


KEY
 Install openable secondary glazing internally to existing windows to improve thermal performance.

Re-open blocked windows and install new timber framed double glazed windows to match existing.

Remove existing modern metal gate and replace with timber ledged and braced double doors.

Install mezzanine floor and metal framed spiral stair with timber treads.

Remove existing modern timber boarding and replace with timber ledged and braced double doors, with timber framed and glazed fixed screen behind.

Install new doors to achieve 30 minutes fire resistance (REI 30).

Refurbish existing clock to gable wall.

Stabling
C.G.68
683 m²

Gateway
C.G.69
18 m²

Cottage 09
(Staff)
Cottage 9 Kitchen/Living/Dining
C.G.70
45 m²

Cottage 10
C.G.67
21 m²

Cottage 6 (Guest)- Living/Dining/Kitchen
C.G.61
36 m²

Cottage 5 (Staff)- Living/Dining/Kitchen
C.G.60
28 m²

Cottage 7 (Staff)- Living/Dining/Kitchen
C.G.62
44 m²

Cottage 8 (Staff)- Living/Dining/Kitchen
C.G.64
40 m²

Hall
C.G.63
6 m²

WC
C.G.65
4 m²

Boiler Room
C.G.66
1 m²

WC
C.G.60
1 m²

Stair
S.09
3 m²

WC
C.G.63
4 m²

Stair
S.11
2 m²

Stair
S.12
3 m²

Replace existing modern doors with timber ledged and braced doors.

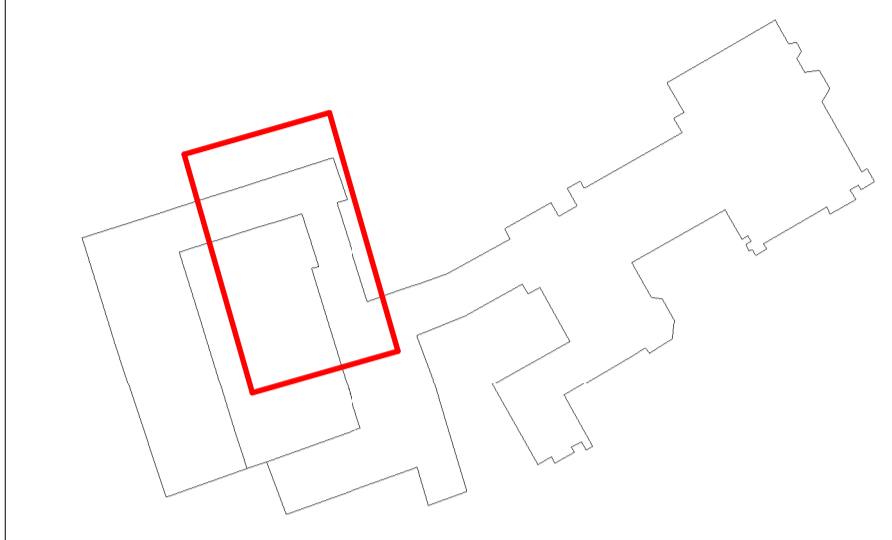
Replace existing modern doors with timber ledged and braced doors.

New door and opening into Cottage 6. Boarded tongue and groove door.

Remove modern timber doors and windows and brick up openings. Bricks to match existing in colour, bond, mortar and pointing.

Notes:
 Drawings are based on survey data and may not accurately represent what is physically present.
 Do not scale from this drawing. All dimensions are to be verified on site before proceeding with the work.
 All dimensions are in millimeters unless noted otherwise.
 Purcell shall be notified in writing of any discrepancies.

Key Plan
 not to scale

GENERAL NOTES
 - Internal Refurbishment:

Refurbish interiors generally throughout stableyard, office wing and service courtyard ranges. Install internal insulated linings to internal walls of the stableyard and office wing ranges. Install insulation between and below the rafters of the stableyard and upgrade insulation above ceiling level to the office wing and service courtyard.

Take down modern suspended tile ceilings and metal framed suspension systems throughout, undertake repairs to existing plaster ceilings where in reasonable condition, or underdraw with new plasterboard ceilings where existing ceilings do not survive / are in poor condition.

Where existing floors are modern concrete slabs, excavate, install new limecrete slabs with underfloor heating and new floor finishes. Where existing floors are stone flagged, carefully take up existing flagstones, excavate, install new limecrete slabs with underfloor heating and re-lay flagstones.

- Windows:
 Undertake repairs to existing timber sash frames, refurbish weights, pulleys and fittings, undertake repairs to glass where required, install draft seals and redecorate. Refer to window repair schedules for further detail. Install metal framed openable secondary glazing behind existing windows to stableyard, office wing and service courtyard ranges. New windows to these ranges to be double glazed timber framed units.

- Doors:
 Undertake repairs to existing timber internal and external doors, refurbish door hardware and redecorate. Install draft seals to external doors. New external doors as noted on the drawings.

- External Metalwork
 Brush down existing metalwork to remove corrosion, repair as required and redecorate.

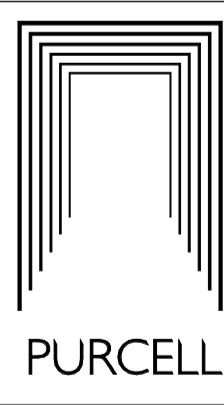
- Structural Work
 Refer to Structural Engineer's information.

- Building Services
 Refer to M&E Consultant's information.

- Landscaping
 Refer to Landscape Architects drawings for further detail.

P01 21/04/21 For Planning
 REV DATE DESCRIPTION

CLIENT
 Colin Shenton
PROJECT
 Cuerden Hall, Chorley
JOB NUMBER
 240729



TITLE
 Proposed Stableyard GF Sheet 1

SIZE	SCALE	LAST REVISED	DRAWN	CHECKED
A1L	As Shown	22/03/2021	ZB	

REV SUITABILITY/REASON FOR ISSUE
P01 S04 - For Planning

DRAWING NUMBER
 240729-PUR-00-XX-DR-A-2041

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