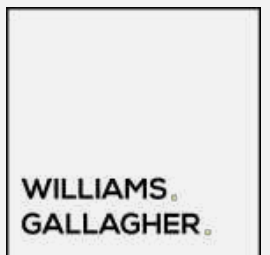


**PROPOSED RESIDENTIAL CONVERSION
104-106 HIGH STREET | SEVENOAKS**

Design, Access and Heritage Statement
May 2021



1.0 INTRODUCTION

- 1.1 This Design, Access and Heritage Statement has been prepared in support of an application for full planning permission and listed building consent for works to facilitate the lawful conversion of the upper floors of 104-106 High Street, Sevenoaks ('the premises') to 2 no. apartments.
- 1.2 Listed building consent is required for the proposed works as the premises comprises a Grade II listed building and planning permission is sought for works to the rear elevation.
- 1.3 In more detail, the following works are proposed:
- general maintenance works to prevent water ingress in particular;
 - works to the ancillary / storage areas of the premises to create 2 no. high quality 2 bed, 4 person apartments (NB the conversion of the premises to 2 no. apartments is subject to a separate application for a Lawful Development Certificate (Ref: 21/00761/LDCPR));
 - the creation of a new residential entrance to the rear of the premises complete with canopy;
 - the introduction of a guarding rail adjacent to the new entrance for pedestrian safety;
 - a new access door to the stores at ground floor;
 - the repair and refurbishment of the existing windows on the High Street elevation and the replacement of windows to the rear (to match existing);
 - works to repair and restore the High Street elevation (including the shopfront) which has been the subject of neglect for a number of years (and resulted in a negative impact on the Sevenoaks High Street Conservation Area).

2.0 SITE LOCATION & DESCRIPTION

- 2.1 The subject premises is situated at 104-106 High Street, Sevenoaks and currently comprises a retail unit at ground floor (Use Class E) with associated ancillary space and storage areas on two floors above. There is a modern single storey extension to the rear of the premises which fronts onto a car park area and refuse store which is accessed via the existing rear access roadway (Locks Yard).
- 2.2 The premises was occupied up until recently by Edinburgh Woollen Mill and as can be seen from the image to the right and below at Appendix 1, has been very much neglected from a maintenance perspective. The internal layout of the premises has also been the subject of significant alterations over the years and requires urgent maintenance (to prevent water ingress in particular).



3.0 PROPOSED DEVELOPMENT

- 3.1 The proposed development entails works to facilitate the lawful conversion of the upper floors of 104-106 High Street, Sevenoaks ('the premises') to 2 no. apartments.
- 3.2 The following works are proposed:
- general maintenance works to prevent water ingress in particular;
 - works to the ancillary / storage areas of the premises to create 2 no. high quality 2 bed, 4 person apartments (NB the conversion of the premises to 2 no. apartments is subject to a separate application for a Lawful Development Certificate (Ref: 21/00761/LDCPR));
 - the creation of a new residential entrance to the rear of the premises complete with canopy;
 - the introduction of a guarding rail adjacent to the new entrance for pedestrian safety;
 - a new access door to the stores at ground floor;
 - the repair and refurbishment of the existing windows on the High Street elevation and the replacement of windows to the rear (to match existing);
 - works to repair and restore the High Street elevation (including the shopfront) which has been the subject of neglect for a number of years.
- 3.3 The appearance of the elevations will remain much the same as the existing, with the exception of a canopy above the residential entrance and a new access door to the stores at ground floor on the rear elevation.
- 3.4 The appearance of the premises from the High Street will however be much improved following repair and restoration – in this respect, the works will serve to positively enhance the Sevenoaks High Street Conservation Area.

4.0 DESIGN, ACCESS & HERITAGE

DESIGN & ACCESS

Use

- 4.1 The intended use of the premises is that of Use Class E at ground floor and Use Class C3 residential on the first and second floors. The acceptability of the use of the premises is not the subject of this application however; please instead refer to Application Ref: 21/00761/LDCPR.

Amount

- 4.2 The proposed works do not propose any extensions to the premises - they will however facilitate the conversion of the upper floors to residential. The premises is arranged over ground, first and second floor comprising of 165.90 sqm, 85.55 sqm and 84.08 sqm respectively.

Design

- 4.3 The proposed development simply looks to facilitate the conversion of the upper floors to residential (which in our view is to be regarded as lawful development – see Application Ref: 21/00761/LDCPR) with minimal external works proposed. ‘Design’ is therefore not considered to be applicable in this case.

Layout

- 4.4 The proposed development will clearly result in alterations to the layout of the first and second floors of the premises to facilitate the proposed residential accommodation.
- 4.5 Notwithstanding this, it is clear from inspection of the premises that the upper floors have been the subject of significant alteration over the years and as such make very little contribution to the significance of this Grade II listed premises. To this end, the proposed layout should be regarded as entirely acceptable.

Scale

- 4.6 The proposal simply looks to make alterations to an existing premises therefore ‘scale’ is not applicable in this case.

Appearance

- 4.7 The overall appearance of the premises will remain unchanged save for the minor amendments to the rear to facilitate access to the upper floors. Its general appearance will however be substantially improved through the repair and restoration of the High Street elevation.

Landscape

- 4.8 The proposal relates to an existing building, therefore landscaping is not applicable in this case.

Access

- 4.9 Access to the premises will remain as existing, save for the introduction of a new residential access to the rear.

HERITAGE

- 4.10 As can be seen from the above and the submitted plans, the proposed development will do very little to undermine the significance of this Grade II listed heritage asset. It will instead facilitate the much needed restoration of the premises’ High Street frontage leading to a positive enhancement of the Sevenoaks High Street Conservation Area.
- 4.11 Furthermore, the internal works will facilitate the occupation of the upper storeys by residential uses reflecting the traditional role of the High Street and resulting in increased footfall and vitality of the High Street and public benefits overall.

APPENDIX 1 – PHOTOS OF PREMISES





