

Heritage Statement : Construction of a Roof Room and terrace at 48 King Street, Southport PR8 1JX.

Please refer to drawings SP3D/ 100/001-Rev. C, SP3D/ 100/002-Rev. C and SP3D/ 100/003-Rev. C.

It is proposed to construct a Roof Room with terrace to provide additional amenity space and storage to a second floor flat and allow access for roof maintenance.

Policy Background

The site lies within the Lord Street Conservation Area which was designated in 1973 and an updated Conservation Area Appraisal was adopted by the Council in 2017 (see fig.1 & fig.2).

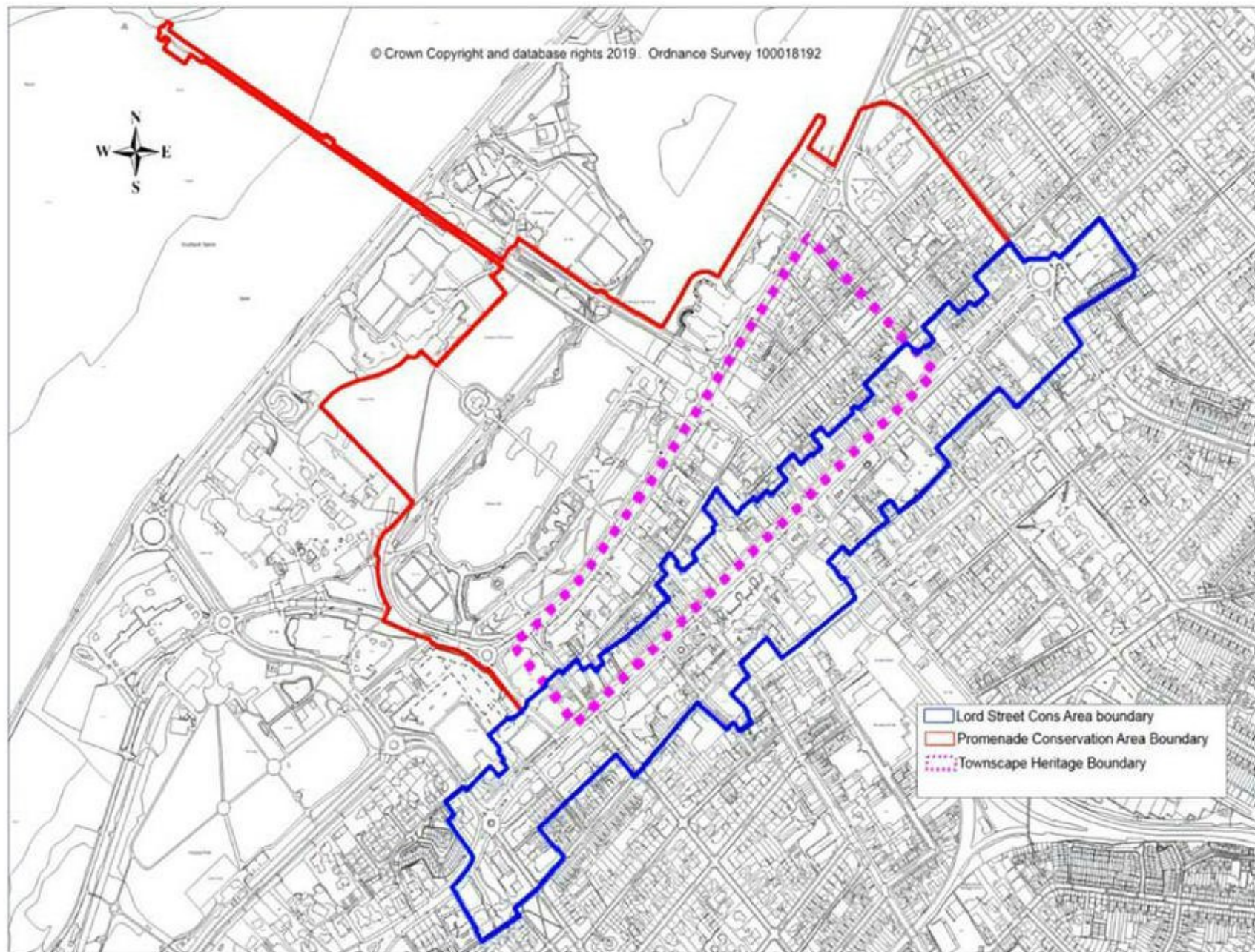


Fig. 1 – Southport Conservation Areas

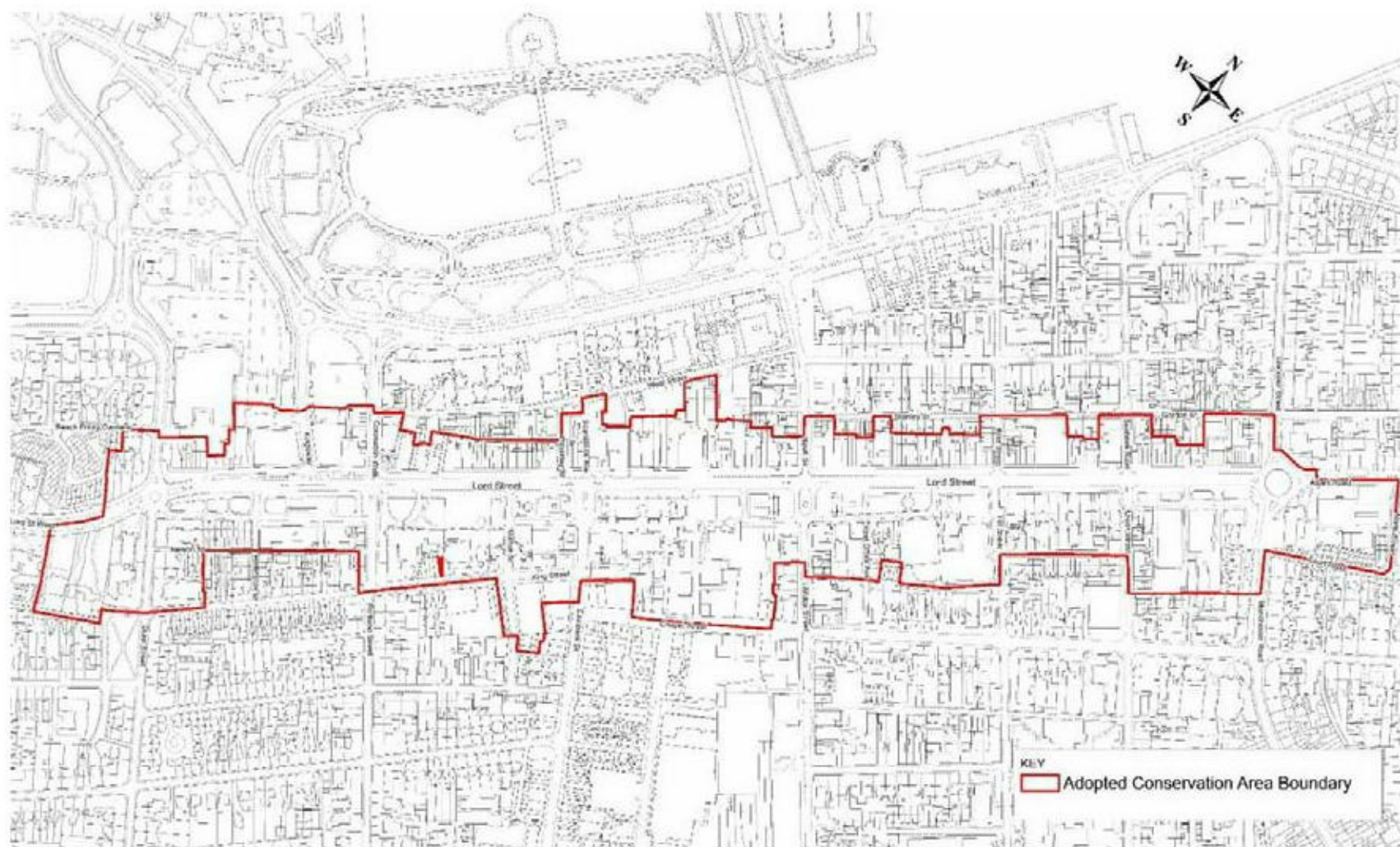


Fig. 2 – Lord Street Conservation Area

King Street contains a mixture of retail, professional and residential uses (see fig.3).



Fig. 3 – Ground Floor use classes on King Street

The property is not in proximity to any of the conservation area's primary or secondary landmarks and is surrounded by properties which vary in age (see fig.4).



Fig. 4 – Building ages on King Street

Design Principles

The Roof Room is to be placed above the roof to the second floor flats which form part of the residential units located above the ground floor retail premises. The adjacent flat roof toward the front of the property is to provide a roof terrace bounded to the west elevation by a new 1100mm high wall with a balustrade running between the Roof Room and this new wall. The Roof Room will not be visible from the street, being obscured by the existing pitched roof and will only be visible from the higher floors of the surrounding buildings to the rear of the property such as Forum Court. Access to the flat roof to the rear of the Roof Room is to be for maintenance purposes only.

Use

Flats.

Amount

The Roof Room has a gross floor area of 22m². The maximum roof height is 3.02m above the existing flat roof, 1.38m above the pitched roof to the front of the property and 0.42m below the adjacent ridge to the pitched roof to no. 46 King Street (see Section C-C on drawing no. SP3D/100/002-Rev. C for precise dimensions).

Layout

See drawing nos. SP3D/100/001-Rev. C, SP3D/100/002-Rev. C and SP3D/100/003-Rev. C.

Appearance

External walls: Polymer cement render (painted white) on 215mm FIBOLITE Block.

Roof: Profiled steel sheet roof covering, powder coated dark grey to match adjacent roof tiles.

Windows, doors & rainwater goods: Upvc, white.