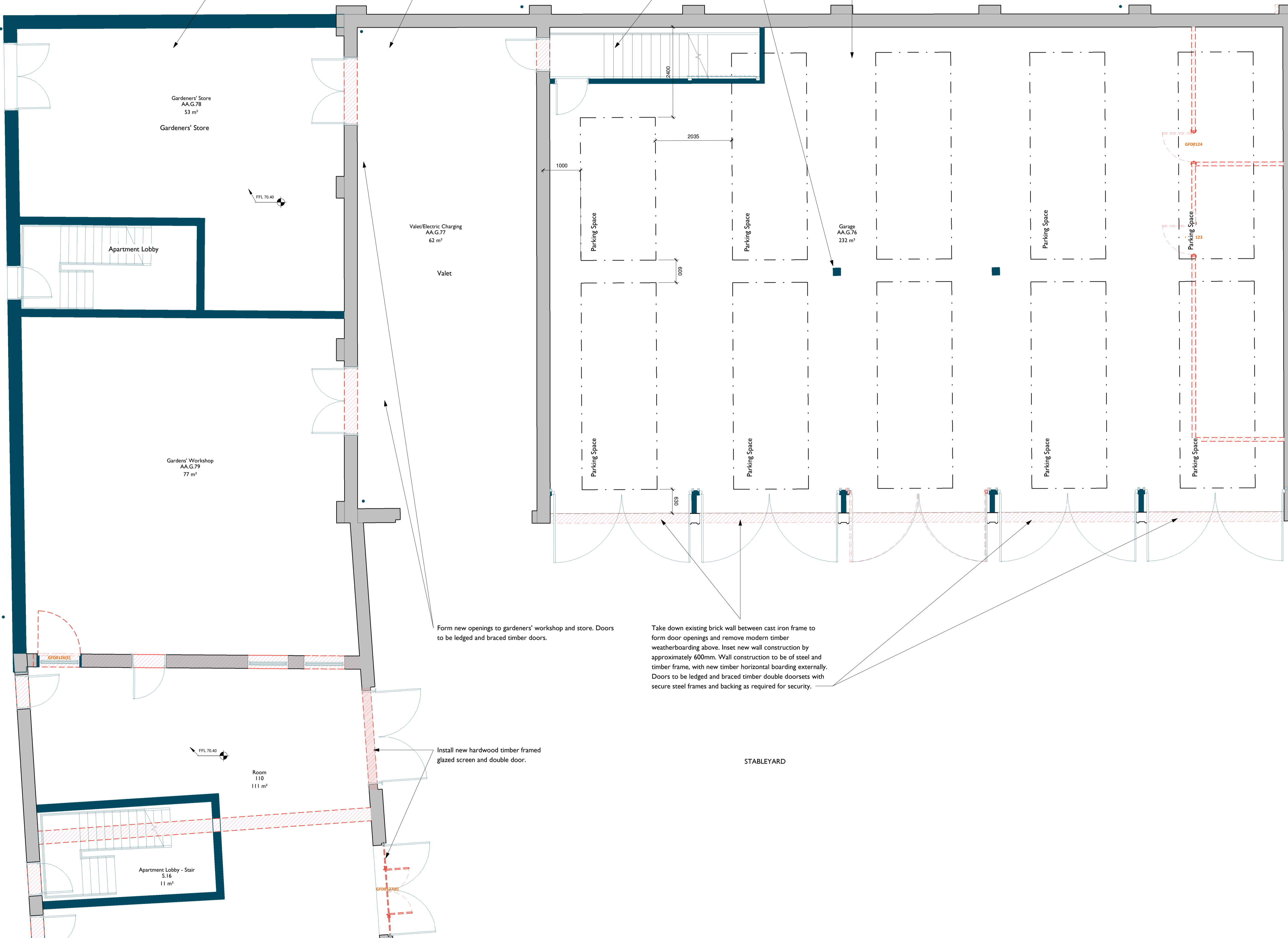


Construct new building to complete corner of the stableyard.
Brick construction with flat brick arches, timber ledged and braced doors and timber framed windows to match existing.
Brick to match existing in colour, bond, mortar and pointing.

Provide high pressure water for valet / cleaning.

Install new steel framed mezzanine structure and insulated joisted floor deck. Take up existing asbestos sheet roofing and replace with zinc profiled metal sheet roofing. Insulated between and below rafter. Replace glazed vertical rooflights (removed in the past).

Lay new polished concrete insulated screed over existing concrete slab.



Form new openings to gardeners' workshop and store. Doors to be ledged and braced timber doors.

Take down existing brick wall between cast iron frame to form door openings and remove modern timber weatherboarding above. Inset new wall construction by approximately 600mm. Wall construction to be of steel and timber frame, with new timber horizontal boarding externally. Doors to be ledged and braced timber double doorsets with secure steel frames and backing as required for security.

Install new hardwood timber framed glazed screen and double door.

STABLEYARD

Notes:

Drawings are based on survey data and may not accurately represent what is physically present.

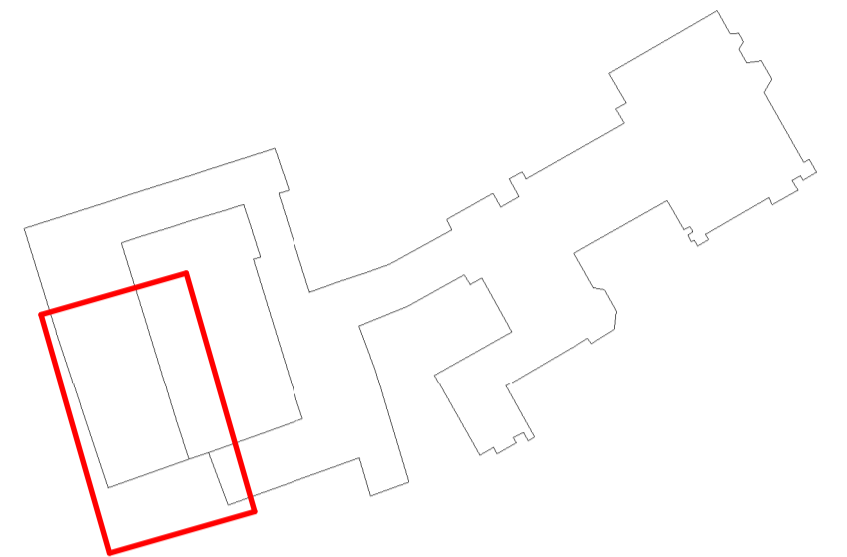
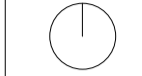
Do not scale from this drawing. All dimensions are to be verified on site before proceeding with the work.

All dimensions are in millimeters unless noted otherwise.

Purcell shall be notified in writing of any discrepancies.

Key Plan

not to scale



GENERAL NOTES

- Internal Refurbishment:

Refurbish interiors generally throughout stableyard, office wing and service courtyard ranges. Install internal insulated linings to internal walls of the stableyard and office wing ranges. Install insulation between and below the rafters of the stableyard and upgrade insulation above ceiling level to the office wing and service courtyard.

Take down modern suspended tile ceilings and metal framed suspension systems throughout, undertake repairs to existing plaster ceilings where in reasonable condition, or underdraw with new plasterboard ceilings where existing ceilings do not survive / are in poor condition.

Where existing floors are modern concrete slabs, excavate, install new limecrete slabs with underfloor heating and new floor finishes. Where existing floors are stone flagged, carefully take up existing flagstones, excavate, install new limecrete slabs with underfloor heating and re-lay flagstones.

- Windows:

Undertake repairs to existing timber sash frames, refurbish weights, pulleys and fittings, undertake repairs to glass where required, install draft seals and redecorate. Refer to window repair schedules for further detail. Install metal framed openable secondary glazing behind existing windows to stableyard, office wing and service courtyard ranges. New windows to these ranges to be double glazed timber framed units.

- Doors:

Undertake repairs to existing timber internal and external doors, refurbish door hardware and redecorate. Install draft seals to external doors. New external doors as noted on the drawings.

- External Metalwork

Brush down existing metalwork to remove corrosion, repair as required and redecorate.

- Structural Work

Refer to Structural Engineer's information.

- Building Services

Refer to M&E Consultant's information.

- Landscaping

Refer to Landscape Architects drawings for further detail.

P01 21/04/21 For Planning

REV	DATE	DESCRIPTION

CLIENT

Colin Shenton

PROJECT

Cuerden Hall, Chorley

JOB NUMBER

240729

TITLE

Proposed Stableyard GF Sheet 2

SIZE	SCALE	LAST REVISED	DRAWN	CHECKED
A1L	As Shown	22/03/2021	ZB	ZB

REV	SUITABILITY/REASON FOR ISSUE
P01	S04 - For Planning

DRAWING NUMBER

240729-PUR-00-XX-DR-A-2042

St James, 79 Oxford Street, Manchester, M1 4FQ

© PURCELL 2019. PURCELL IS THE TRADING NAME OF PURCELL ARCHITECTURE LTD.

