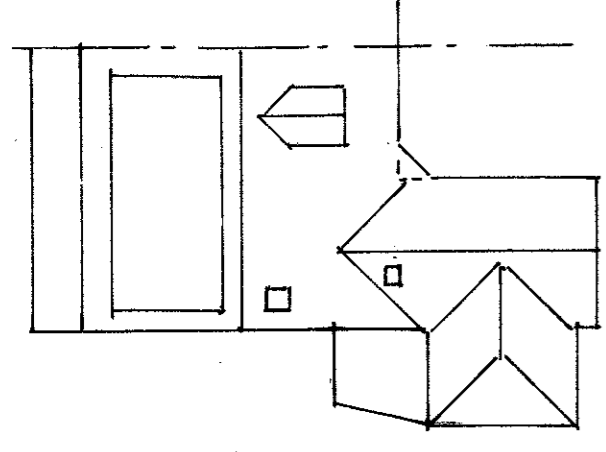


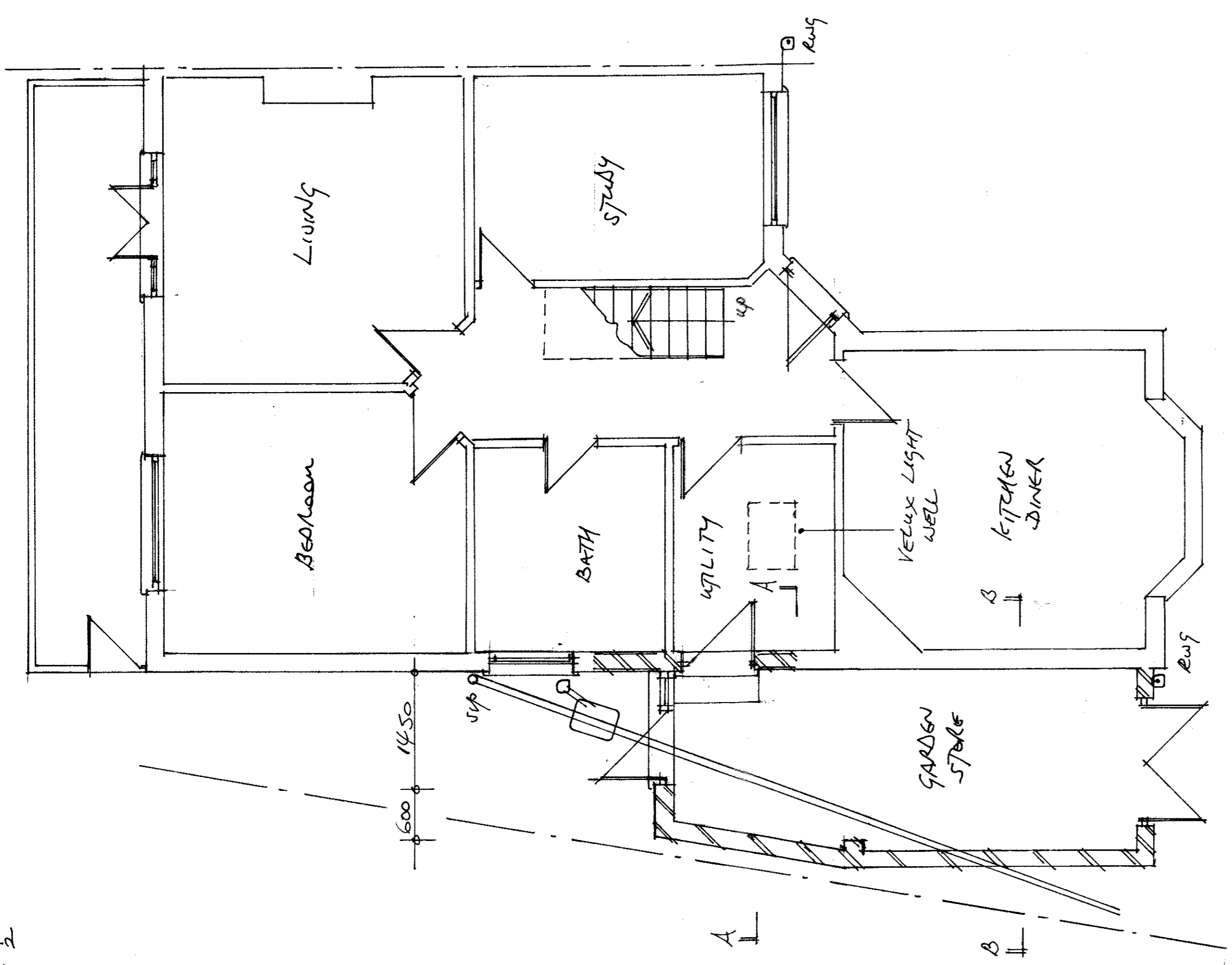
- NOTES:**
1. Copyright: The contents of this drawing may not be reproduced in whole or in part without the written consent of D.L. JACKSON.
 2. No site dimensions are to be used as a check on the drawing's accuracy.
 3. All dimensions, levels and drain lines to be checked on site prior to commencement and any discrepancies notified directly to the surveyor.
 4. All works to be carried out in accordance with the bye-laws and regulations of the local authority.
 5. All work to comply with the latest code of practice and British Standards specification.
 6. **FOUNDATIONS:** To be taken down to a suitable level to local authority approval and below the adjacent ground level. Foundations to be constructed to a minimum depth of 1.2m below ground level. Foundations to be constructed to be 1:2:4 mix strength 21N. Foundation depths are to be in accordance with NHBC practice notes and tables.
 7. **DRAINAGE:** All drains to be 100mm square pipe laid to existing drainage under building to be protected with 150mm concrete surround. Drains passing under walls protected with reinforced concrete. All drains to be 150mm concrete base. All to comply with BS 8301:1985. Single stack plumbing to comply with BS 5572 with 75mm deep seal traps to fittings. Rooding access at all changes in direction. Waste pipes over 2.30 long to be 50mm dia. Rainwater downpipes to be 100mm dia. All rainwater pipes to be 100mm dia. Remove any redundant drains.
 8. **WALLS:** Cavity walls constructed with 100mm brickwork (inner leaf) and 100mm brickwork (outer leaf) with 75mm cavity. All cavity walls to be constructed with 100mm of Driblock 37 insulation in the cavity. Provide all cavity closers with insulated internal finish of 12.5mm plasterboard on dabs with plaster skim. Solid walls constructed with 200mm celspan solar blocks finished externally with 20mm two coat waterproof render BS 5262 and with 50mm gyproc thermal board super on gyproc adhesive dabs internally with skim plaster finish.
 9. **FLOORS:** Solid floors of 65mm cement sand screed finish with 1200 gauge polythene damp proof membrane lapped into wall damp proof course. Timber floors to be constructed with 100mm dia. spaced joists and 18mm thick tongue and groove floorboards. All floor timbers to be treated with preservative. Insulate timber floor voids with 100mm of Celotex FR 4000 insulation.
 10. **FLAT ROOFS:** Constructed with 3 layers felt to BS 747 and CP 144 onto 22mm WBP exterior quality ply with roof insulation of Kingspan thermatich TP10 160mm thick between timber joists at 400mm centres with finishing pieces for a fall of 1:40 min. Roof finished with 12mm spar chipbricks bedded with bitumen. Ceiling finished with 12mm gypsum board. All roof timbers to be treated with preservative. All roof timbers to be 30 x 50mm mild steel straps built into walls at 1.8 metre centres and screwed to joists. Ends of all roof timbers, fascia and soffit boards to be treated with preservative.
 11. **PITCHED ROOFS:** With tiles on treated 25 x 38mm softwood battens with breathable roofing membrane on 100 x 50mm rafters at 400mm centres. Wall plates of 100 x 50mm with 30 x 50mm mild steel straps at 1.8m centres. Insulate roof voids with 200mm Rockwool and treat timber.
 12. **VENTILATION:** All rooms to be provided with 1/20th of the room volume of permanent ventilation. All rooms to have permanent ventilation of 8000 square mm. Kitchens to have mechanical extract of 60 litres per second. Utility rooms to have mechanical extract of 15 litres per second. Utility rooms with extract of 30 litres per second.
 13. **DOUBLE GLAZING:** To be in frames with minimum 20mm air gap with low E glass. Doors and side lights with safety glass to BS 6206. Installer to provide certificate to show glazing complies with current building regulations.
 14. **ELECTRICAL:** All electrical works are to comply with part P (electrical safety) and be installed by a NICEIC registered contractor who will issue a BS 7671 completion certificate for the installation.
 15. **PARTY WALL etc ACT 1996:** Written notice must be given to adjoining owners prior to the start of work on site. 2 months notice for works to party wall or party structure, one month notice for all other works.

Amendments	
Project	Proposed Expansion
	AT 100, DUGDALE HILL
	LANE, POTTERY BAR,
	HERTS, EN6 2AJ
Client	MR & MRS BARNI
Drawn	may 2021 FB/oi
Scales	1:100 / 1:50

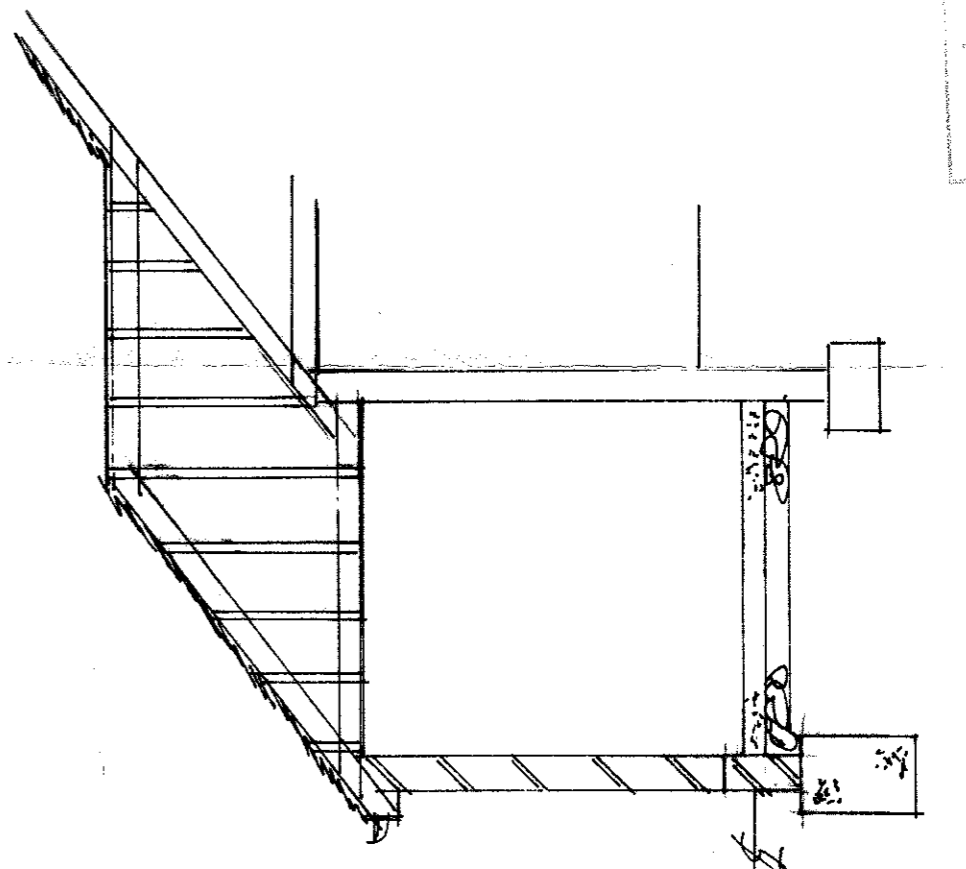
D. L. JACKSON
 M.C.I.O.B. C. BUILD E. MCABE. M.R.S.P.H.
 BUILDING SURVEYOR AND
 ARCHITECTURAL DESIGNER
 31 KING JAMES AVENUE,
 CUFFLEY
 HERTS. EN6 4LN
 Tel: 01707 888948 Mobile: 07836 345 878
 Enfield Design Award Winner 2003



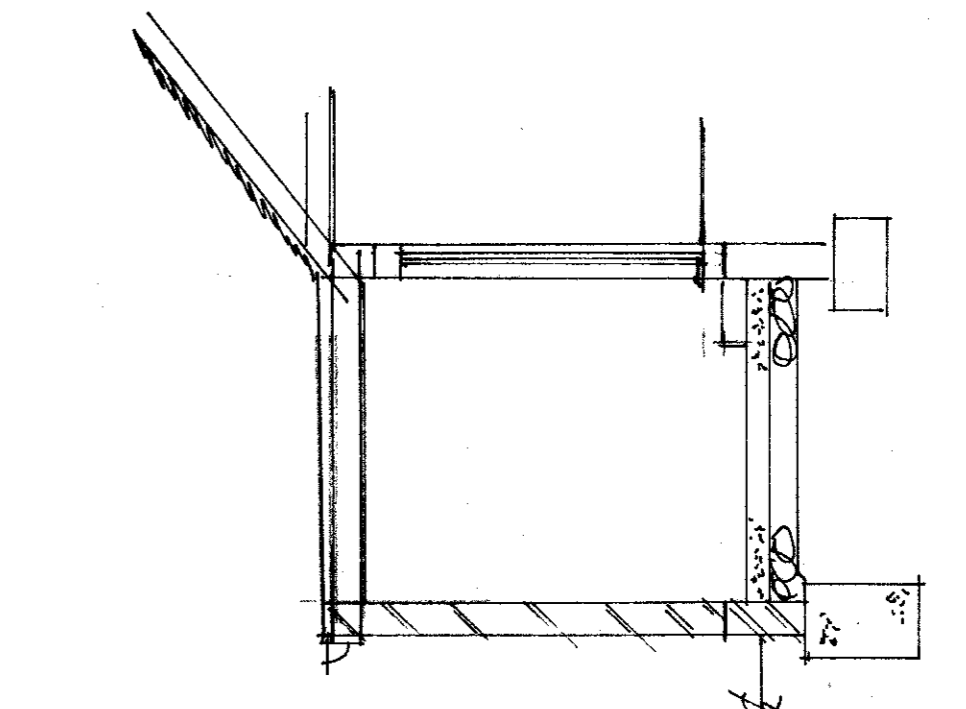
Roof Plan 1:200



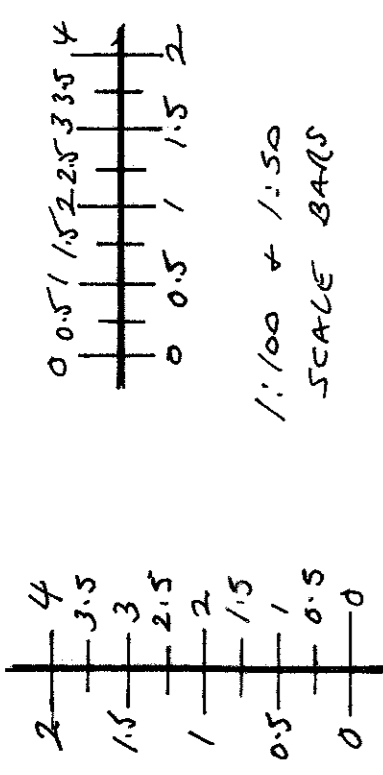
PROPOSED GROUND FLOOR



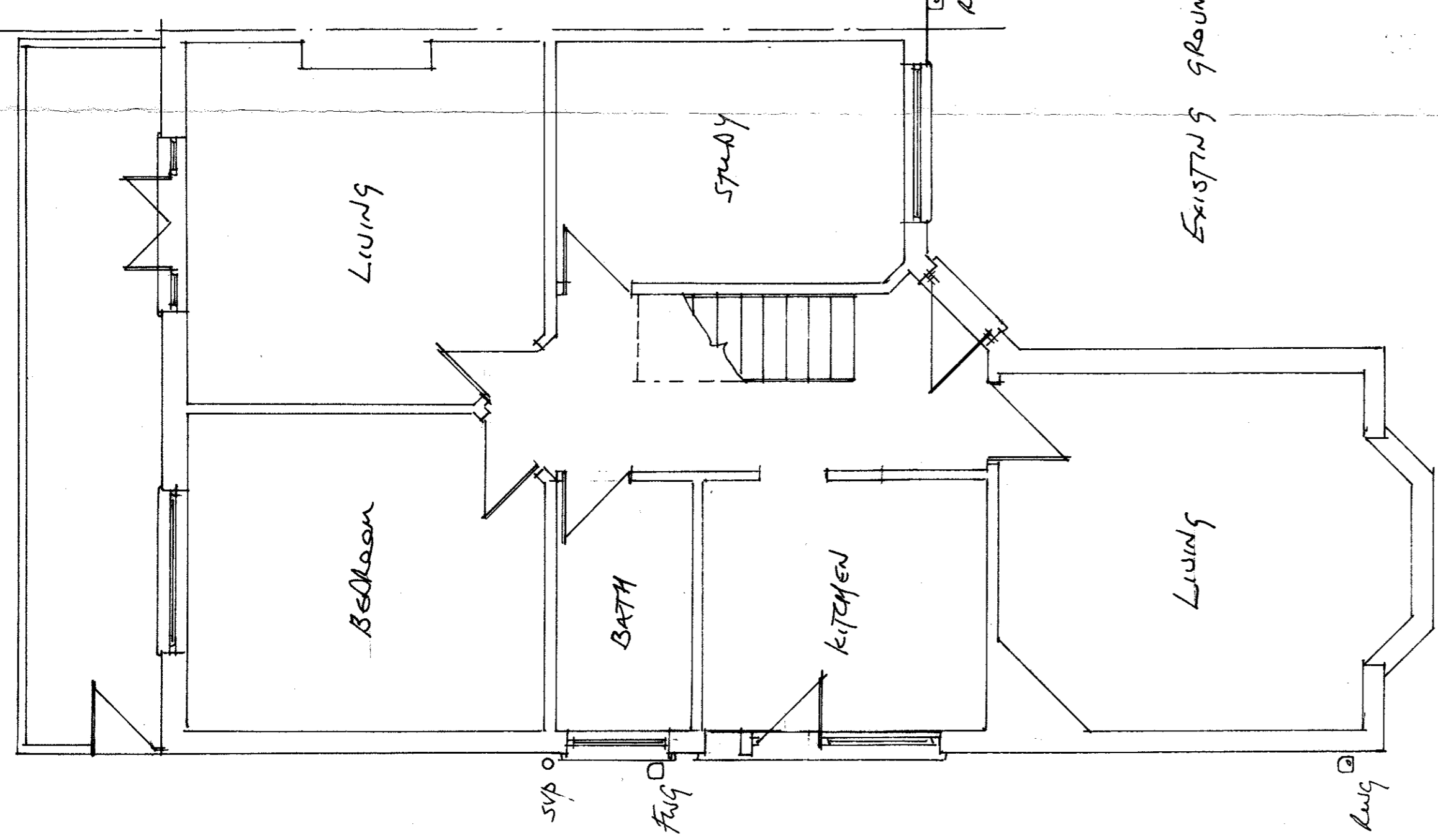
SECTION AA



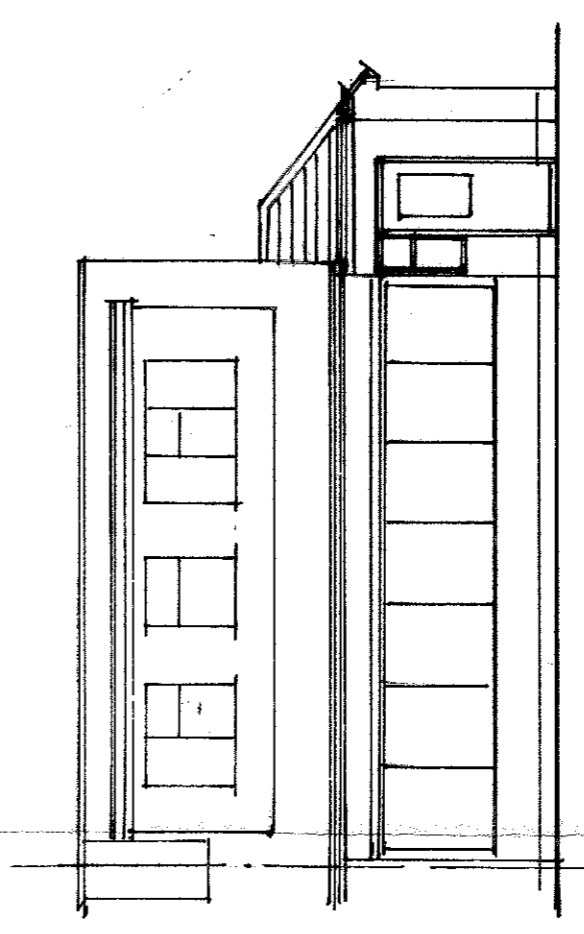
SECTION BB



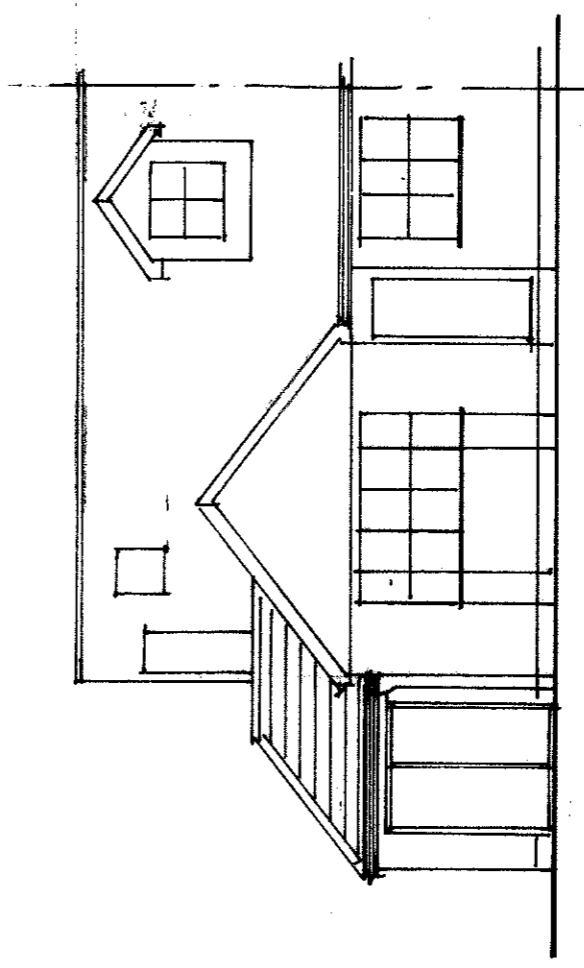
1:100 + 1:50
SCALE BARS



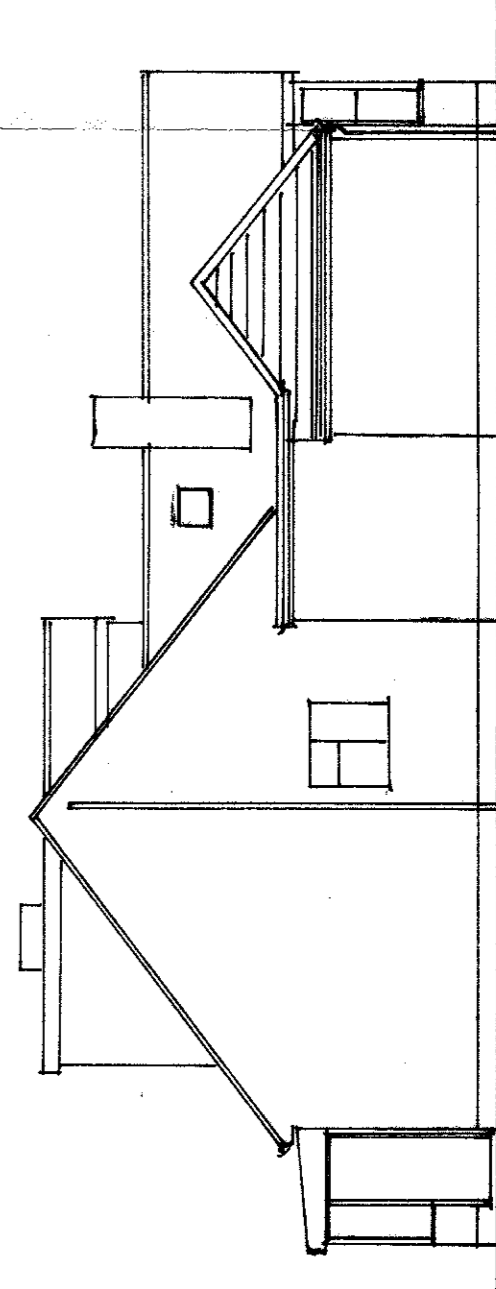
EXISTING GROUND FLOOR



REAR ELEVATION



FRONT ELEVATION



SOUTH ELEVATION

ALL NEW FINISHES TO MATCH EXISTING ROOF TO BEAR TO FRONT RAMP

