

NOTE:
 Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION. The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others. Dimensions and setting out - should be checked on site; see above.

Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only.

Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations.

Planning - the client/ the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.

Party Walls & Rights to Light - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.

Freeholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any notices and consents required are obtained before work commences.

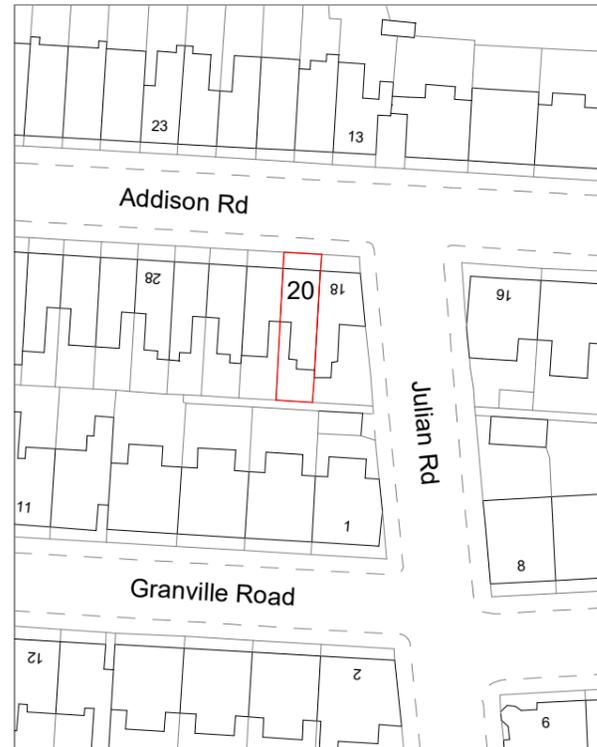
Archaeological & Ecological - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.

NOTE:
 Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power.

Areas provided on drawings are rounded to the nearest whole unit. Measurements are based upon received survey information and as such a reasonable allowance should be made for discrepancies or deviations that may occur during construction.



SITE PLAN 1:1250



BLOCK PLAN 1:500



Revisions		
No.	Description	Date
1	Planning	14/05/21

EXISTING

Note: Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.

Arcvelop Ltd.
 1 Pembroke Villas
 Notting Hill
 London
 W2 4EA

T 0207 090 0703
 E info@arcvelop.com

Project Name: QSC
 Project Number: 10015

Drawing Name
 Existing Site and Block Plan
Drawing No
 E000
Revision
 1
Scale



NOTE:
 Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION.
 The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others.
 Dimensions and setting out - should be checked on site; see above.

Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only.

Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations.

Planning - the client/ the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.

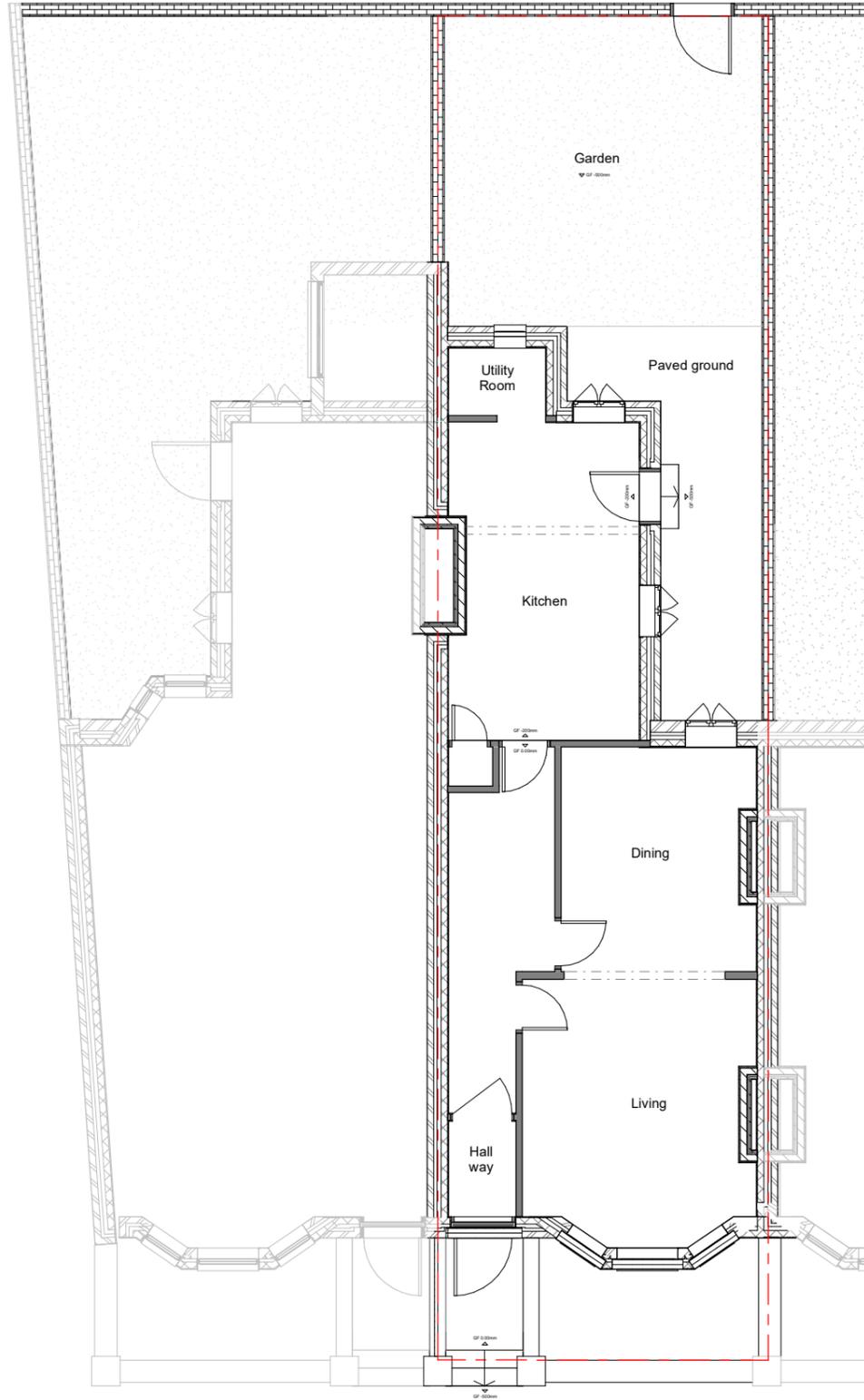
Party Walls & Rights to Light - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.

Freeholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any notices and consents required are obtained before work commences.

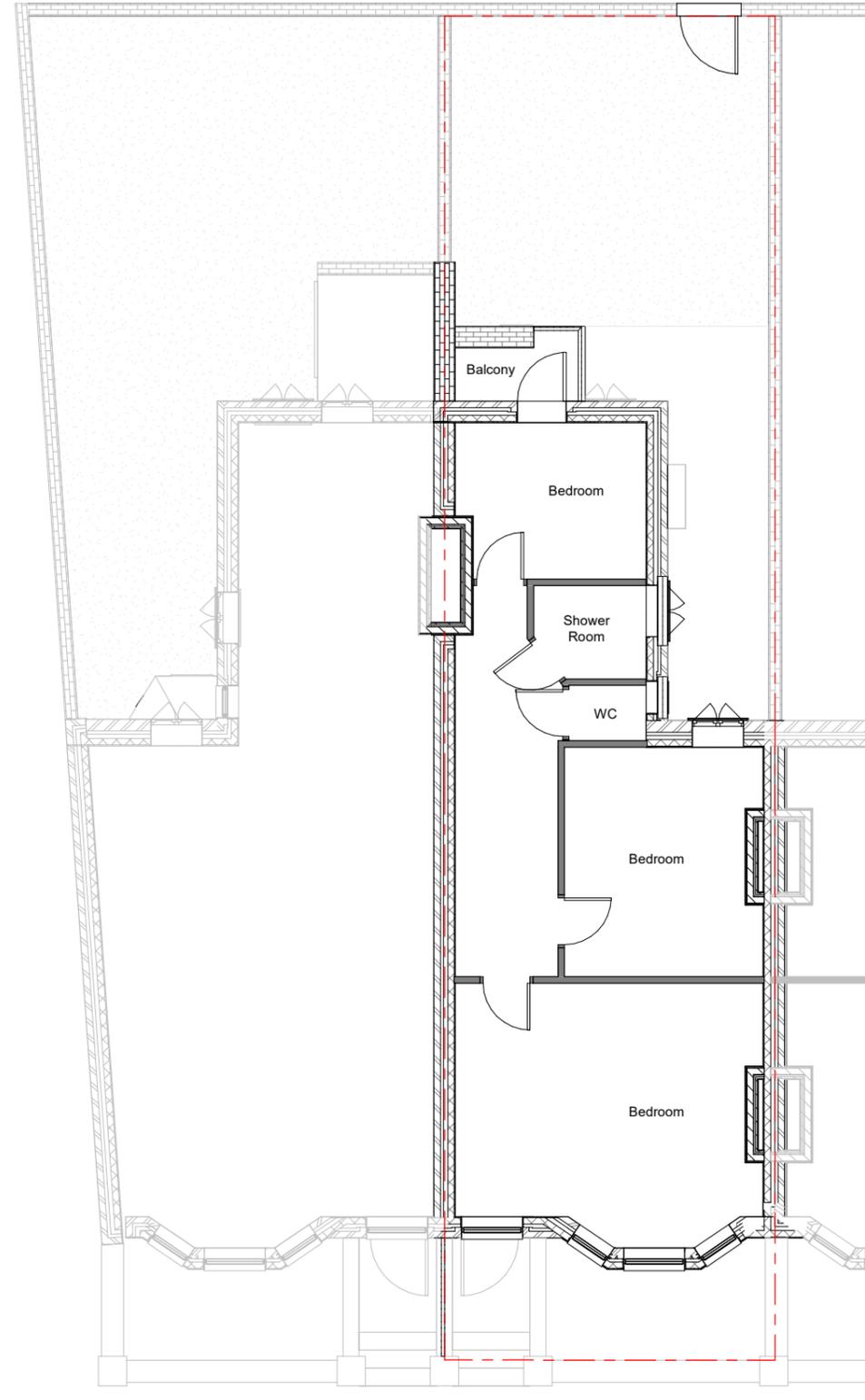
Archaeological & Ecological - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.

NOTE:
 Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power.

Areas provided on drawings are rounded to the nearest whole unit. Measurements are based upon received survey information and as such a reasonable allowance should be made for discrepancies or deviations that may occur during construction.



GROUND FLOOR



FIRST FLOOR



Revisions		
No.	Description	Date
1	Planning	14/05/21

EXISTING

Note: Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.

Arcvelop Ltd.
 1 Pembroke Villas
 Notting Hill
 London
 W2 4EA

T 0207 090 0703
 E info@arcvelop.com

Project Name: QSC
 Project Number: 10015

Drawing Name
 Existing Floor Plans
 Drawing No
 E100
 Revision
 1
 Scale
 1:50 @ A1, 1:100 @ A3

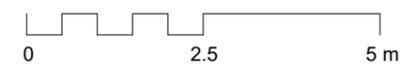




ROOF PLAN

E101 Existing Roof Plan

1:50 @ A1, 1:100 @ A3



NOTE:

Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION

The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others
Dimensions and setting out - should be checked on site; see above

Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only

Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations

Planning - the client/ the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions

Party Walls & Rights to Light - the client/ the contractor will ensure that any notices and consents required are obtained before work commences

Freeholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any notices and consents required are obtained before work commences

Archaeological & Ecological - the client/ the contractor will ensure that any notices and consents required are obtained before work commences

NOTE:
Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power

Areas provided on drawings are rounded to the nearest whole unit. Measurements are based upon received survey information and as such a reasonable allowance should be made for discrepancies or deviations that may occur during construction.



Revisions

No.	Description	Date
1	Planning	14/05/21

EXISTING

Note: Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.

Arcvelop Ltd.
1 Pembridge Villas
Notting Hill
London
W2 4EA

T 0207 050 0703
E info@arcvelop.com
Project Name: QSC
Project Number: 10015

Drawing Name
Existing Roof Plan
Drawing No
E101

Revision
1
Scale
1:50 @ A1, 1:100 @ A3





FRONT ELEVATION



REAR ELEVATION



NOTE:

Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION.

The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others. Dimensions and setting out - should be checked on site; see above.

Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only.

Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations.

Planning - the client/ the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.

Party Walls & Rights to Light - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.

Freeholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any notices and consents required are obtained before work commences.

Archaeological & Ecological - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.

NOTE:
Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power.

Areas provided on drawings are rounded to the nearest whole unit. Measurements are based upon received survey information and as such a reasonable allowance should be made for discrepancies or deviations that may occur during construction.

Revisions		
No.	Description	Date
1	Planning	14/05/21

EXISTING

Note: Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.

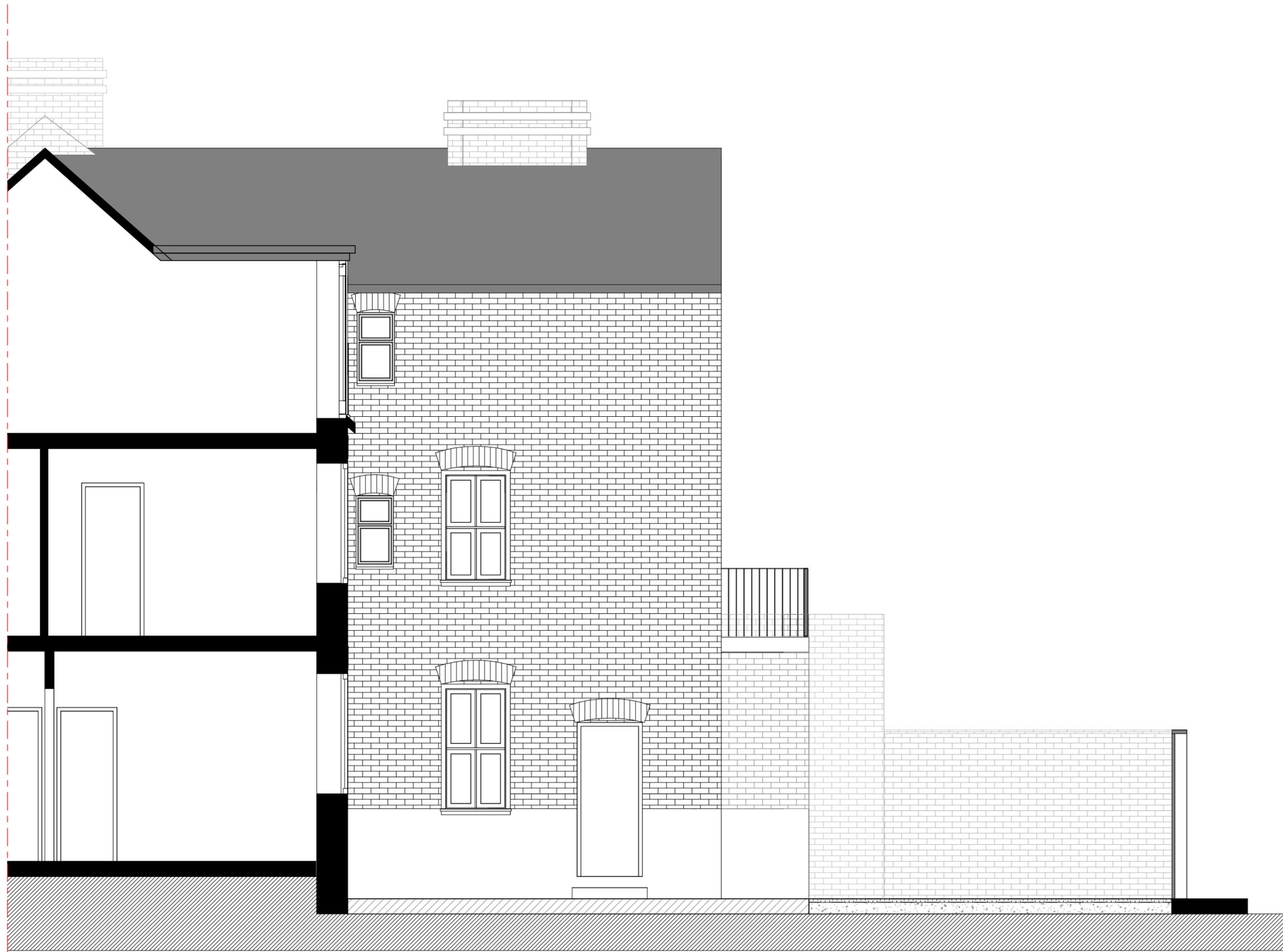
Arcvelop Ltd.
1 Pembroke Villas
Notting Hill
London
W2 4EA

T 0207 050 6703
E info@arcvelop.com
Project Name: QSC
Project Number: 10015

Drawing Name
Existing Elevations
Drawing No
E201

Revision
1
Scale
1:50 @ A1, 1:100 @ A3

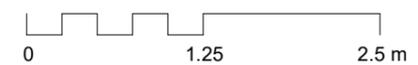




LONGITUDINAL SECTION AA'

E301 Existing Longitudinal Section

1:25 @ A1, 1:50 @ A3



NOTE:

Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION

The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others
Dimensions and setting out - should be checked on site; see above

Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only

Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations

Planning - the client/ the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions

Party Walls & Rights to Light - the client/ the contractor will ensure that any notices and consents required are obtained before work commences

Freeholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any notices and consents required are obtained before work commences

Archaeological & Ecological - the client/ the contractor will ensure that any notices and consents required are obtained before work commences

NOTE:

Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power

Areas provided on drawings are rounded to the nearest whole unit. Measurements are based upon received survey information and as such a reasonable allowance should be made for discrepancies or deviations that may occur during construction.

Revisions		
No.	Description	Date
1	Planning	14/05/21

EXISTING

Note: Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.

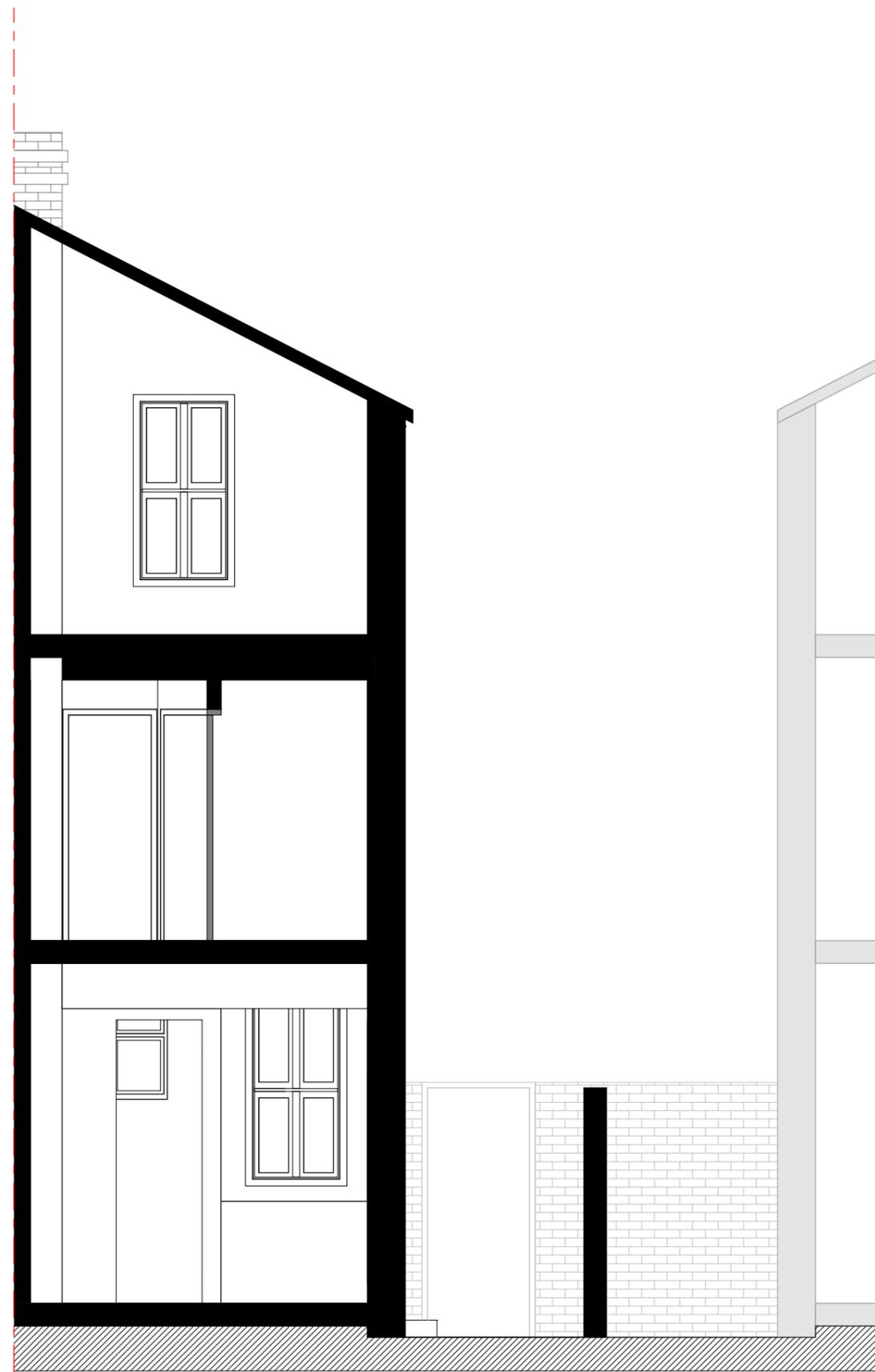
Arcvelop Ltd.
1 Pembroke Villas
Notting Hill
London
W2 4EA
T 0207 050 0703
E info@arcvelop.com
Project Name: QSC
Project Number: 10015



Drawing Name
Existing Longitudinal Section
Drawing No
E301
Revision
1
Scale
1:25 @ A1, 1:50 @ A3



CROSS SECTION BB'



CROSS SECTION AA'

NOTE:
 Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION
 The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others
 Dimensions and setting out - should be checked on site; see above
 Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only
 Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations
 Planning - the client/ the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions
 Party Walls & Rights to Light - the client/ the contractor will ensure that any notices and consents required are obtained before work commences
 Freeholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any notices and consents required are obtained before work commences
 Archaeological & Ecological - the client/ the contractor will ensure that any notices and consents required are obtained before work commences
 NOTE:
 Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power
 Areas provided on drawings are rounded to the nearest whole unit. Measurements are based upon received survey information and as such a reasonable allowance should be made for discrepancies or deviations that may occur during construction.

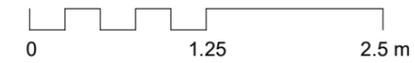
Revisions		
No.	Description	Date
1	Planning	14/05/21

EXISTING

Note: Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.

Arcvelop Ltd.
 1 Pembroke Villas
 Notting Hill
 London
 W2 4EA
 T 0207 050 0703
 E info@arcvelop.com
 Project Name: QSC
 Project Number: 10015

Drawing Name
 Existing Cross Sections
Drawing No
 E302
Revision
 1
Scale
 1:25 @ A1, 1:50 @ A3





FRONT 3D VIEW



REAR 3D VIEW



REAR 3D VIEW

NOTE:

Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION

The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others

Dimensions and setting out - should be checked on site; see above

Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only

Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations

Planning - the client/ the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions

Party Walls & Rights to Light - the client/ the contractor will ensure that any notices and consents required are obtained before work commences

Freeholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any notices and consents required are obtained before work commences

Archaeological & Ecological - the client/ the contractor will ensure that any notices and consents required are obtained before work commences

NOTE:

Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power

Areas provided on drawings are rounded to the nearest whole unit. Measurements are based upon received survey information and as such a reasonable allowance should be made for discrepancies or deviations that may occur during construction.

Revisions		
No.	Description	Date
1	Planning	14/05/21

EXISTING

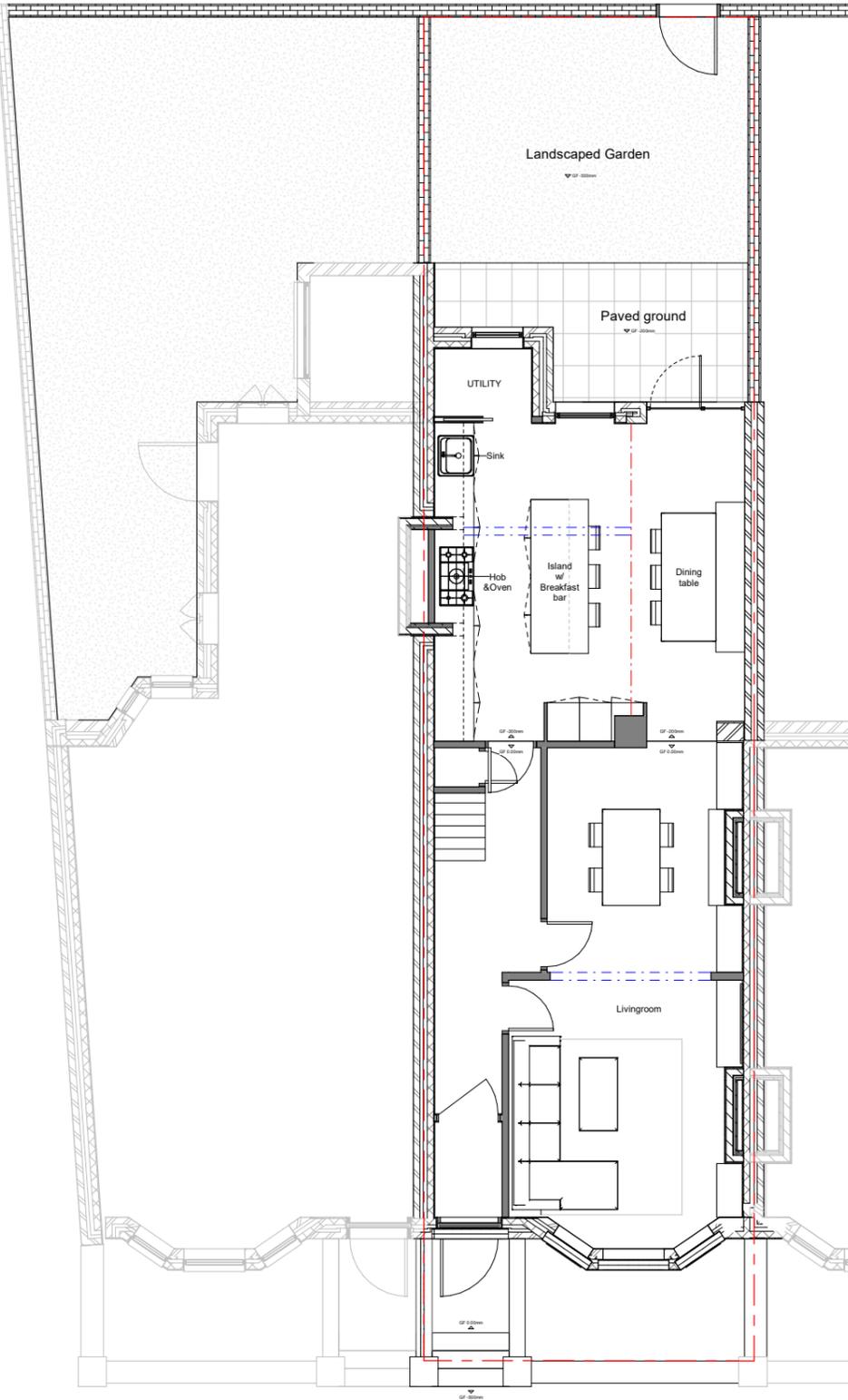
Note: Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.

Arcvelop Ltd.
1 Pembridge Villas
Notting Hill
London
W2 4EA

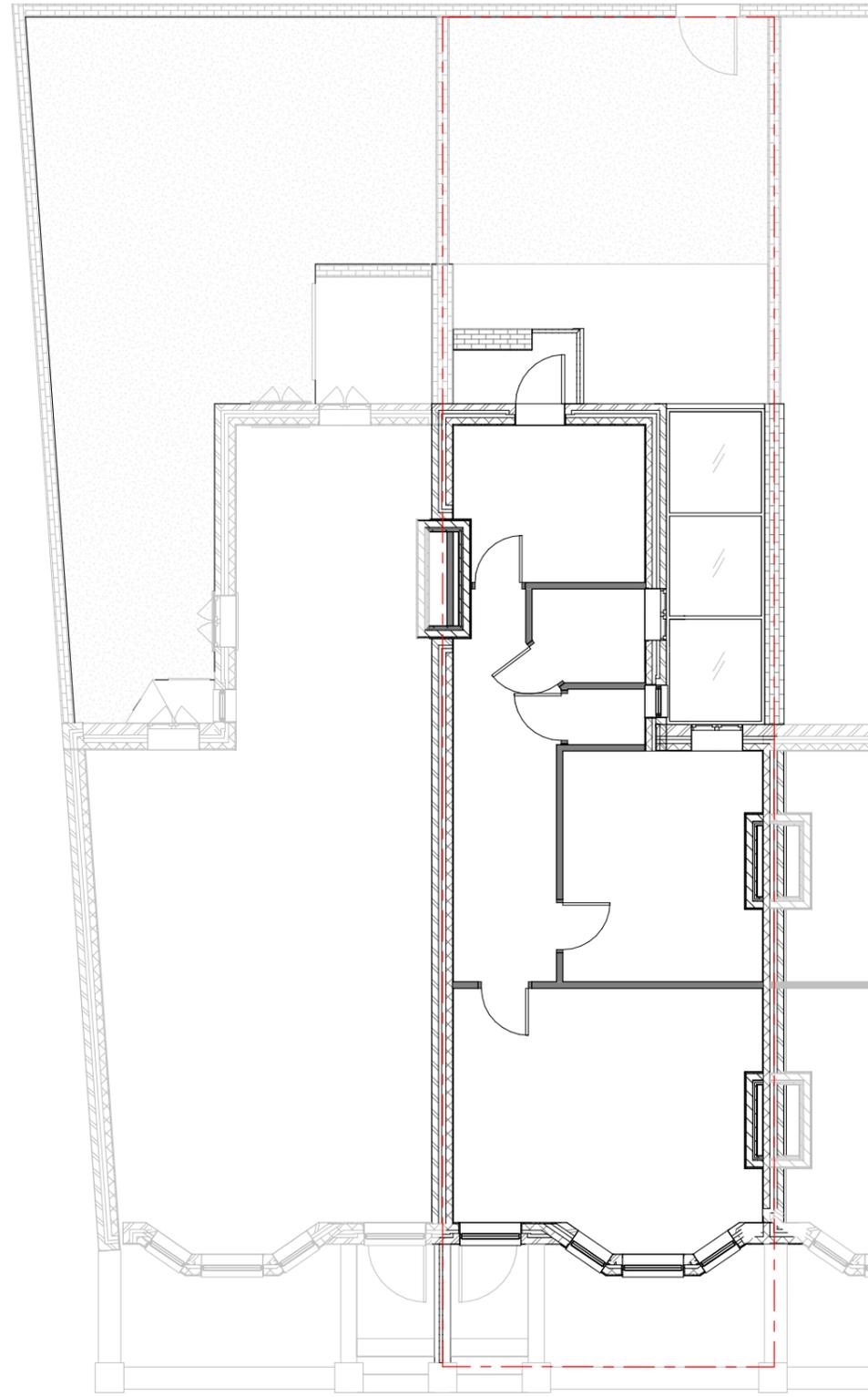
T 0207 050 0703
E info@arcvelop.com
Project Name: QSC
Project Number: 10015

Drawing Name
Existing 3D Views
Drawing No
E401
Revision
1
Scale





GROUND FLOOR



FIRST FLOOR

NOTE:

Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION

The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others

Dimensions and setting out - should be checked on site; see above

Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only

Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations

Planning - the client/ the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions

Party Walls & Rights to Light - the client/ the contractor will ensure that any notices and consents required are obtained before work commences

Freeholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any notices and consents required are obtained before work commences

Archaeological & Ecological - the client/ the contractor will ensure that any notices and consents required are obtained before work commences

NOTE:
Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power

Areas provided on drawings are rounded to the nearest whole unit. Measurements are based upon received survey information and as such a reasonable allowance should be made for discrepancies or deviations that may occur during construction.



Revisions

No.	Description	Date
1	Planning	14/05/21

PROPOSED

Note: Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.

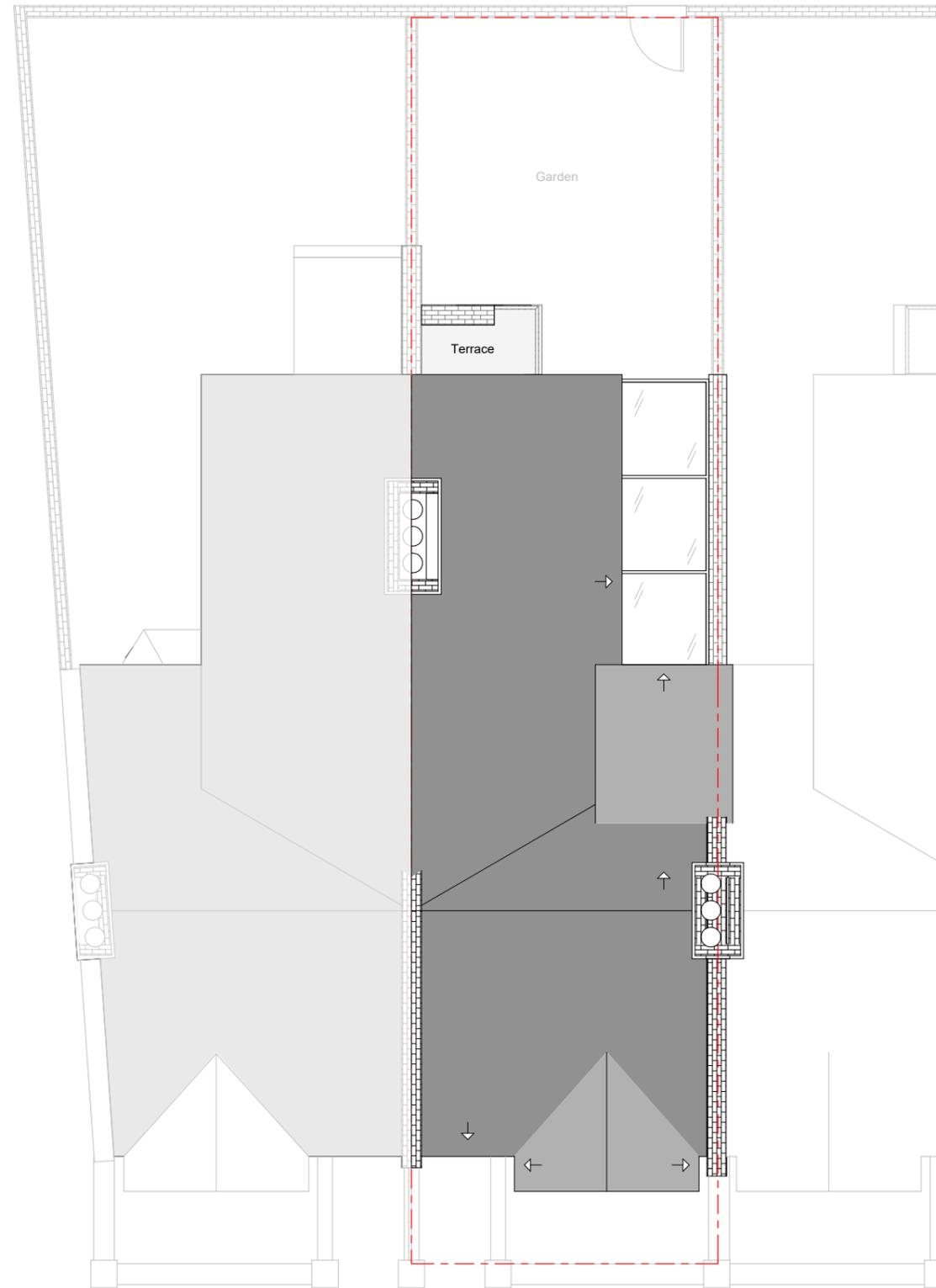
Arcvelop Ltd.
1 Pembroke Villas
Notting Hill
London
W2 4EA
T 0207 090 0703
E info@arcvelop.com
Project Name: QSC
Project Number: 10015



Drawing Name
Proposed Floor Plans
Drawing No
P100
Revision
1

Scale
1:50 @ A1, 1:100 @ A3





ROOF PLAN



NOTE:

Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION

The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others
Dimensions and setting out - should be checked on site; see above

Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only

Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations

Planning - the client/ the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions

Party Walls & Rights to Light - the client/ the contractor will ensure that any notices and consents required are obtained before work commences

Freeholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any notices and consents required are obtained before work commences

Archaeological & Ecological - the client/ the contractor will ensure that any notices and consents required are obtained before work commences

NOTE:

Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power

Areas provided on drawings are rounded to the nearest whole unit. Measurements are based upon received survey information and as such a reasonable allowance should be made for discrepancies or deviations that may occur during construction.



Revisions

No.	Description	Date
1	Planning	14/05/21

PROPOSED

Note: Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.

Arcvelop Ltd.
1 Pembroke Villas
Notting Hill
London
W2 4EA

T 0207 050 0703
E info@arcvelop.com
Project Name: QSC
Project Number: 10015

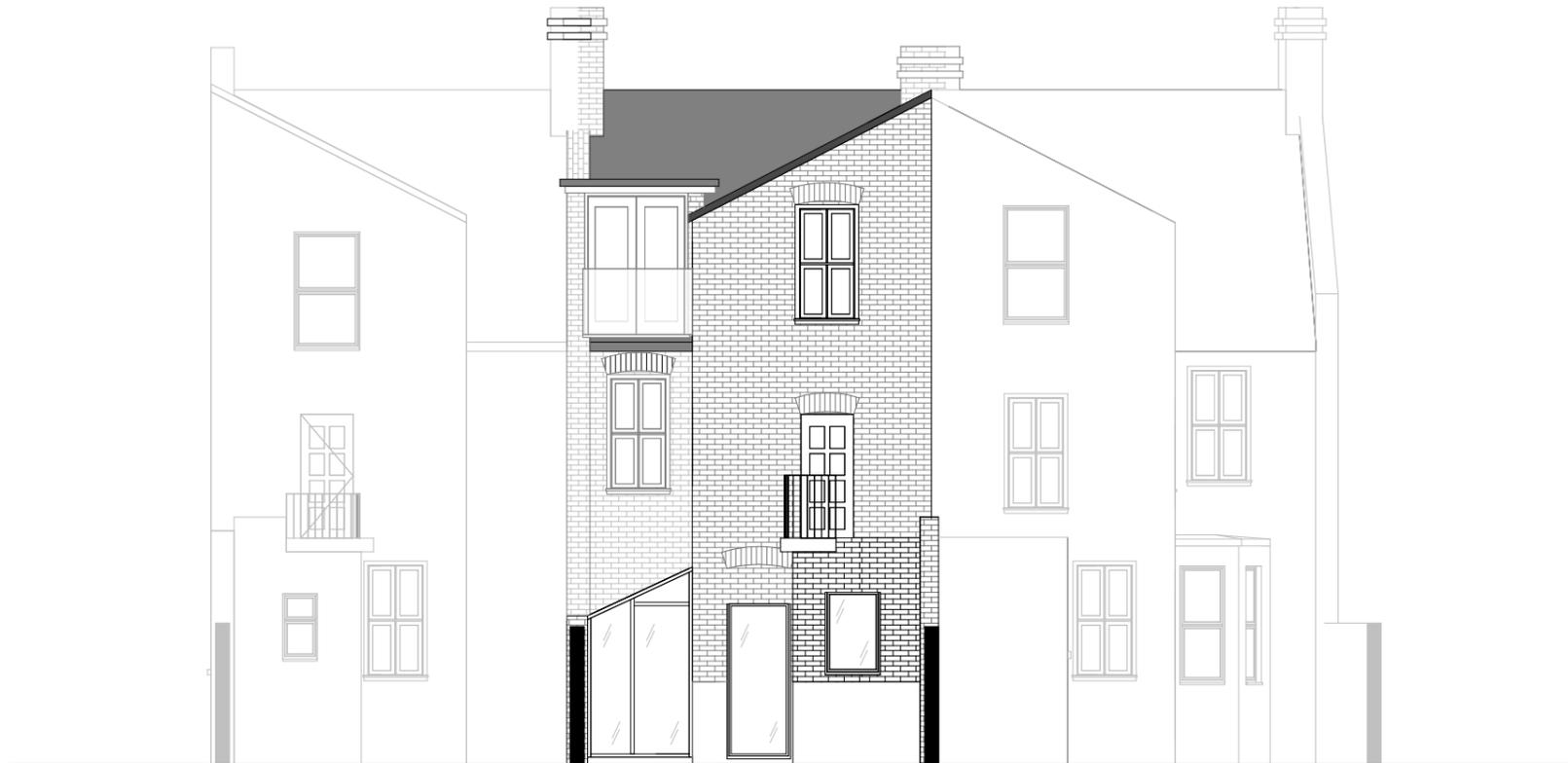
Drawing Name
Proposed Roof Plan
Drawing No
P101

Revision
1
Scale
1:50 @ A1, 1:100 @ A3





FRONT ELEVATION



REAR ELEVATION



NOTE:

Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION

The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others
Dimensions and setting out - should be checked on site; see above

Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only

Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations

Planning - the client/ the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions

Party Walls & Rights to Light - the client/ the contractor will ensure that any notices and consents required are obtained before work commences

Freeholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any notices and consents required are obtained before work commences

Archaeological & Ecological - the client/ the contractor will ensure that any notices and consents required are obtained before work commences

NOTE:
Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power

Areas provided on drawings are rounded to the nearest whole unit. Measurements are based upon received survey information and as such a reasonable allowance should be made for discrepancies or deviations that may occur during construction.

Revisions

No.	Description	Date
1	Planning	14/05/21

PROPOSED

Note: Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.

Arcvelop Ltd.
1 Pembroke Villas
Notting Hill
London
W2 4EA

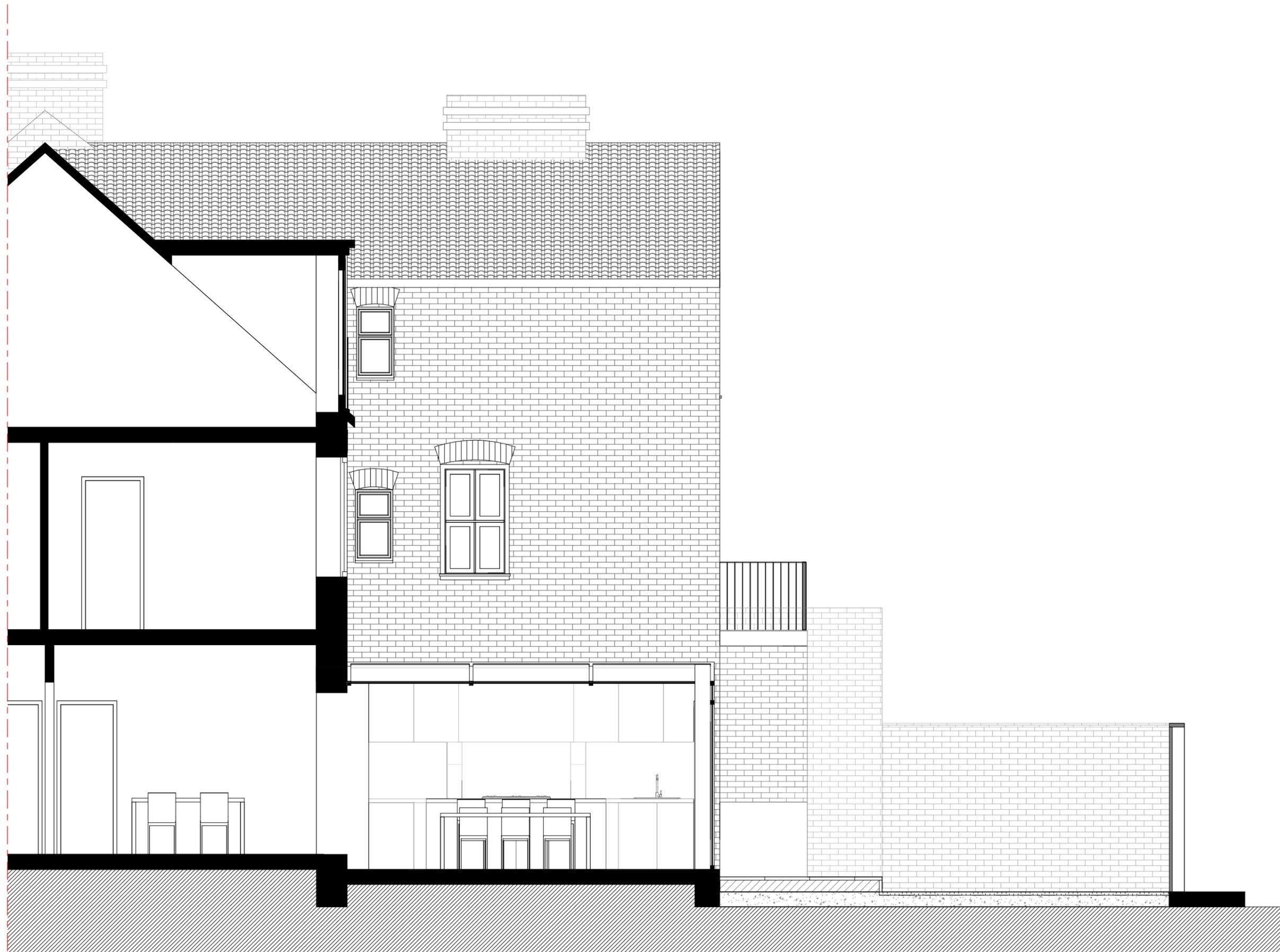
T 0207 050 6703
E info@arcvelop.com
Project Name: QSC
Project Number: 10015

Drawing Name
Proposed Elevations
Drawing No
P201

Revision

1
Scale
1:50 @ A1, 1:100 @ A3





LONGITUDINAL SECTION AA'



NOTE:
 Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION
 The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others
 Dimensions and setting out - should be checked on site; see above
 Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only
 Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations
 Planning - the client/ the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions
 Party Walls & Rights to Light - the client/ the contractor will ensure that any notices and consents required are obtained before work commences
 Freeholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any notices and consents required are obtained before work commences
 Archaeological & Ecological - the client/ the contractor will ensure that any notices and consents required are obtained before work commences

NOTE:
 Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power

Areas provided on drawings are rounded to the nearest whole unit. Measurements are based upon received survey information and as such a reasonable allowance should be made for discrepancies or deviations that may occur during construction.

Revisions		
No.	Description	Date
1	Planning	14/05/21

PROPOSED

Note: Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.

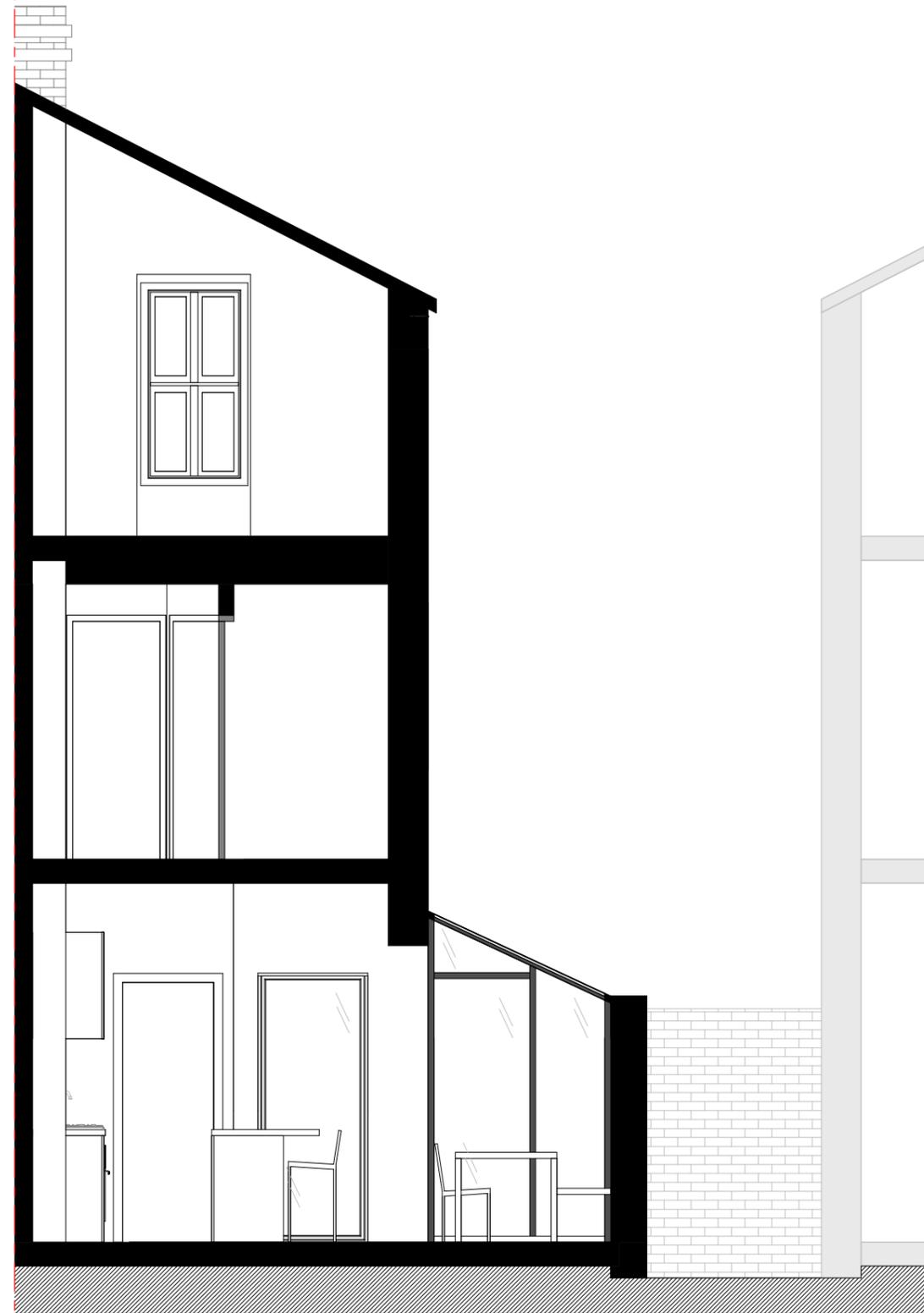
Arcwelop Ltd.
 1 Pembroke Villas
 Notting Hill
 London
 W2 4EA
 T 0207 050 6703
 E info@arcwelop.com
 Project Name: QSC
 Project Number: 10015



Drawing Name
 Proposed Longitudinal Section
 Drawing No
 P301
 Revision
 1
 Scale
 1:25 @ A1, 1:50 @ A3



CROSS SECTION BB'



CROSS SECTION AA'

NOTE:
 Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION.
 The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others.
 Dimensions and setting out - should be checked on site; see above.
 Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only.
 Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations.
 Planning - the client/ the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.
 Party Walls & Rights to Light - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.
 Freeholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any notices and consents required are obtained before work commences.
 Archaeological & Ecological - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.

NOTE:
 Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power.
 Areas provided on drawings are rounded to the nearest whole unit. Measurements are based upon received survey information and as such a reasonable allowance should be made for discrepancies or deviations that may occur during construction.

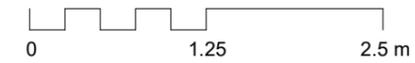
Revisions		
No.	Description	Date
1	Planning	14/05/21

PROPOSED

Note: Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.

Arcvelop Ltd.
 1 Pembroke Villas
 Notting Hill
 London
 W2 4EA
 T 0207 050 0703
 E info@arcvelop.com
 Project Name: QSC
 Project Number: 10015

Drawing Name
 Proposed Cross Sections
Drawing No
 P302
Revision
 1
Scale
 1:25 @ A1, 1:50 @ A3

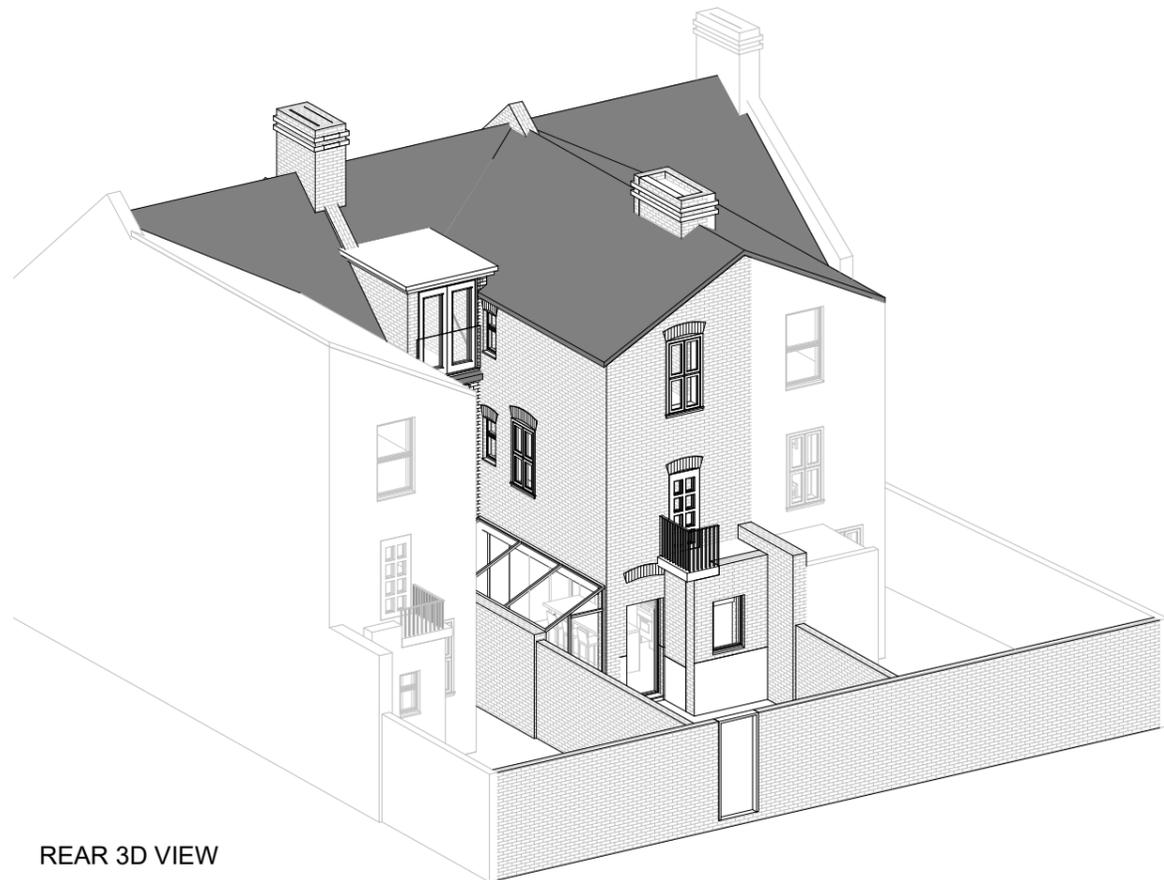




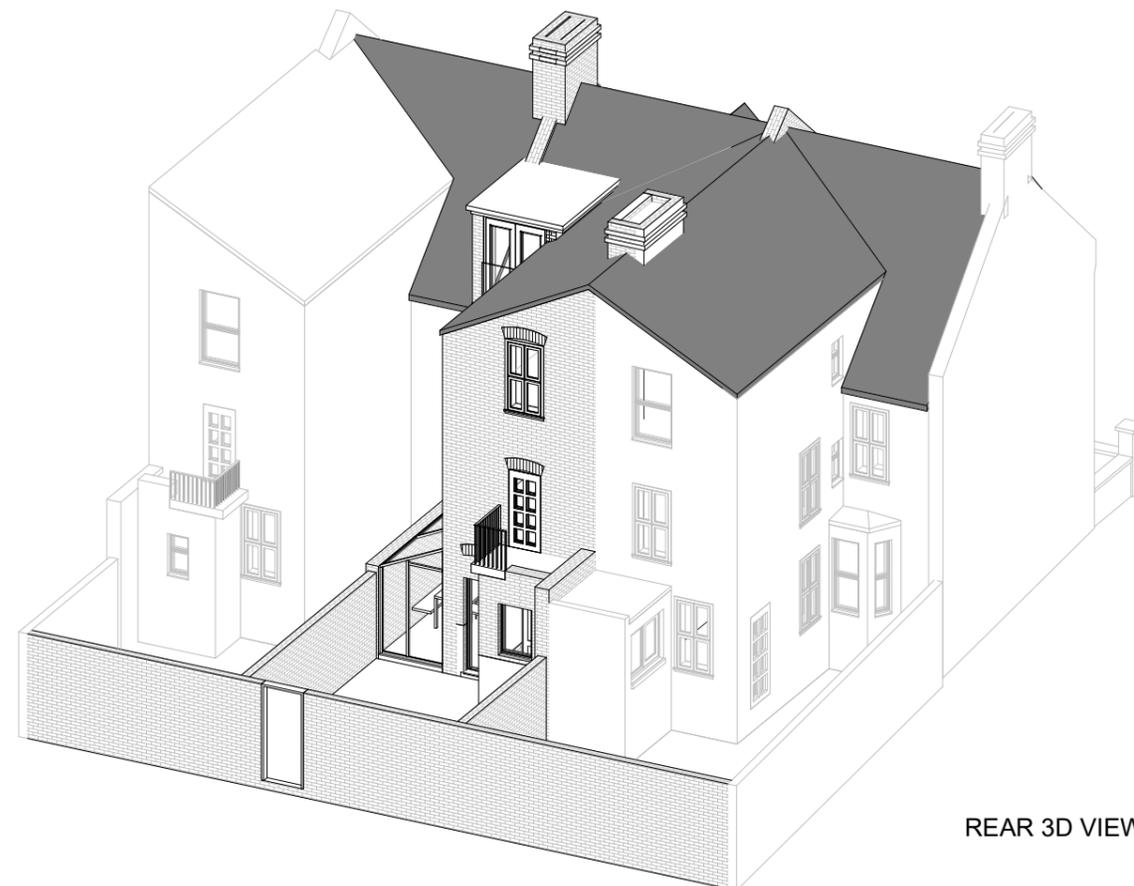
FRONT 3D VIEW



FRONT 3D VIEW



REAR 3D VIEW



REAR 3D VIEW

NOTE:
 Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION
 The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others
 Dimensions and setting out - should be checked on site; see above
 Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only
 Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations
 Planning - the client/ the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions
 Party Walls & Rights to Light - the client/ the contractor will ensure that any notices and consents required are obtained before work commences
 Freeholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any notices and consents required are obtained before work commences
 Archaeological & Ecological - the client/ the contractor will ensure that any notices and consents required are obtained before work commences
NOTE:
 Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power
 Areas provided on drawings are rounded to the nearest whole unit. Measurements are based upon received survey information and as such a reasonable allowance should be made for discrepancies or deviations that may occur during construction.

Revisions		
No.	Description	Date
1	Planning	14/05/21

PROPOSED

Note: Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.

Arcvelop Ltd.
 1 Pembroke Villas
 Notting Hill
 London
 W2 4EA
 T 0207 050 0703
 E info@arcvelop.com
 Project Name: QSC
 Project Number: 10015

Drawing Name
 Proposed 3D Views
Drawing No
 P401
Revision
 1
Scale

