

# Brunswick Place.

Manchester

Stage 02 | Planning  
Landscape D&AS Chapter  
April 2021

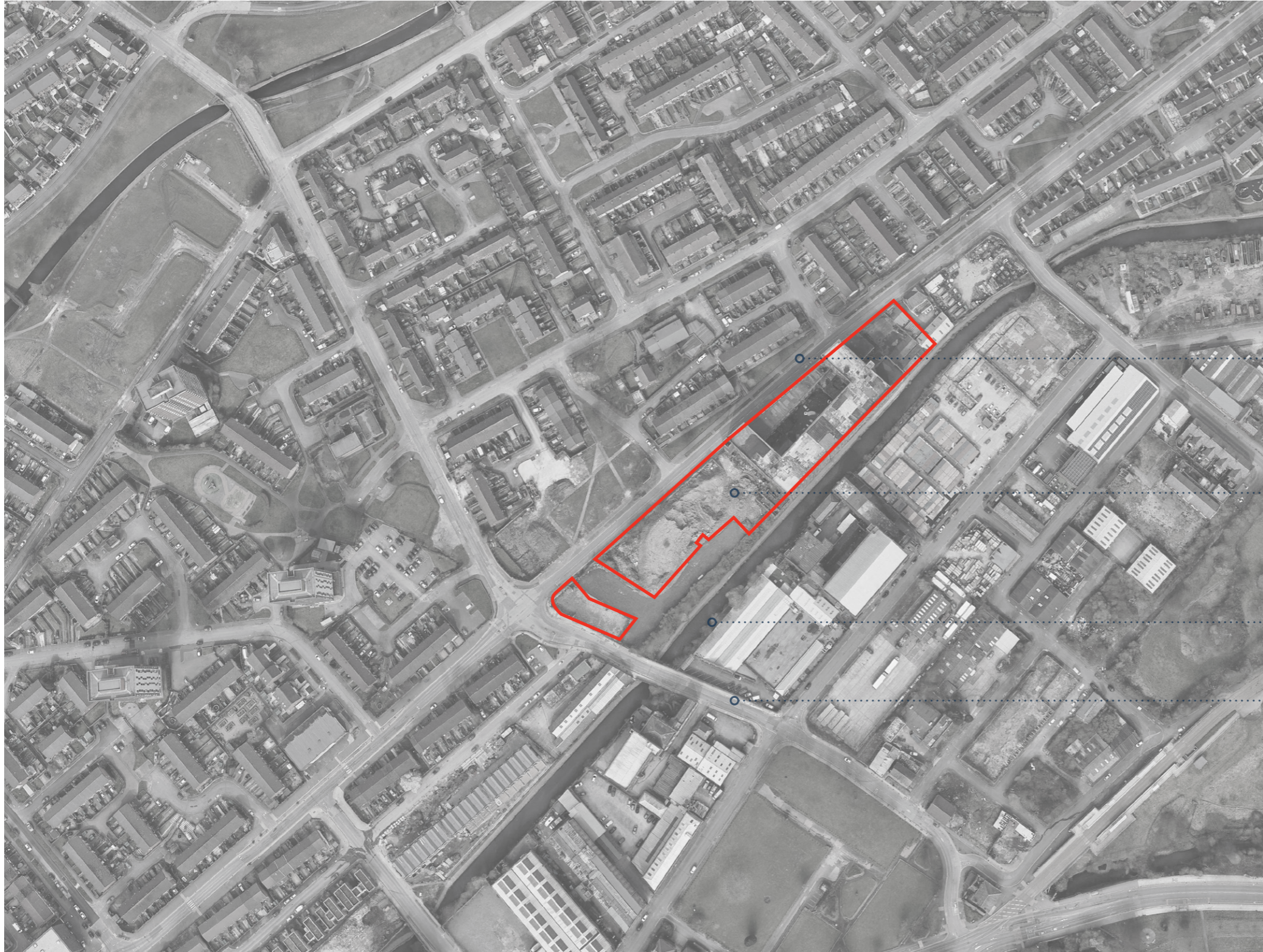


# Contents

<b>1. Introduction</b>	<b>3</b>
Project Location	3
<b>2. Diagrams</b>	<b>4</b>
Design Development	4
<b>3. Design Plan</b>	<b>5</b>
Full Landscape GA	5
Zoom-in 1	6
Zoom-in 2	7
<b>4. Precedent Study</b>	<b>8</b>

# 1. Introduction

## Project Location



Bradford Rd

Site Location

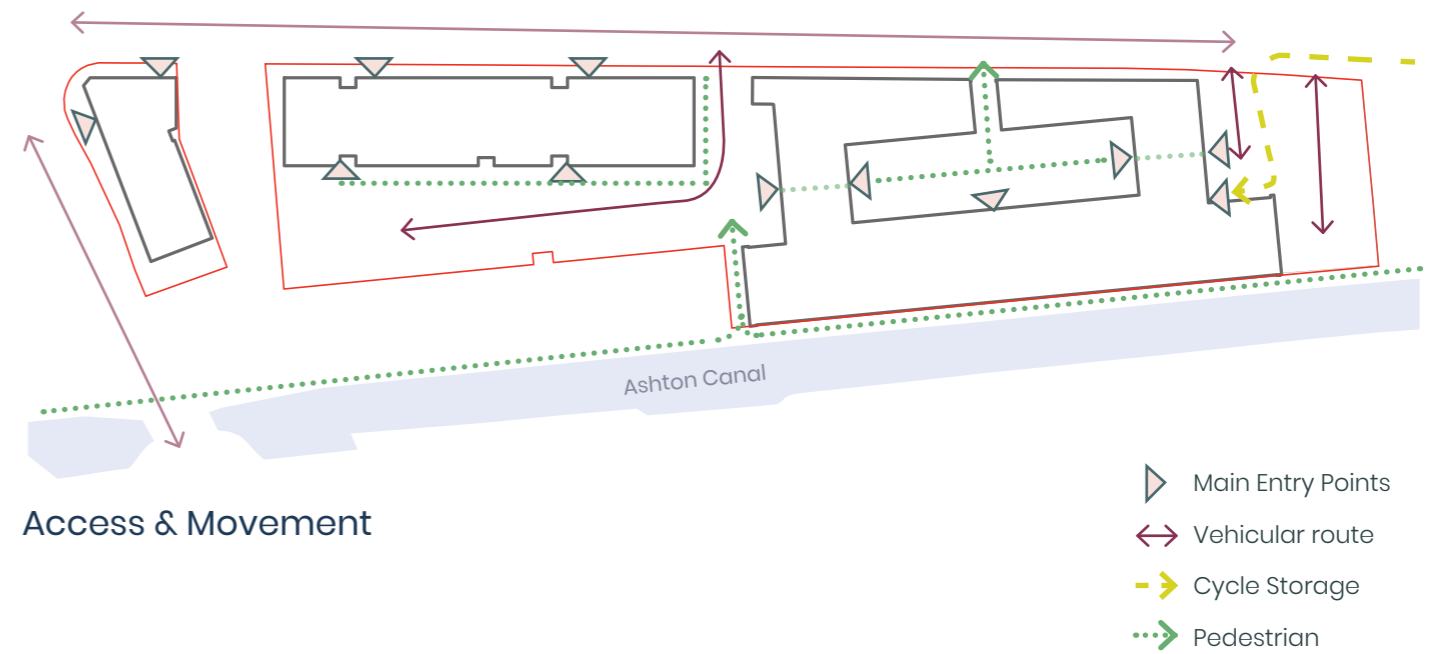
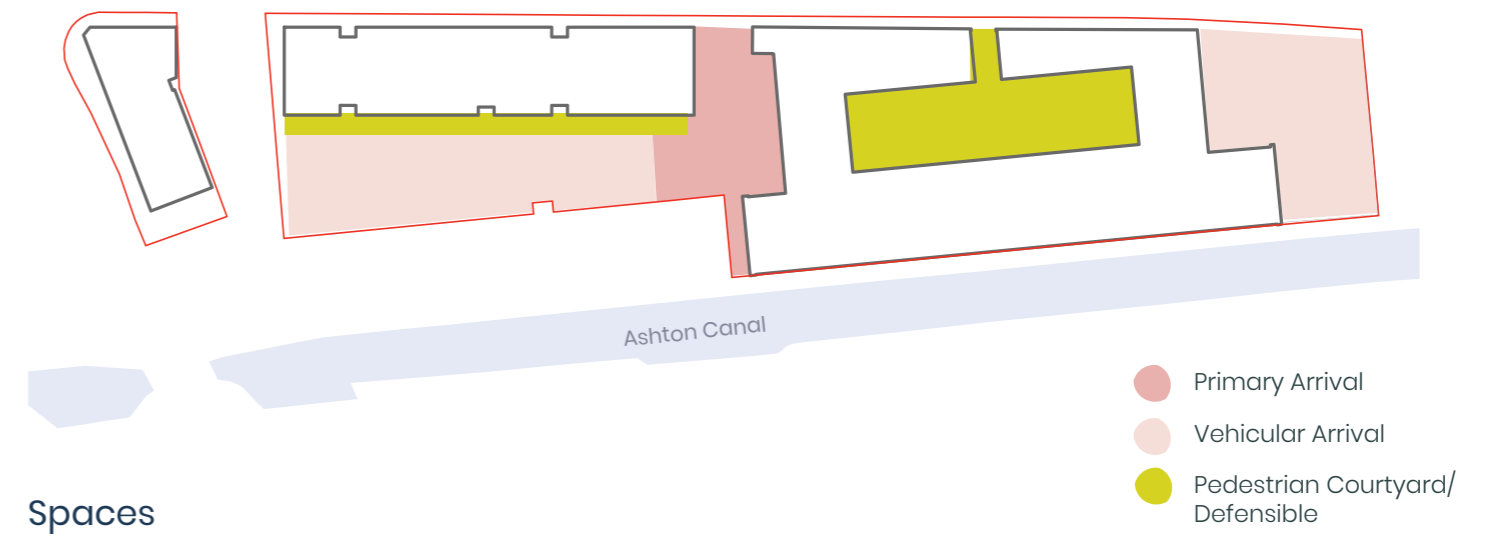
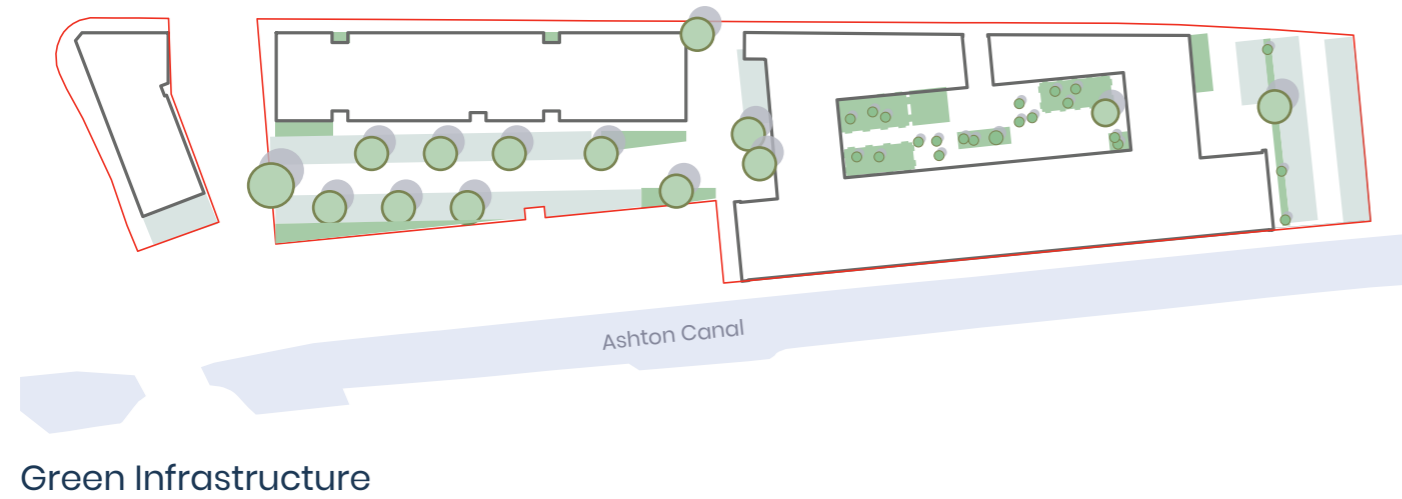
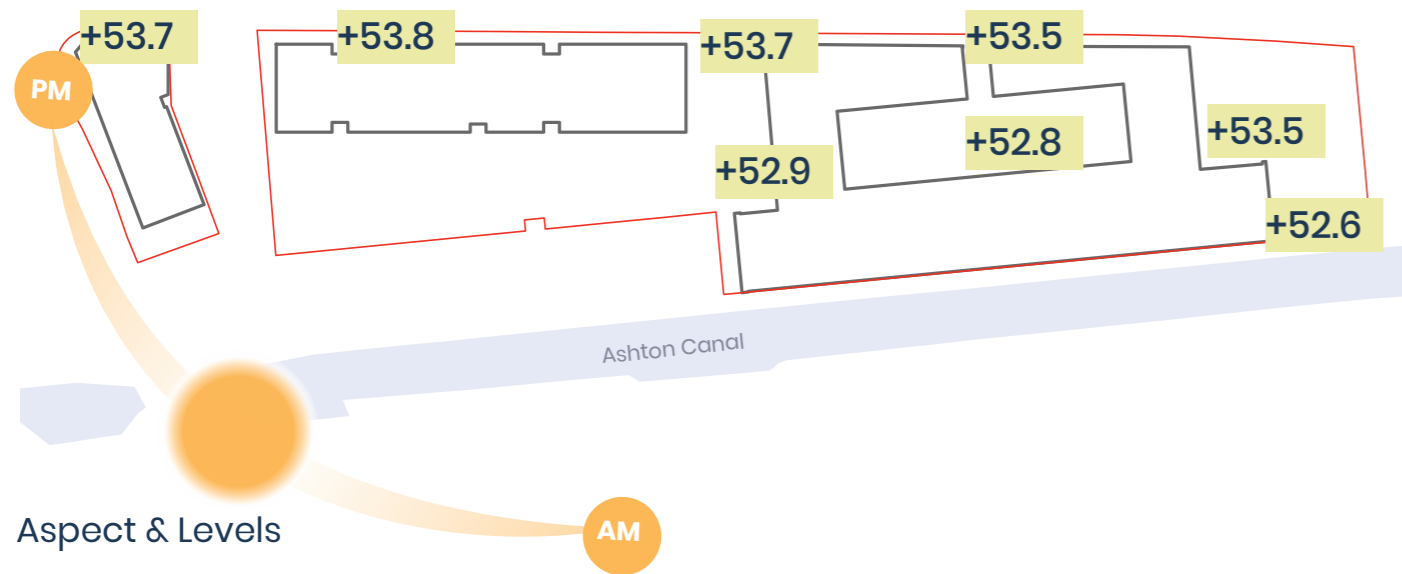
Ashton Canal

Beswick St



Not to Scale

## 2. Design Development Opportunities & Constraints



# 2. Design Development Concept Plan

The landscape concept plan for Brunswick Mill builds on the relationship between the existing historic Mill and the emerging new built form.

Whilst car parking and maximising numbers have been a consideration, it was felt that a more sympathetic Arrival space was needed. This 'knuckle' between the buildings greets the visitor, predominantly to consisting of a high-quality hard materials, including reclaimed cobbles as a nod to the existing uses etc.

Several feature semi-mature trees bound the Arrival space, with limited parking in permeable green-gap paving and feature detail paving bands that provide direction; through in to the existing Mill and also the new pedestrian route to the Ashton canal.

The car parking serving the new building is proposed to consist predominantly as green gap paving, further 'greened' and visually interrupted with feature hedge and tree planting. Further new planting is provided to the south-west boundary, with species selected to increase biodiversity and promote ecology.

The same aesthetic is continued within the 'northern' car park promoting SUD's permeable paving and tree planting.

The schemes private courtyard space within the central setting of the rejuvenated Mill building, takes reference from the small built forms to be demolished. To create spaces within the larger space, the intention is to create atmospheric garden rooms, consisting of verdant paving, walls rebuilt to approx. 2.4m high, with festoon lighting and seating. DDA access is accommodated through the courtyard with a couple of higher FFL's accessed via a extruded steel walkway with planting beneath.

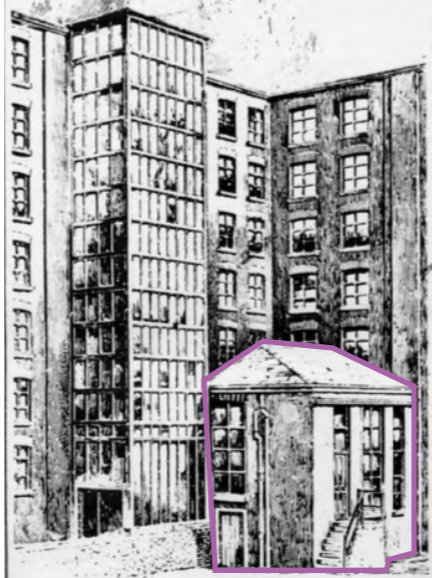
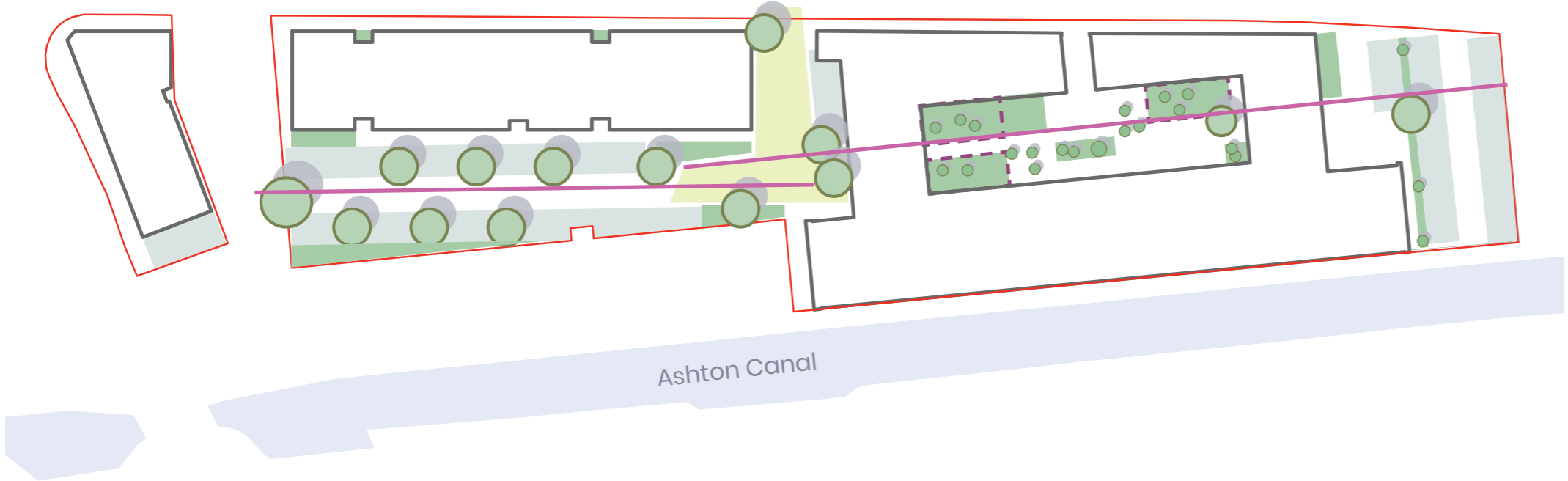
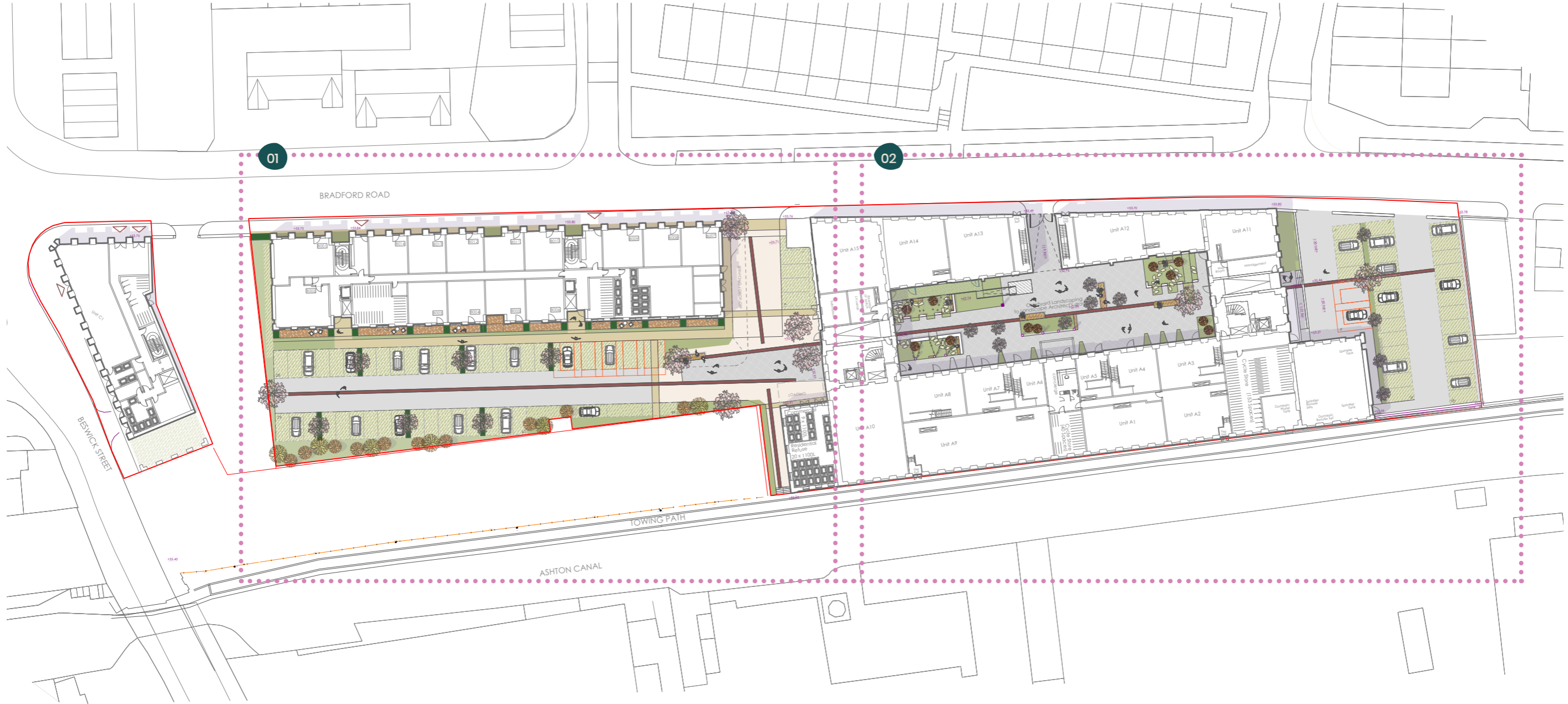


Figure (left) illustrates the small buildings for demolition which have inspired the outdoor garden rooms



Not to Scale

# 2. Design Development Landscape Masterplan



Not to Scale

# 2. Design Development

## Area 01

01

BRADFORD ROAD



# 2. Design Development

## Area 02

02





# 3. Precedent Study

01



### 3. Precedent Study 02

