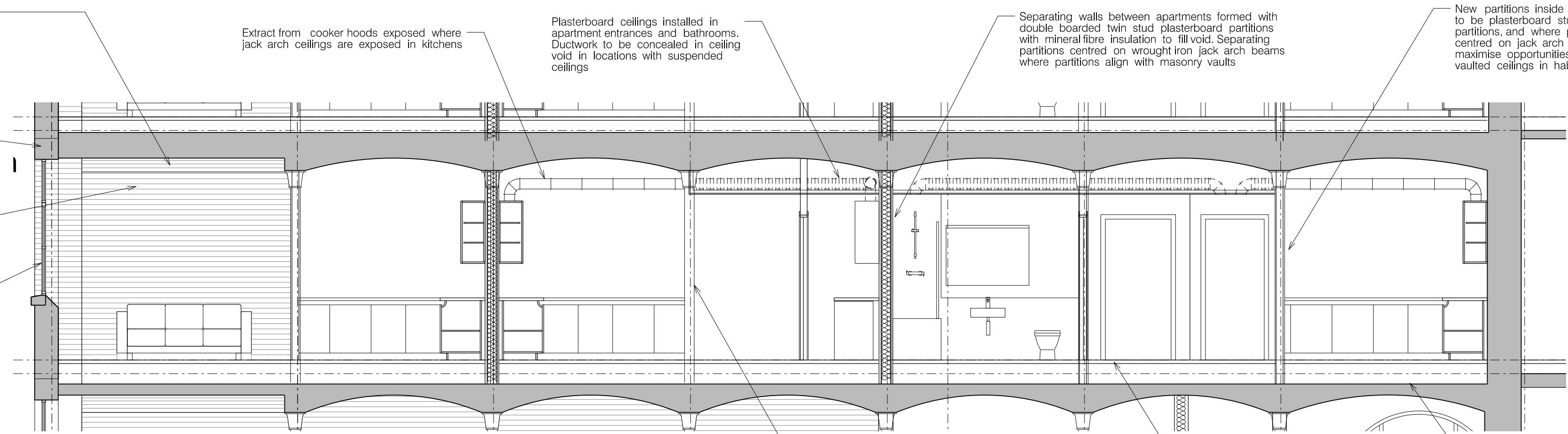


Masonry soffits to jack arch floors generally exposed in bedroom, living, kitchen and dining areas. (subject to confirmation of fire integrity of existing masonry vaulted floors). Any additional fire protection to be agreed with Heritage England and Local Planning Authority

Existing stone lintels and cills to be replaced and made good where required and as indicated in L(-)400 series proposed elevations

Existing brickwork to external walls and load bearing internal masonry walls generally left exposed, other than where linings are required for fire, thermal or acoustic performance.

Existing windows replaced with Crittal W40 six pane double glazed casement windows



DETAIL SECTION 1

Existing iron handrail to be retained, repaired where necessary and decorated with paint finish; subject to agreement with building inspector in terms of meeting current building regulations

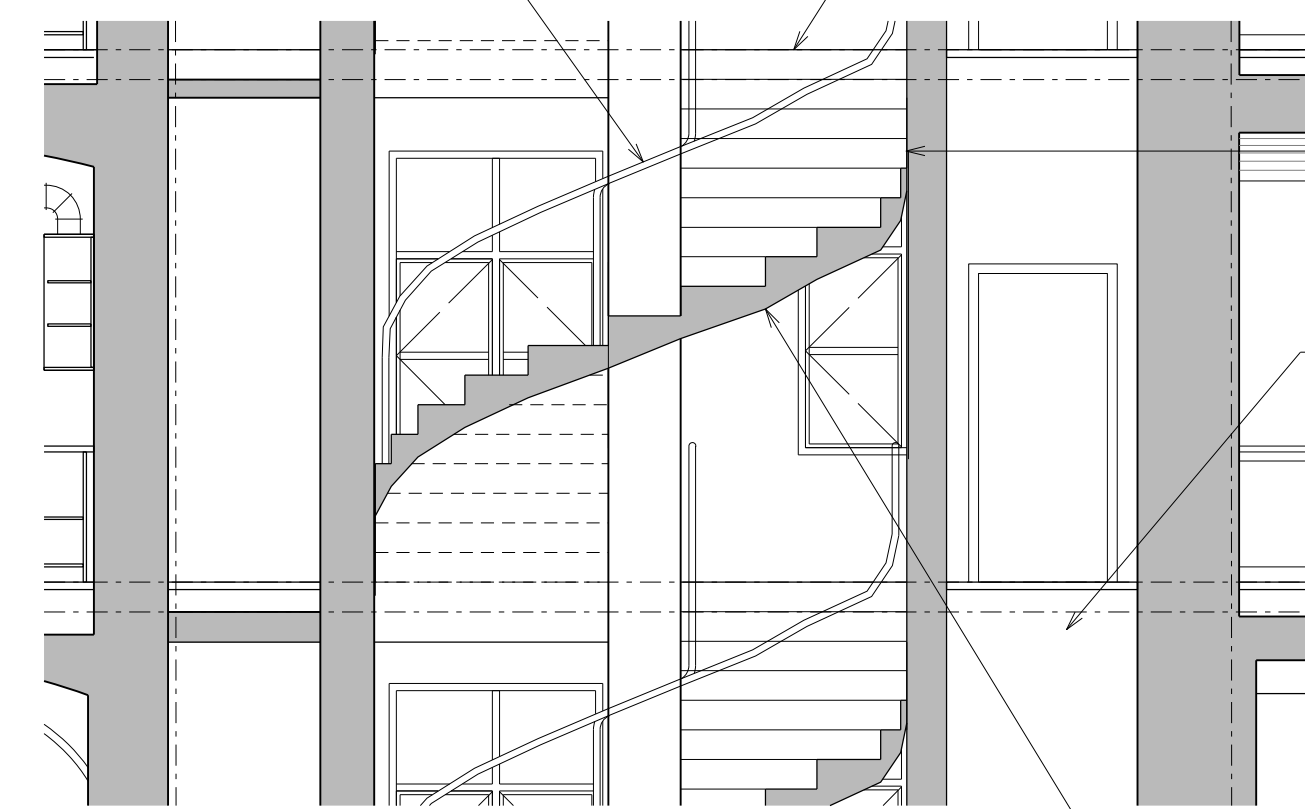
Top step formed with raised floor above existing landing. Raised floor depth is determined by riser heights of existing stair

Note: floor levels vary between north and south stairs by circa 200mm. New floor levels will therefore step between apartments and communal corridor floor will slope

Cast iron columns to be exposed where layouts permit. Column and column heads to be grit blasted and fire protected with intumescent paint with a decorative finish

New raised floors with pipework and cabling distributed in floor void to permit masonry soffits to minimise surface mounted service containment fixed to exposed masonry

Existing floor levels vary across the existing mill with a nominal fall along the length of the building of c. 200mm from north to south



Paint finish to existing masonry within staircase to be removed to expose existing brickwork

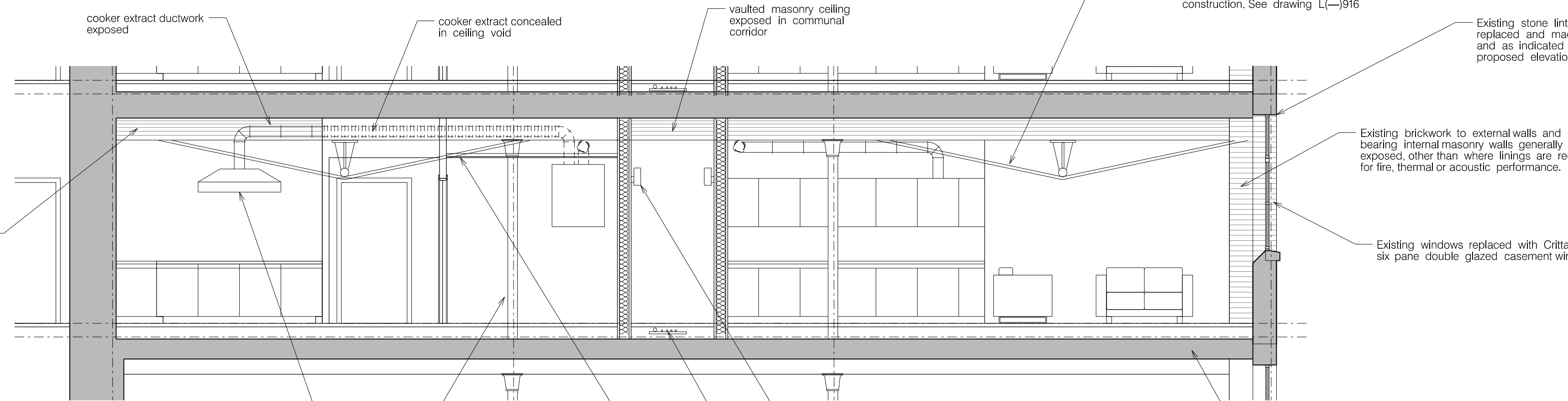
Existing floor trimmed and broken out locally to form service riser

DETAIL SECTION 2

Existing stone stairs to be retained, subject to local fire authority and building control agreement

Existing floor strengthening ties to be retained and exposed where masonry vaulted ceilings are also exposed. Ties to be grit blasted to remove existing finishes and rust, then re-painted. Structural engineer to assess whether ties are required for proposed floor loadings and if so, ties will be painted with intumescent paint with a decorative finish as part of the structural fire protection.

Where floor strengthening ties coincide with a proposed partition, the partition will be constructed around the tie with the tie boxed within plasterboard construction. See drawing L(-)916



masonry soffit exposed

cooker extract ductwork exposed

cooker extract concealed in ceiling void

vaulted masonry ceiling exposed in communal corridor

Existing stone lintels and cills to be replaced and made good where required and as indicated in L(-)400 series proposed elevations

Existing brickwork to external walls and load bearing internal masonry walls generally left exposed, other than where linings are required for fire, thermal or acoustic performance.

Existing windows replaced with Crittal W40 six pane double glazed casement windows

DETAIL SECTION 3

cast iron column and head to be fire protected with intumescent paint with a decorative finish

services in corridors distributed in raised floor void

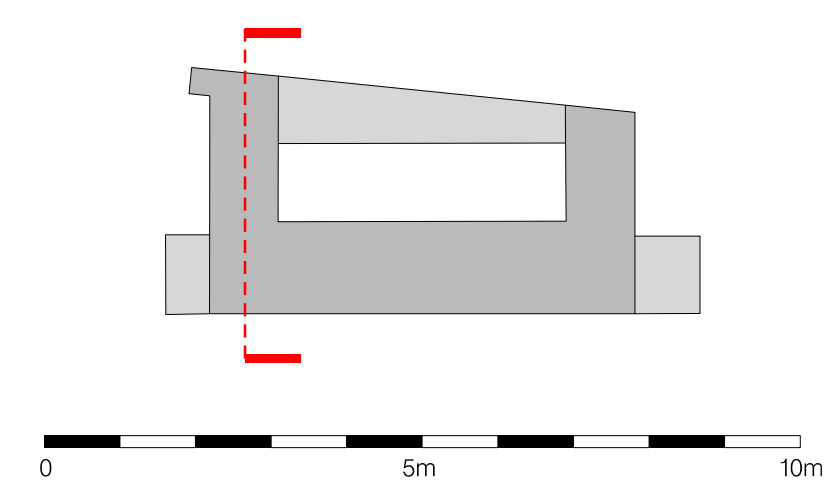
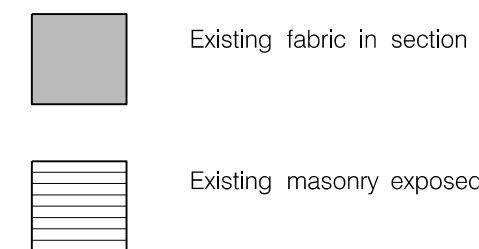
ceiling level in service cupboard determined by level of existing floor strengthening tie

Fire integrity of existing floors to be determined by structural fire engineer

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revisions + notes:
 REV. P2 26/03/2021 Notes amended. PLANNING ISSUE

DO NOT SCALE
 Work to annotated dimensions only.
 Read drawing in conjunction with relevant specification, Structural Engineers' and Services Engineers' drawings.
 Confirm all dimensions before commencement of any work on site or fabrication.



client: MARYLAND SECURITIES
date: March 2021

project: BRUNSWICK MILL DEVELOPMENT
scale: 1:50 @A1
drawn by: TG

title: EXISTING MILL PROPOSED SECTION GRID LINE 4-5
drawing number: L(-)920

status: PLANNING
job number: 0586
revision: P2

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