



THIS DRAWING AND THE INFORMATION CONTAINED IS THE PROPERTY OF (CLIENT + ADDRESS) AND IS NOT TO BE COPIED OR PUBLISHED WITHOUT THEIR WRITTEN CONSENT.

NOTES

GENERAL NOTES
ALL DIMENSIONS ARE IN MILLIMETRES (MM) UNLESS NOTED OTHERWISE. ALL LEVELS ARE IN METRES (M) A.O.D.

ALL PROPRIETARY PRODUCTS TO BE INSTALLED IN ACCORDANCE TO MANUFACTURES RECOMMENDATIONS.

PRIOR TO THE COMMENCEMENT OF WORK, THE CONTRACTOR AND CLIENT ARE TO CHECK ON-SITE ALL EXTERIOR DIMENSIONS, SETTING OUT POSITIONS, BOUNDARY POSITIONS AND DETAILS TO VERIFY AND AGREE UPON. ANY ERRORS, OMISSIONS OR DESIGN CHANGES SHOULD BE REPORTED IMMEDIATELY TO ENABLE AMENDED PLANS TO BE PREPARED AND SUBMITTED FOR APPROVAL. THE REQUIREMENTS OF THE "PARTY WALL ACT 1996" WILL APPLY TO CERTAIN SCHEMES. THE "BUILDING OWNER" WILL IN WRITING INFORM AND AGREE WITH THE "ADJOINING OWNER(S)" IF THE PROPOSED WORK AFFECTS THE PARTY WALL OR IS WITHIN THE 3 METERS AND DEEPER THAN THE FOUNDATIONS OF THE NEARBY BUILDING. IF AN AGREEMENT CANNOT BE MADE THEN PROFESSIONAL ADVICE SHOULD BE SOUGHT PRIOR TO COMMENCEMENT OF WORK ON SITE, BY A PARTY WALL SURVEYOR. THE ARCHITECT TAKES NO RESPONSIBILITY FOR THIS.

THE CONTRACTOR WILL BE RESPONSIBLE FOR LOCATING ALL HIDDEN SERVICES THAT MAY BE AFFECTED BY THE PROPOSAL AND STOPPING OFF OR DIVERTING AS NECESSARY. DRAINAGE RUNS SHOWN ARE ASSUMED AND MUST BE CHECKED ON SITE BEFORE WORK COMMENCES. ANY PROPOSED BUILDING WORKS WITHIN 3 METERS OF A PUBLIC SEWER WILL REQUIRE A 'BUILDING OVER/CLOSE TO' APPLICATION TO BE SUBMITTED AND APPROVED BY THE WATER AUTHORITY PRIOR TO WORK COMMENCING.

ALL WORK TO COMPLY WITH CDM 2015. THE PRINCIPAL CONTRACTOR, FOR PROJECTS WITH MORE THAN ONE CONTRACTOR, MUST TAKE LEGAL DUTIES OF THE CLIENT IN ADDITION TO THEIR OWN AS PRINCIPAL CONTRACTOR. IF THE DOMESTIC CLIENT HAS NOT APPOINTED A PRINCIPAL CONTRACTOR, THE CLIENT DUTIES MUST BE CARRIED OUT BY THE CONTRACTOR IN CONTROL OF THE CONSTRUCTION WORKS.

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE STRUCTURAL ENGINEERS DRAWINGS AND DETAILS.

M.Y.T. PLANNING AND BUILDING REGULATIONS SERVICES LTD
Tel: 07723008334
Email: yasin_tar@hotmail.com

REV	DATE	COMMENT	CHK
DRAWING STATUS			
CLIENT			
PROJECT			
TITLE			

CLIENT

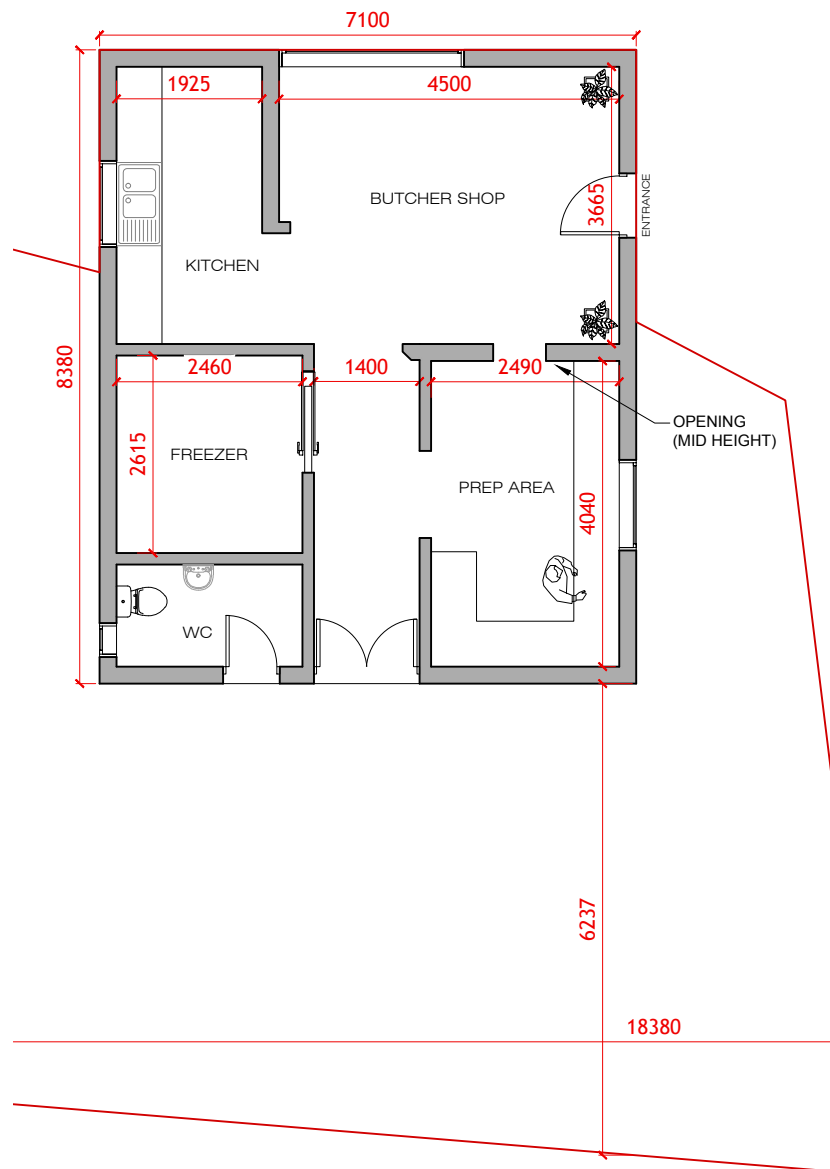
PROJECT

The Square
Ryhall
Stamford

CHANGE OF USE
(BUTCHER SHOP TO A FISH AND CHIP SHOP INCLUDING CONVENIENCE STORE)

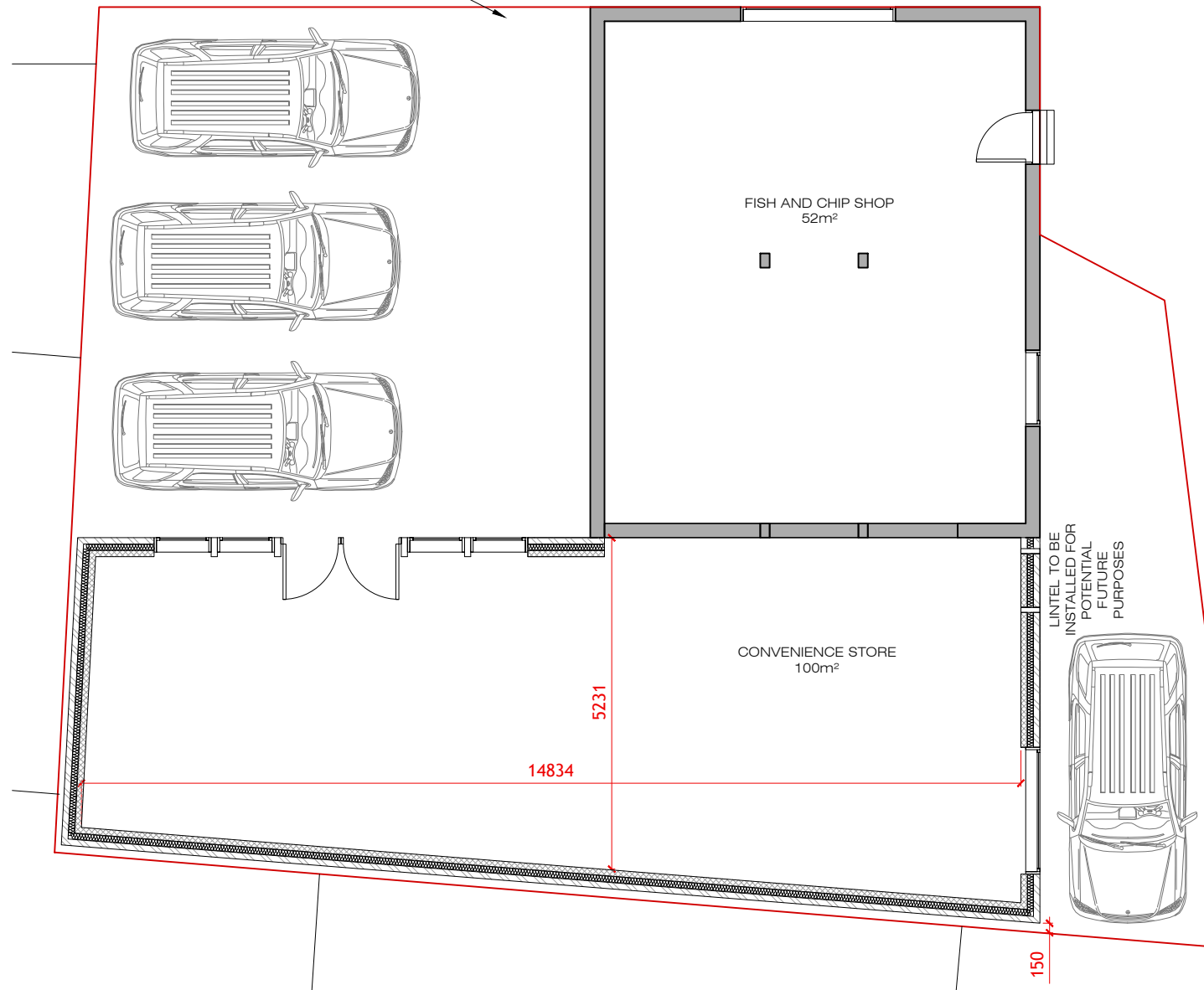
DATE	DESIGNED BY	CHECKED BY
01.01.2021	YT	-
SCALE	SHEET SIZE	DRAWN BY
AS SHOWN	A3	YT
APPROVED BY	REV	
Y.T.		
DRG No		
A3-002_PLANS		A

EXISTING GROUND FLOOR PLAN
SCALE 1:100



SUBJECT TO PURCHASING LAND
FROM THE COUNCIL

PROPOSED GROUND FLOOR PLAN
SCALE 1:100



XX.XX.XXXX - DATE
REFERENCE TO THIS DRAWING IS SUBJECT TO ACCEPTANCE OF THE FOLLOWING CONDITIONS AND STATEMENTS:

THIS DRAWING IS INTENDED TO SHOW THE 'DESIGN INTENT' PROPOSAL ONLY, FOR SUBMISSION OF THE PLANNING APPLICATION ON XX.XX.XXXX REF XXX TO THE LOCAL PLANNING AUTHORITY
THIS DRAWING IS FOR PLANNING PURPOSES ONLY, AND NOT FOR CONSTRUCTION OR ANY OTHER STAGE OR OTHER PURPOSE.
THIS DRAWING IS BASED ON AN INITIAL ARCHITECTURAL MEASURED SURVEY, AND IS NOT A FULL MEASURED BUILDING SURVEY WHICH MAY BE REQUIRED FOR SUBSEQUENT DETAIL COORDINATION AND CONSTRUCTION.
ALL LINES, DIMENSIONS, LEVELS AND INFORMATION SHOWN ARE INDICATIVE ONLY, SUFFICIENT FOR PLANNING, AND ARE TO BE VERIFIED ON SITE AND UPDATED WHERE NECESSARY.
NOT ALL AREAS OR DRAWN LINES HAVE BEEN MEASURED, AND MEASUREMENTS MAY HAVE BEEN ROUNDED OR ADJUSTED TO 'BEST FIT'. SOME LINES AND DETAILS MAY HAVE BEEN ASSUMED OR OMITTED FOR CLARITY. SOME AREAS WERE NOT ACCESSIBLE AT TIME OF MEASUREMENT AND MAY HAVE BEEN REPRODUCED FROM PHOTOGRAPHS, OR FROM SUBSEQUENT CLIENT DIMENSIONS. ELEVATIONS ARE GENERALLY DRAWN FROM PHOTOGRAPHS, AND NEIGHBOURS PROPERTIES HAVE NOT BEEN MEASURED AT ALL.

- PROPOSED NEW BRICKWORK (TO MATCH EXISTING)
- INSULATION
- PROPOSED BLOCKWORK (TYPE TBC)

PRELIMINARY ISSUE

THIS DRAWING HAS NOT BEEN APPROVED FOR CONSTRUCTION AND NO PROCUREMENT OR CONSTRUCTION IS TO TAKE PLACE UNTIL THE DRAWING HAS BEEN RE-ISSUED "FOR CONSTRUCTION"