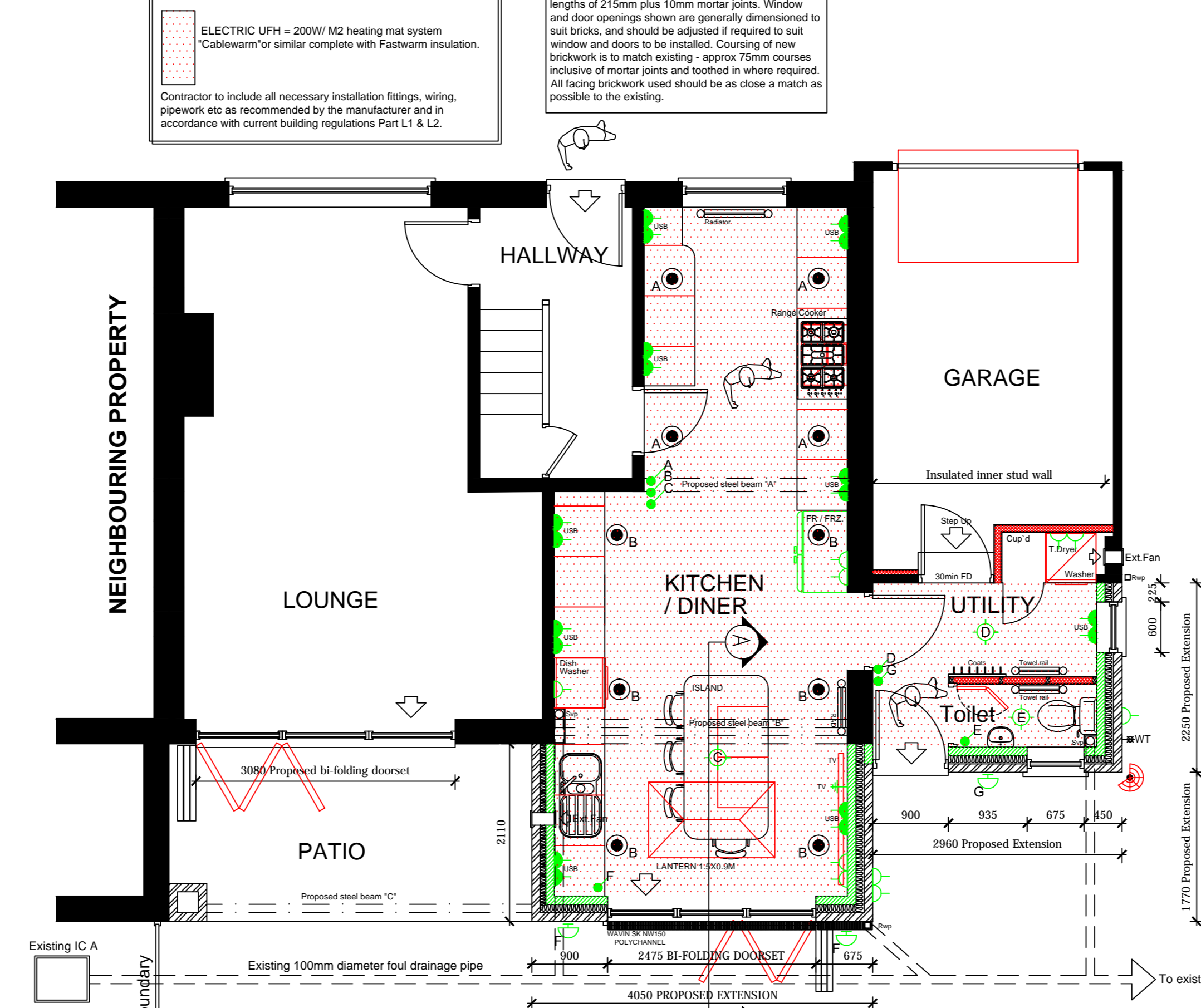


EXISTING GROUND FLOOR PLAN

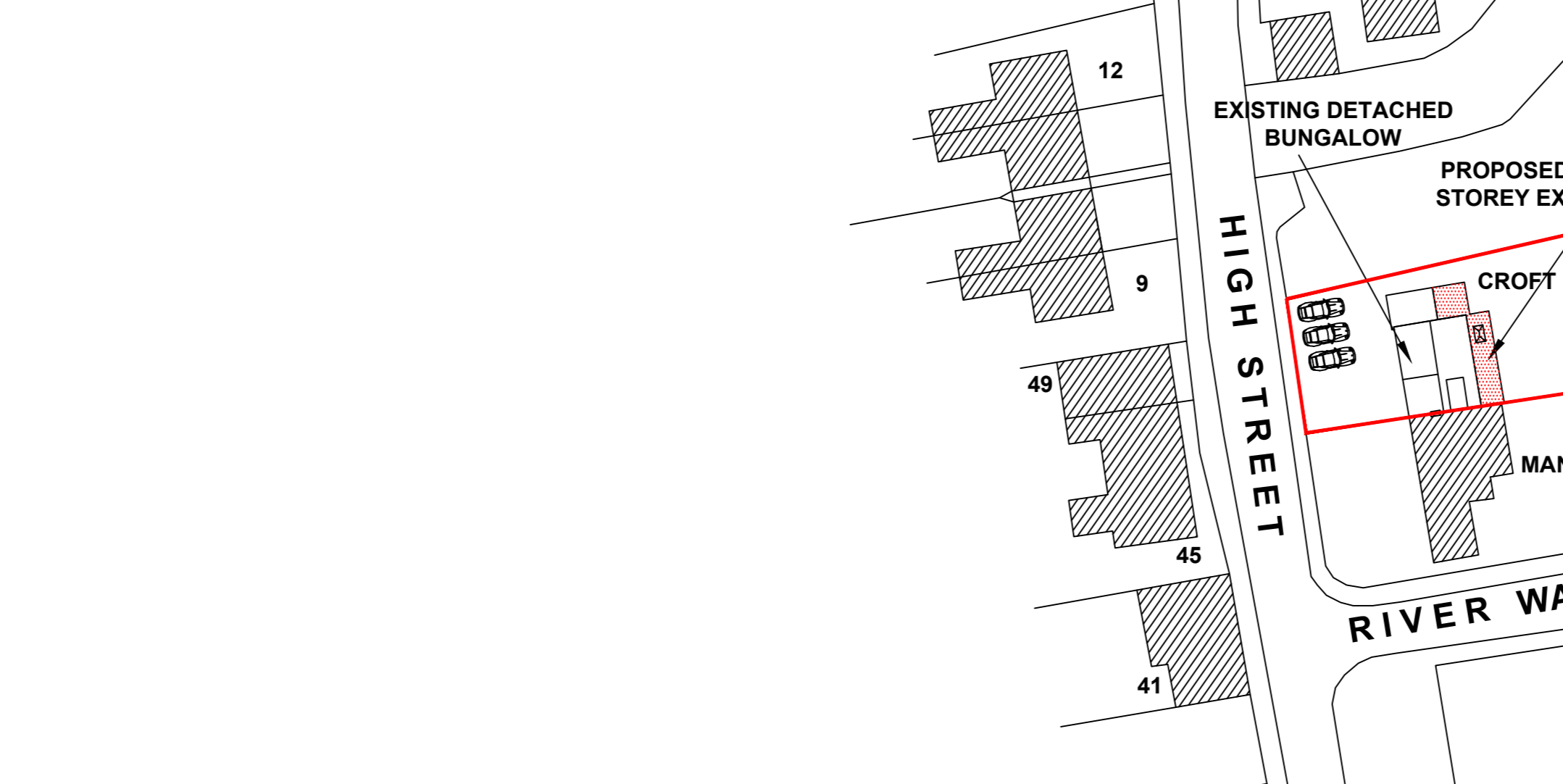
Legend:
 - Indicates Existing masonry walls
 - Indicates Proposed Brickwork
 - Indicates New Blockwork
 - Indicates New Panoramont walling
 - Indicates New Timber Stud Walls
 - Indicates Proposed Steel Beam

SMOKE DETECTION & SECURITY ALARMS
 1. The contractor should include for the extending existing system or installation of proprietary smoke detection and intruder alarm systems complete with the necessary sensors as required by the client. Both systems should be connected to the mains electricity supply via the main consumer unit in accordance with the current building regulations.

DRAINAGE SPECIFICATION:
 1. All new drainage pipework to be of HEPNORTH clay or plastic to diameter indicated on drawing complete with polypropylene couplings, bends, junctions, nail beads laid in accordance with manufacturers recommendations & comply with Section H of the current building regulations.
 2. All back inlet gullies, adaptors, rodding access chambers, inspection chambers in positions shown on drawing and in accordance with manufacturers recommendations and Section H of the current building regulations.
 3. All drainage pipe runs to be laid in clean well compacted excavation trenches and bedded on 150mm pea gravel with selected backfill to ground level.
 4. All trenches within 1m of load bearing walls to be filled with concrete to the level of the underside of the foundations.
 5. All trench runs more than 1m from a load bearing wall to be filled with concrete up to a level equal to the distance from the foundation less 150mm.
 6. Where pipes pass through external cavity walls both walls shall be supported with a PCC lintel bedded in sulphate resistant cement mortar.
 7. All gully pots, nail beads, inspection chambers to be bedded on 150mm of wet concrete.
 8. All septic tanks if required shall be "CONDOR" 2800 litre high grade polyethylene installed in conjunction with manufacturers recommendations and also a minimum of 15m from any dwelling.
 9. All soakaways to be formed using only clean aerated hardcore to a depth agreed to the building inspector following a soil percolation test to BS: 6097.
 10. All necessary connections to existing main sewers / water courses including discharge from new septic tanks to be in accordance with local authority / rivers authority regulations and shall be achieved by introduction of NAYLOR band seal coupling or similar approved connection methods.



PROPOSED GROUND FLOOR PLAN



BLOCK / ROOF PLAN : 1 / 500

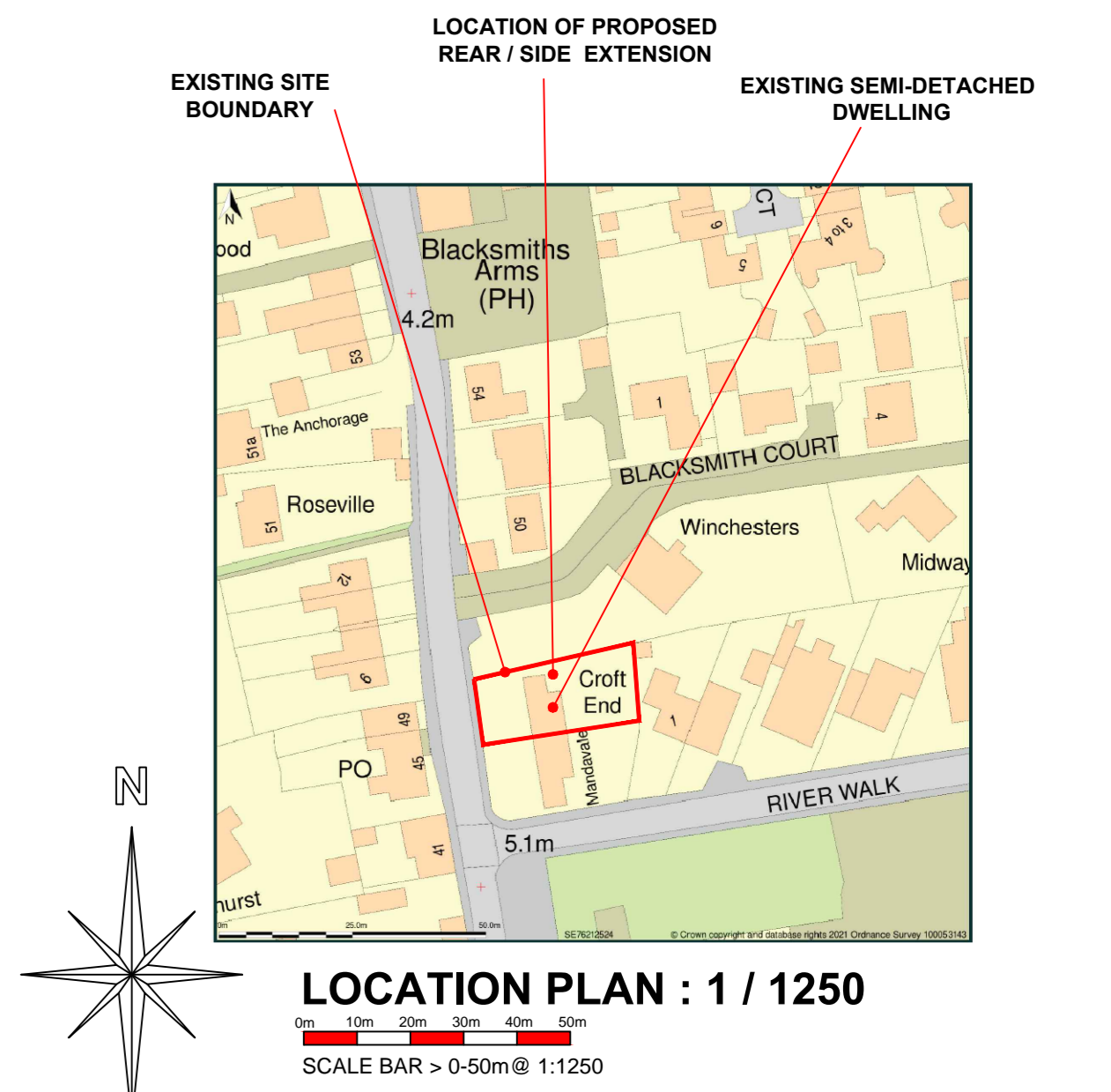
SCALE BAR > 0-50m @ 1:500

SPECIAL NOTE RELATING TO UNDERFLOOR HEATING
 Contractor to include quotation for individual rooms & for alternative underfloor heating systems to four areas indicated dotted.
 - ELECTRIC UPH = 200W/M² heating mat system "Coliseum" or similar complete with Fastwarm insulation.
 Contractor to include all necessary installation fittings, wiring, pipework etc. as recommended by the manufacturer and in accordance with current building regulations Part L1, L2, L3.

Setting out of proposed building to suit bricks meeting existing dwelling. Based on overall brick lengths of 215mm plus 10mm mortar joints. Windows and door openings shown are generally dimensioned to suit bricks, and should be adjusted if required to suit bricks and doors to be installed. Coursing of new brickwork is to match existing - approx 75mm courses include of mortar joints and locked in where required. All facing brickwork used should be as close a match as possible to the existing.

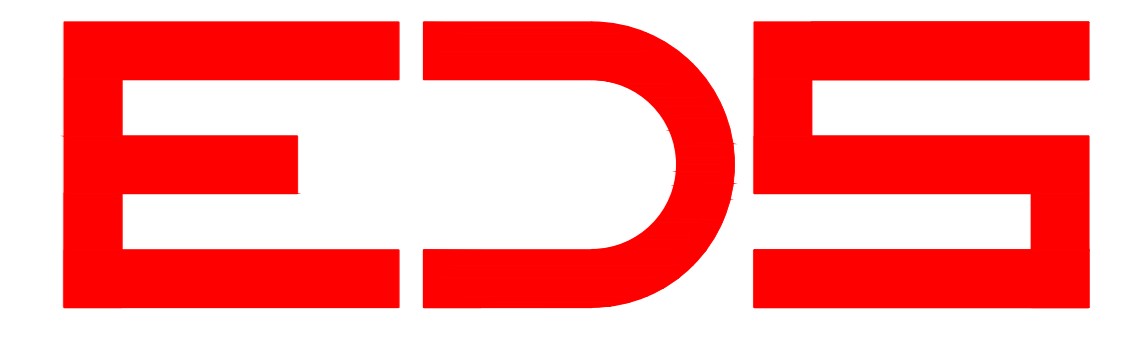
GENERAL NOTES
 1. The contractor shall make arrangements with the client to visit the site prior to preparation of his Tender to acquaint himself with site accessibility, location for waste skips and to ascertain existing ground conditions. He shall undertake an exploratory excavation to expose existing foundations and if necessary instruct a licensed geotechnical engineer or registered soil engineer to conduct a soil investigation report. He shall consider the existing water table and the possible requirements for concrete piles. He shall also locate the proximity of existing service utilities / domestic & main sewage drainage, make enquiries and provision with regard to local conditions and the full extent and character of the works in the context of the proposed development. He shall be deemed to have satisfied himself as regards existing conditions and generally to have obtained the full information on all matters affecting the execution of the works and if necessary make provision for engaging specialist contractors / sub-contractors to complete a thorough investigation of the proposed site.
 2. All sizes shown on this drawing are in millimeters and should be checked on site to verify prior to ordering and fabrication of materials. Do not scale dimensions from this drawing. Work to figured dimensions in all cases.
 3. All materials to be of a suitable nature and quality.
 4. The contractor must establish the position of all incoming services and include for any modifications and / or renewal of services affected by the alterations and include for all costs involved. Any works to be carried out in strict accordance with Statutory Authority requirements.
 5. All work is to be in accordance with the current Building Regulations and Approved Documents and to be to the satisfaction and approval of the Local Authority. A Building Notice should be submitted to the Local Authority Building Control Dept, with relevant fees no less than 48 hours prior to starting work on site.
 6. All structural timber used to be C16 stress graded.
 7. All electrical work to conform to N.I.C.E.I. regulations and to meet the requirements of Part P (Electrical Safety). All work to be designed, installed, inspected and tested by a member of the competent person scheme or a registered electrician who can issue a Certificate of Compliance of the works. Positions and number of fittings to be agreed with the client prior to the installation.
 8. If new heating system is installed, new installation is to be of condensing boiler type class A or B and have a minimum efficiency SEDBUK rating of 86% for mains natural gas. Installations are to be carried out by approved and registered Engineers. Corg Registered for gas installations or OFTEC for oil installations. New installations are to conform to Part J of the Building Regulations and should also meet BS5410 and be in accordance with Part L5 of the Building Regulations. Full specification for heating system to be provided to the Building Inspector if required.
 9. All new windows to be purpose made UPVC casement type, style to match existing house with a top hung opening light on security cam opening sash to be agreed with the client. All glazing in windows, to be 2mm double glazed sealed units (4-16-4) with a 16mm air filled gap and Low-E coating having a U value of min. 1.8 w/m² and to comply with Part L4 of the Building Regulations. All rooms to have a min. 100mm of the floor area in open windows. Trickle ventilation is to be provided to give background ventilation of 800mm² to habitable rooms and 400mm² to non-habitable rooms. All glazing to critical locations (less than 900mm above floor level) is to be toughened safety glass and satisfy the requirements of Class C of BS5410.
 10. The contractor shall accept all liability in using any information from this drawing, which has been produced to obtain planning permission if required and / or in tendering the proposed works.
 11. The contractor shall accept all liability when working on and adjacent to the neighbouring property, preparing for and ensuring that all necessary work shall be completed in a safe and secure manner and taking all appropriate measures to maintain a clean and weather tight environment. Any damage to the clients property or to neighbouring properties caused by the contractor or as a result of the contractors neglect shall be rectified immediately by the contractor and to a standard acceptable to the client / neighbour. Any disturbance to the client or the neighbours caused by the contractor shall also be rectified immediately.

- SERVICES KEY :**
- HEATING : Gas or Oil fired boiler
 - Radiator
 - Towel Rail
 - ELECTRICS : Single socket low level
 - Double socket low level
 - Single socket high level
 - Double socket high level
 - Double socket high level (with USB)
 - Single socket low level with HL switch
 - Electrical Vehicle high level charging socket
 - Single external high level socket with cover
 - Light switch (one gang)
 - Light switch (two gang)
 - Light switch pull cord (one gang)
 - Dimmer switch
 - Push button time switch
 - Pendant light fitting
 - Recessed down lighter
 - Wall mounted light fitting
 - Wall mounted light movement sensor
 - Consumer Unit
 - VENTILATION : Ceiling mounted extract fan
 - Wall mounted extract fan
 - Cooker hood extract fan
 - OTHER SERVICES : Television Aerial socket
 - Smoke Detector
 - Carbon monoxide alarm
 - Heat sensor
 - Bell chime
 - External water tap



LOCATION PLAN : 1 / 1250
 SCALE BAR > 0-50m @ 1:1250

REVISION 'C' (MAY 2021)
 Drawing amended to illustrate proposed changes as required by E.R.O.Y planning officer Noah Allison for validation 13/05/2021.



Client:
MR & MRS D. ROSE

Site Address :
 CROFT END,
 HIGH STREET,
 HOOK, NR. GOOLE.
 DN14 5NY.

Project:
 PROPOSED SINGLE STOREY REAR EXTENSION & ALTERATIONS TO EXISTING BUNGALOW.

Drawing Title:
 GENERAL ARRANGEMENT : (PLANNING)
 EXISTING & PROPOSED SITE / FLOOR
 PLANS, ELEVATIONS & SECTION A-A.

Drawing Scale : Date :
 1:50 / 1:500 / 1:1250 OCT.2020

Drawing Number: Rev:
B.CON.10.20.01 **C**