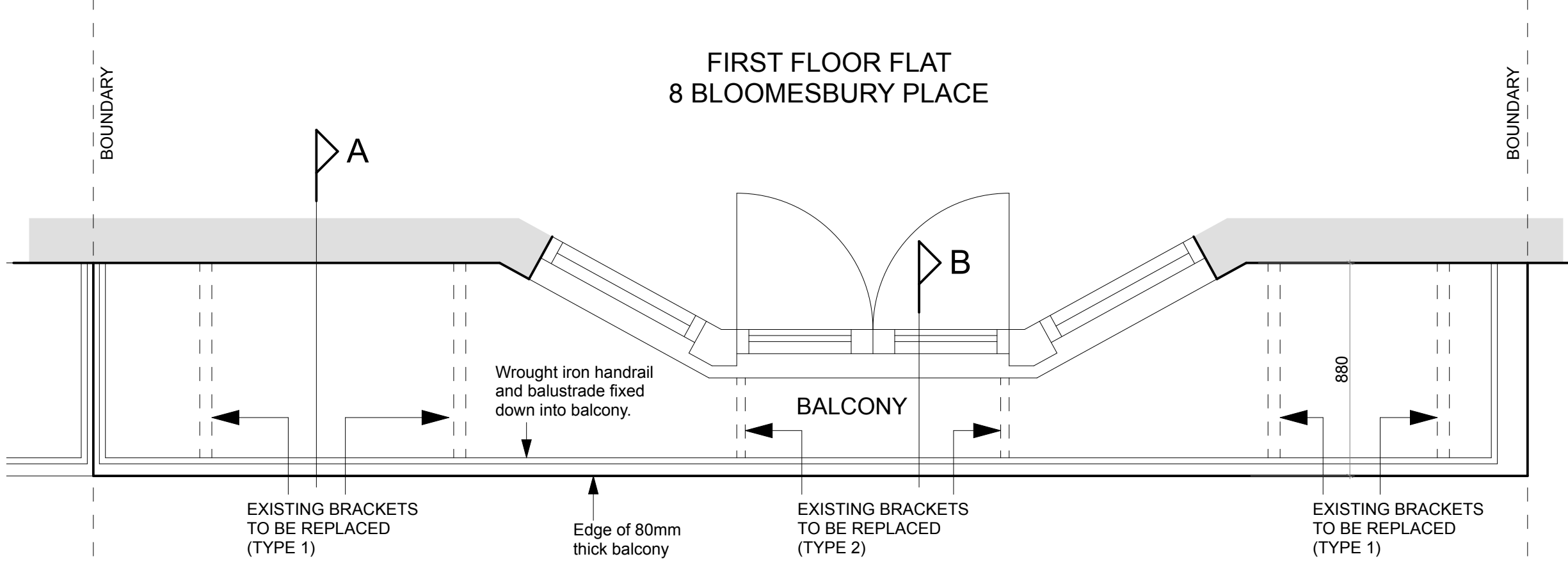


FRONT ELEVATION

SCALE 1:50

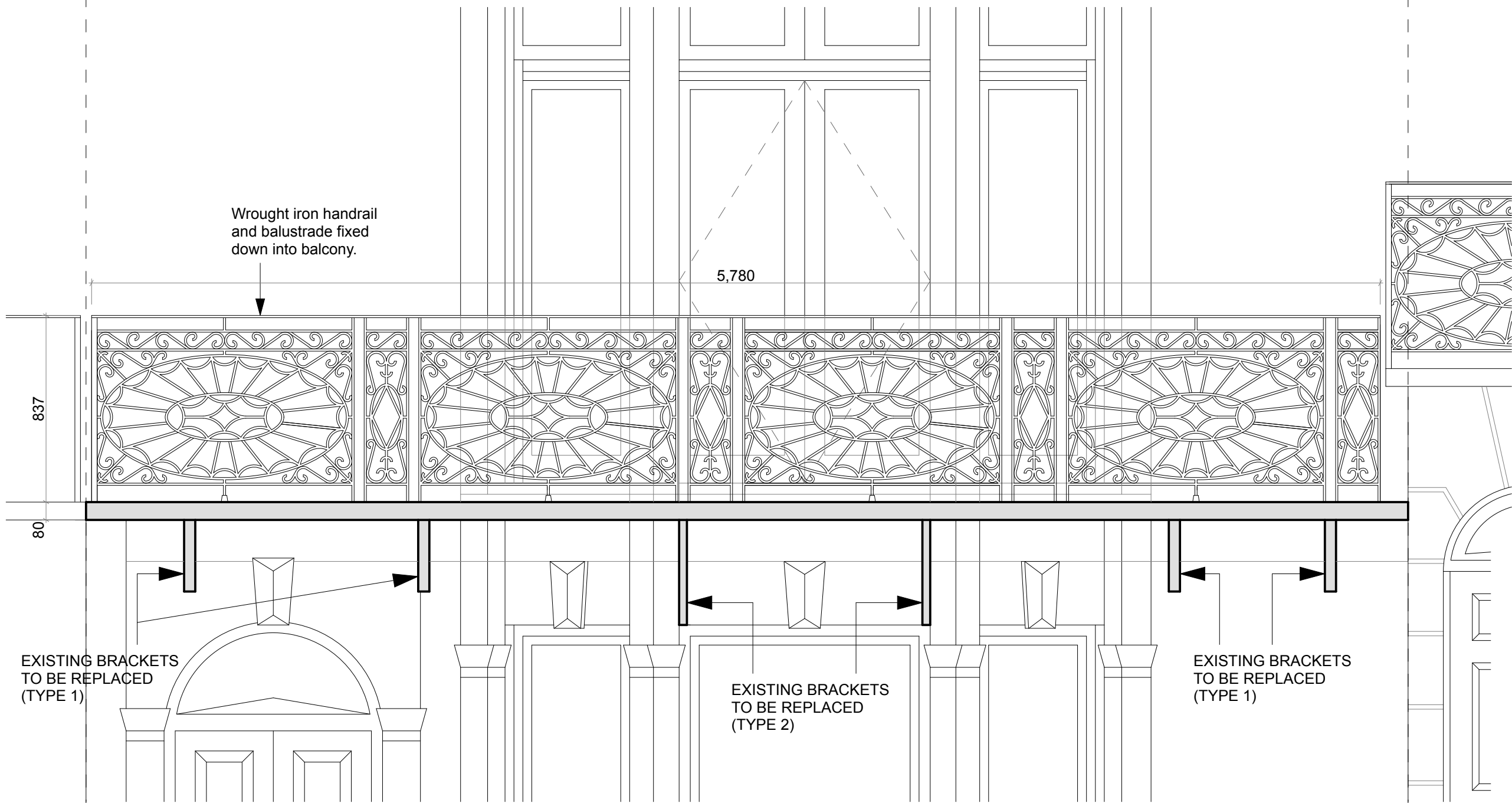


PHOTO OF EXISTING ELEVATION



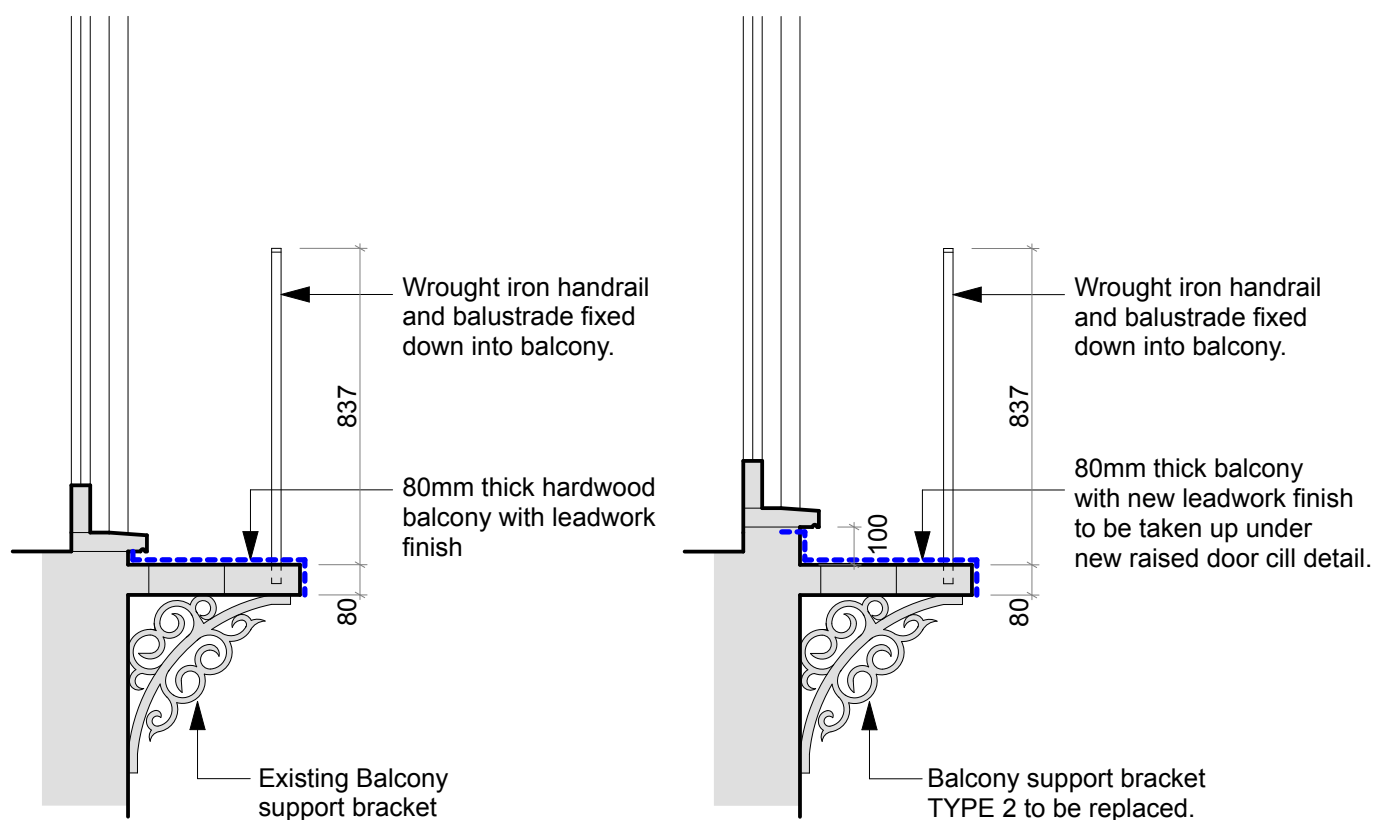
PLAN OF FIRST FLOOR BALCONY

SCALE 1:20



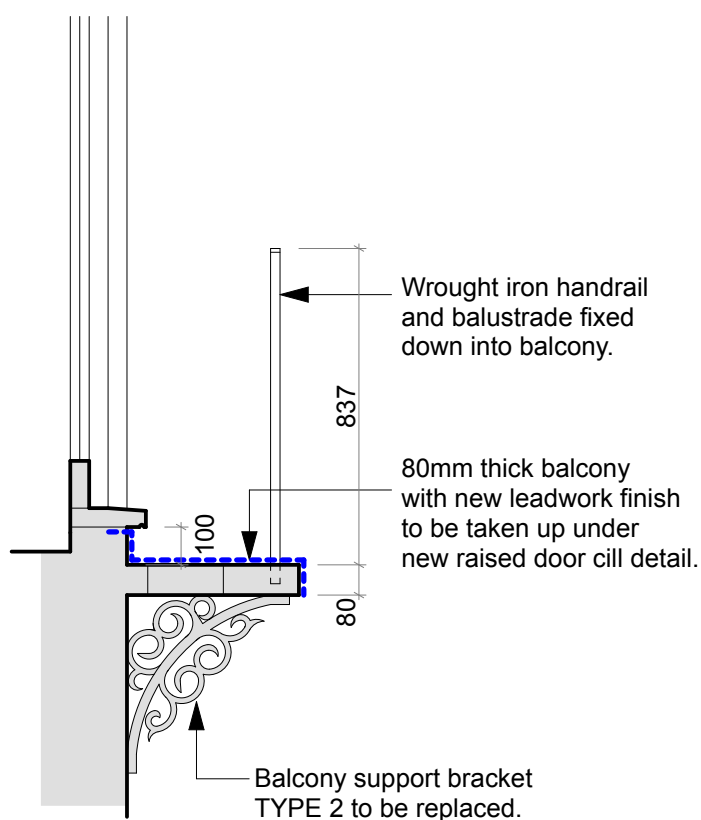
ELEVATION OF FIRST FLOOR BALCONY

SCALE 1:20



EXISTING SECTION B - B

SCALE 1:20



PROPOSED SECTION B - B

SCALE 1:20

ALL DIMENSIONS TO BE CHECKED ON SITE
PRIOR TO MANUFACTURE OF ANY NEW WORKS.



PHOTO OF EXISTING BALUSTRADE TO BE SANDBLASTED, REPAIRED & REPAINTED.

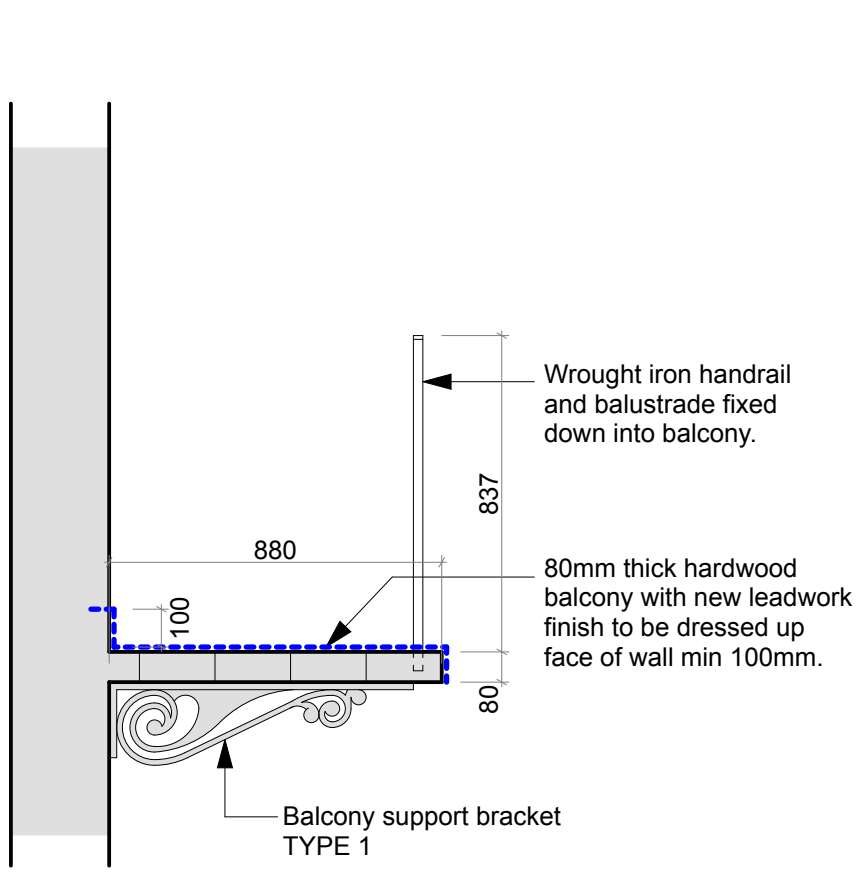


TYPE 1 - (4 NO)



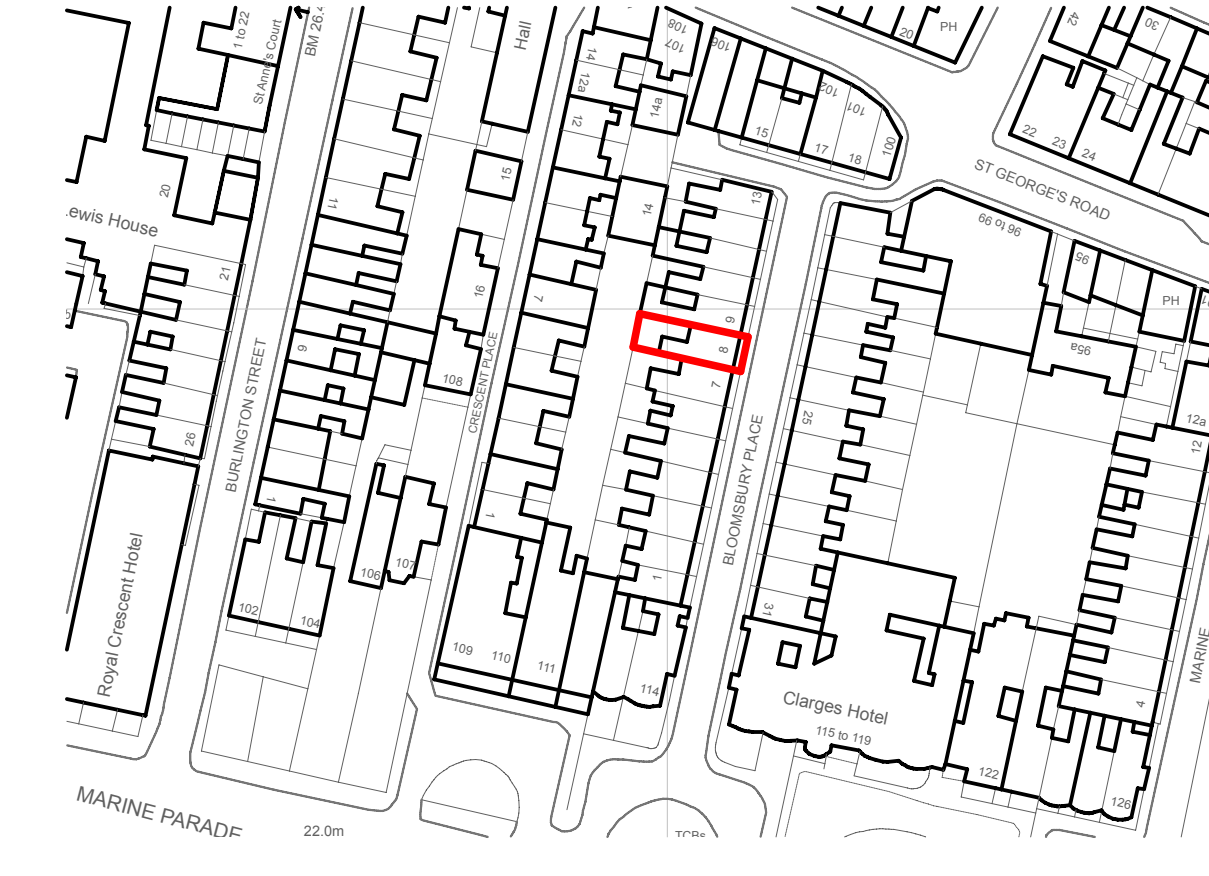
TYPE 2 - (2NO)

PHOTO OF EXISTING BRACKETS TO BE REPLACED

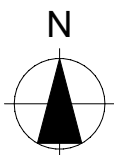


SECTION A - A THROUGH BALCONY

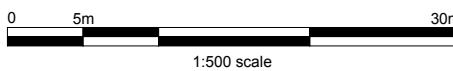
SCALE 1:20



LOCATION PLAN 1:1250



BLOCK PLAN 1:500



DESIGN AND ACCESS STATEMENT

REFURBISHMENT OF EXISTING BALCONY, HANDRAIL, SUBSTRATE AND SUPPORTS.

FOR:
Refurbishment of existing balcony.

USE:
Balcony

LAYOUT:
Ref: Garrick Architects drawing 2101-01A

SCALE: As per drawing.

LANDSCAPE: N/A

APPEARANCE:
As per drawing.

ACCESS VEHICULAR & TRANSPORT LINKS:
N/A

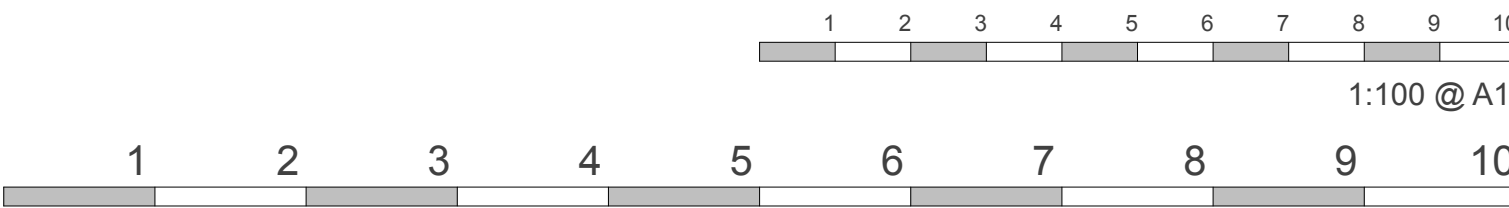
INCLUSIVE ACCESS: N/A

DEVELOPMENTS WITHIN OR AFFECTING
CONSERVATION AREAS, A LISTED BUILDING OR ITS
SETTING, ARCHAEOLOGICALLY SENSITIVE AREAS,
SCHEDULED ANCIENT MONUMENTS OR HISTORIC
PARKS AND GARDENS:


The proposed works are considered essential to maintain and
preserve the historic fabric of the building as well as for safety
reasons.

SCOPE OF WORKS.

- BALUSTRADE CAREFULLY
REMOVED AND INSPECTED
PRIOR TO SAND BLASTING.
REPAIRS MADE AS REQUIRED
PRIOR TO REPAINTING.
- LEAD REMOVED FROM
SUBSTRATE TO ALLOW
INSPECTION OF EXISTING
HARDWORK DECK.
REPAIRS / REPLACEMENT
BOARDS CARRIED OUT AS
REQUIRED PRIOR TO NEW
CODE 6 LEAD FINISH BEING
APPLIED.
- ALL BRACKETS INSPECTED
AND REPLACED AS
REQUIRED.



Work to indicated dimensions only. All dimensions to be confirmed on site. This drawing is to be read in conjunction with other drawings in this series and all relevant consultants drawings and documentation, where applicable. This drawing has been produced for the client and project identified below and is not intended for use by any other purpose other than indicated on this drawing. Report any discrepancies on this drawing to Garrick Architects for clarification.



GARRICK
ARCHITECTS

www.garrickarchitects.co.uk

Scheme

REFURBISHMENT OF EXISTING BALCONY,
HANDRAIL, SUBSTRATE AND SUPPORTS.
TO 8 BLOOMSBURY PLACE
KEMPTOWN, BRIGHTON

Title

PLANS, ELEVATION, SECTION & DETAILS.

Client

MR TREVOR ARCHARD

Scale

1:20, 50, 500 & 1:1250 @ A1 JANUARY 2021

Drawing Number

2101 - 01A