

Heritage Statement

Relating to

**The Crown Inn, 14 Church Street, Fordham
Ely, Cambridgeshire, CB7 5NJ**

Supporting the Current Planning Application
(reference: 21/00620/FUL)

(Prepared 31st May, 2021)

This document is to be read in conjunction with other related documents, plans, impressions and photographs.

Two documents that specifically relate to this Statement and which should be read as inclusive with this document are:

14 Church Street - Planning East Cambridge - HLE_A4L_Grade HLE_A3L_Grade
and

14 Church Street - Heritage Statement - Contemporary Images

Proposal

Our proposal includes the following alterations to the existing property.

Internal modifications by way of relocating the toilets.

Rearranging the internal ducting connected to the external flue.

Installing a new vent pipe to serve the relocated toilets.

New external signage to gable elevations.

It should be noted that there is no intention to make any modifications to the free-standing sign at the entrance to the site, nor in its location.

Nor are any external modifications proposed for the building structure or to its fabric and character other than as stated above.

The background to the proposals is that the former public house is to be used as a restaurant to enable it to become once again a location where members of the public can return to enjoy each others' company in a social environment with food and refreshments. It shall become a desirable venue that will cater for and draw in families as well and individuals, couples and friends to relax and enjoy a pleasant atmosphere.

To this end, we have proposed the internal alterations shown on the plans to allow the building to function more effectively as a restaurant and be a more enjoyable and conveniently laid out environment in which to meet and eat.

The need to offer full meals causes us to provide suitable extraction facilities in line with environmental health requirements.

We very much hope that the application and proposals are supported and the proposed reinvigoration of the much loved building will enable it to continue serving a function in the same vein as that for which it was originally constructed; hospitality and refreshment. This will save it from being taken by other developers for one of the less appropriate uses that we too often these days see pubs being lost to.

Officer's advice and guidance will be welcomed if they wish to discuss the proposals in detail with us.

Background

The building is Grade II listed and within a conservation area.

Our proposal attempts to respect these considerations and makes as little impact on the existing building as is necessary to reinvigorate the property into becoming once more a function, welcoming place for people to once again visit and relax and enjoy themselves and relax.

These matters are discussed in more detail below.

Design Considerations

Firstly, as the proposed use is for fundamentally the same purpose as originally, the building, in character and form, will not need to be modified externally and only to a limited extent internally.

The building's historic form and appealing character are aspects that the applicant will rely on to draw his customers. It's landmark location and detached form make it appealing and easily recognised and identified by those looking for the property, when visiting for the first time (having been recommended by others or by a social media site), and similarly, those who see it for the first time when passing by.

The adjustments to the layout and services are a purely functional requirement to enable the restaurant to operate properly and comfortably, for staff and customers alike.

The signage is to identify the property for those wishing to visit.

Our proposal for the signage is crucial to the building's new function. Most of those passing by will assume it to be a public house, or coach house possibly. That will deter many family and those who do not consume alcohol or wish to be in a pub environment (due to the very different environment to a family restaurant) from stopping at the premises. Such loss would be critical to the new restaurant's ability to survive and thus to support the building in enabling it to remain functional into the foreseeable future.

New signage is therefore fundamental to the business prospects and sustainability of the restaurant. It will allow those who would like to visit the property as a restaurant, to be informed that is exactly that by advertising the fact that it is somewhere to enjoy a meal and not primarily a public house in the traditional sense.

Relocation of Internal Toilets and Booth Screening

To enable the interior spaces to function more appropriately for customers and staff alike, the only significant alteration to the interior of the property is the relocation of the toilets.

We are also showing the installation of a few screens to form more private spaces, in effect booths, which will be tall enough to serve that purpose but not of sufficient height to create a sense of enclosure.

These will be fixed only to the floor and only extend to a width related to the tables that they are serving. They will not be structural elements nor continuous with each other, but free standing, isolated elements of interior design.

It should be noted that the bar and other internal features are to remain in their original locations and otherwise also unaltered.

It appears that the removal of the existing toilets will not be a significant modification as the partitions and related elements are non structural, relatively modern, and not historically sensitive.

The new partitions will be clearly modern elements so that they may be identified as such and not imply that they are part of the building's historic fabric.

We therefore feel that the very significant improvement to the use of the property and comfort of customers and staff that the relocation of the toilets will offer, will not be at the expense of the building's historical merit.

Extraction System

A new extractor system will be installed to serve the kitchen as a requirement by environmental health legislation. However, this will be a **replacement** system for the **existing** installation.

It will be installed with the minimum impact on the existing building fabric and in fact be laid in the same manner as the existing installation. This extends to the external discharge flue which will not need to be changed.

There will therefore be no material changes to the building in respect of this item.

All the same, we ask that officers might consider requiring a detailed installation specification before this is implemented as a condition of approval for this proposal to ensure that the building fabric and historic features are not affected or, if they are, that officers shall have the opportunity to consider any implications before work is undertaken. This may of course, once agreed, be inspected on site for verification.

The discharge flue is not very high and there are no properties close enough to be affected anyway. Furthermore, it has been located to the rear of the property where it is visually very well sheltered and least visible. As we intend to maintain the status quo, there are no implications for the application in the historic merits of the property in this aspect of the planning application.

New Vent Pipe

We see that drainage to the main elevation, that facing the public highway, is formed in a simple round section with simple connections.

We therefore suggest that the vent pipe be similarly unpretentious and round in section, with clips to match those on the front elevation downpipes.

These should however also be constructed in aluminium to be compatible with the original (or of course in cast iron, which is though potentially more vulnerable to decay if not properly protected), to a paint finish to match existing external drainage.

New Signage

Both of the main gable elevations will have a set of identical signs mounted on them to be visible from the main highway.

The location has been decided to avoid interfering with the very carefully detailed and harmonious front elevation, and instead apply the signs to the bland, unadorned end elevations.

This choice respects the building's unique personality and yet also allows a more visible position for the signs by placing them where they may be seen from a distance as, not being on a high street location there is no advantage to having any notification of the business's identification on the street-facing elevation.

This is therefore a convenient arrangement in all respects.

We note that the gable elevations already have signage relating to the building's former use(s). However, this is insignificant - and impossible to read until one is standing almost right in front of it. Although respectful of and subservient to the building itself, it serves no purpose in enabling the property to be identified as a restaurant to those who may pass by the property.

It is vital that the new use is able to identify itself and demonstrate that it is not any longer a public house but a restaurant. Its function as a restaurant is heavily dependant on that change being broadcast and immediately identified.

Even so, we have considered the proportions of the imagery and feel that firstly, the signs are placed in a manner that fits the form and proportions of the elevation, with the elephant image within the gable triangle and the linear sign below it essentially on the rectangular part of the elevation.

The signs are in two parts as noted above, with the elephant head form being back light, so that light will only spill from the edges and be relatively inoffensive and unimposing. This would be a rather subtle form of illumination and create an attractive, friendly symbol.

Below this the main 'header' sign declaring the business's name and its services, will have 'cut out' lettering through which the illumination will project, the light source being positioned within the sign.

In Conclusion

In considering the aspects discussed above, we believe that our proposal compliments the intended continued viability of this important building into the foreseeable future and the proposed changes are indeed necessary to ensure that the proposed can be successfully implemented in a way that offers a functional solution to ensuring the success of this venture.

It will reinvigorate the building's function as a welcoming place to meet and now eat, for families as well as others. Our modifications will allow the building to become both more practical yet maintaining its character and special attraction and retain its landmark status in the local environment.

OTHER BACKGROUND MATERIAL

Planning History

There is an extensive list of planning applications (only those from 1992 were recovered).

However, all but a couple (apart from a current application) related to signage.

Two applications in 1992 related to adjustments to the internal layout, both of which were approved.

The current application for housing is not related to this application, nor this agent.

During the last nearly thirty years therefore, we find no alterations to the property itself have been considered by the local authority for planning consent.

- **Corporate Signing**

Ref. No: 92/00174/ADI | Status: Application Permitted

- **Remove window, modify opening & fit french casement frame & pair of doors. Form new opening in internal walls & fit new doors.**

Ref. No: 92/00175/LBC | Status: Application Permitted

- **Proposed internal alterations, construction of internal partition and replacement of external and internal doors**

Ref. No: 04/00148/LBC | Status: Application Permitted

- **New signage/lighting scheme**

Ref. No: 04/00768/ADI | Status: Application Permitted

- **New signage/lighting scheme**

Ref. No: 04/00769/LBC | Status: Application Permitted

- **Six external signs (four illuminated)**

Ref. No: 05/00331/ADI | Status: Application Permitted

- **Six external signs (four illuminated)**

Ref. No: 05/00333/LBC | Status: Application Permitted

- **Installation of giant parasol to West elevation - APPLICATION RETURNED 28/02/07 (NOT REQUIRED AS CONFIRMED BY ROSIE BURTON)**

Ref. No: 07/00115/LBC | Status: Permitted Development

- **Installation of giant parasol to West elevation**

Ref. No: 07/00116/FUL | Status: Application Permitted

- **Retention of 1.8m high close boarded fence erected following demolition of boundary wall**

Ref. No: 16/01289/FUL | Status: Application Permitted

- **Erection of two dwellings (use class C3) adjacent to The Crown public house (use class Sui Generis) utilising existing access with associated parking and landscaping with reconfiguration of the pub's car park**

Ref. No: 21/00250/FUL | Status: Pending Consideration

Background Search Results

A local search of historically significant sites returned the results below. Links have been retained.

It is our understanding that none of these listed results have a bearing on this planning application.

Name	Parish/Ward
Saxon remains, Fordham Primary School	Fordham
Saxon remains, Hillside Meadow, Fordham	Fordham
Late Saxon to Early Medieval and undated features at Scotsdale Garden Centre, Fordham	Fordham
Medieval to post medieval features at Scotsdales Garden Centre, Fordham	Fordham
Cropmark enclosures, Moor Farm, Fordham	Fordham
Saxon and Post-Medieval features, Hillside Meadow, Fordham	Fordham
Medieval features at Fordham Primary School, Fordham	Fordham
Medieval and post medieval ditches and pits, River Lane, Fordham	Fordham
Post medieval pottery and clay pipe, Soham Road, Fordham	Fordham
Multi-period ditches, Station Road, Fordham	Fordham
Saint Peter and Saint Mary Magdalene Church, Hillside Meadow, Fordham	Fordham
Medieval and Post Medieval remains, 69 Mill Lane, Fordham	Fordham
Medieval to modern ditches, Moor Road, Fordham	Fordham
Medieval and undated ditches, pits and postholes, Rule Gardens, Fordham	Fordham
Post medieval sand extraction pits at 37-55 Mildenhall Road, Fordham	Fordham

Name	Parish/Ward
Undated features at Land South of 36 Newmarket Road, Fordham	Fordham
Iron Age inhumations, Fordham Moor	Fordham
Neolithic axe, Fordham	Fordham
Cropmark site, possible Roman Villa	Fordham
Undated enclosures and trackways, Fordham Moor	Fordham
Roman artefact scatter, Fordham	Fordham
Boundry ditches and rubbish pits at rear of 27 Mill Lane, Fordham	Fordham
Gardens of Shrubland House, Fordham	Fordham
Burnt flint and pottery, Fordham	Fordham
Lithic implement, Fordham	Fordham
Saxon ditches, Hillside Meadow, Fordham	Fordham
Roman and medieval pottery, Fordham	Fordham
Saxon activity, Hillside Meadow, Fordham	Fordham
Bronze Age find, 44 Mildenhall Road	Fordham
Post-medieval metalwork, Fordham	Fordham

Name	Parish/Ward
Fortified site, Fordham	Fordham

Neolithic chisel, Fordham	Fordham
Saxon object, Fordham	Fordham
Neolithic sickle, Fordham	Fordham
Iron Age pottery scatter, Fordham	Fordham
Roman Pottery Scatter, Fordham Moor	Fordham
Roman metal detecting finds, Fordham	Fordham
Neolithic adze, Fordham	Fordham
Fordham Congregational Church	Fordham
Medieval pottery, Fordham	Fordham
Roman coins, Fordham	Fordham
Medieval coin, Fordham	Fordham
Neolithic axe, Bassingbourn Manor Farm, Fordham	Fordham
Commemorative brass, Fordham	Fordham
Lead weight, Fordham	Fordham

Name	Parish/Ward
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Neolithic axe, east of River Snail, Fordham	Fordham
Neolithic axe, Fordham	Fordham
Medieval strap fitting, Fordham	Fordham
Linear feature or enclosure, 300m south of Station Road, Fordham	Fordham
Corn Mill and Island House, Fordham	Fordham
Mesolithic findspot, N of Fordham	Fordham
Ring ditch, Fordham Moor	Fordham
Fordham Methodist Church	Fordham
School, Fordham	Fordham
Polished flint axe, Fordham	Fordham
Enclosures, Fordham	Fordham
Bassingbourne Manor Farm , Fordham	Fordham
The Old Nurseries	Fordham
Chequers Inn	Fordham
Middleditch House, now Cromwell House	Fordham

Name	Parish/Ward
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Sunday School, Fordham	Fordham
War Memorial, Fordham	Fordham
Windmill, Fordham	Fordham
Flint Thames pick, Fordham	Fordham
The Grove, Burwell	Burwell
Site of blacksmiths workshop, Fordham	Fordham
Methodist Chapel (Primitive), Fordham	Fordham
Waterside Lodge, Fordham	Fordham
Green Dragon Inn, Fordham	Fordham
Old gravel pit, Fordham	Fordham
Nursery gardens, Fordham	Fordham

Nursery gardens, Fordham	Fordham
Fire Engine House	Fordham
Almshouse, Fordham	Fordham
Old clunch pit, Fordham	Fordham
Name	Parish/Ward
Lords Barn, Fordham	Fordham
Moor Bridge	Fordham
Burial Ground, Fordham	Fordham
Graveyard, Fordham	Fordham

Official Listing

Overview

Heritage Category:

Listed Building

Grade:

II

List Entry Number:

1162197

Date first listed:

01-Dec-1951

Date of most recent amendment:

31-Jan-1984

Statutory Address:

THE CROWN, CHURCH STREET

The above map is for quick reference purposes only and may not be to scale.

See accompanying document (for a more detailed map):

14 Church Street - Planning East Cambridge - HLE_A4L_Grade HLE_A3L_Grade

This copy shows the entry on 21-May-2021 at 19:07:38.

Location

Statutory Address:

THE CROWN, CHURCH STREET

The building or site itself may lie within the boundary of more than one authority.

County:

Cambridgeshire

District:

East Cambridgeshire (District Authority)

Parish:

Fordham

National Grid Reference:

TL 63313 70798

Details

TL 6370 FORDHAM CHURCH STREET (north side) 12/101
The Crown (formerly listed as 1.12.51 Crown Public House)

GV II

Inn, late C16. Timber-framed and plastered with steeply pitched plain tiled roof, modern tiles to street facade. Two storeys, original three unit plan. Tall ridge stack with four independently set diagonal shafts, and end gable stack to west with two similar shafts of local brick. Five first floor C19 hung sash windows with glazing bars of various sizes, and three ground floor hung sash windows with side lights. Two entrances with half-glazed doors in wooden doorcases. Interior has large inglenook hearth with stop-chamfered mantel beam, and two first floor, four centred-arched chimney pieces of clunch with stop-moulded jambs.

Listing NGR: TL6331370798

Legacy

The contents of this record have been generated from a legacy data system.

Legacy System number:

49028

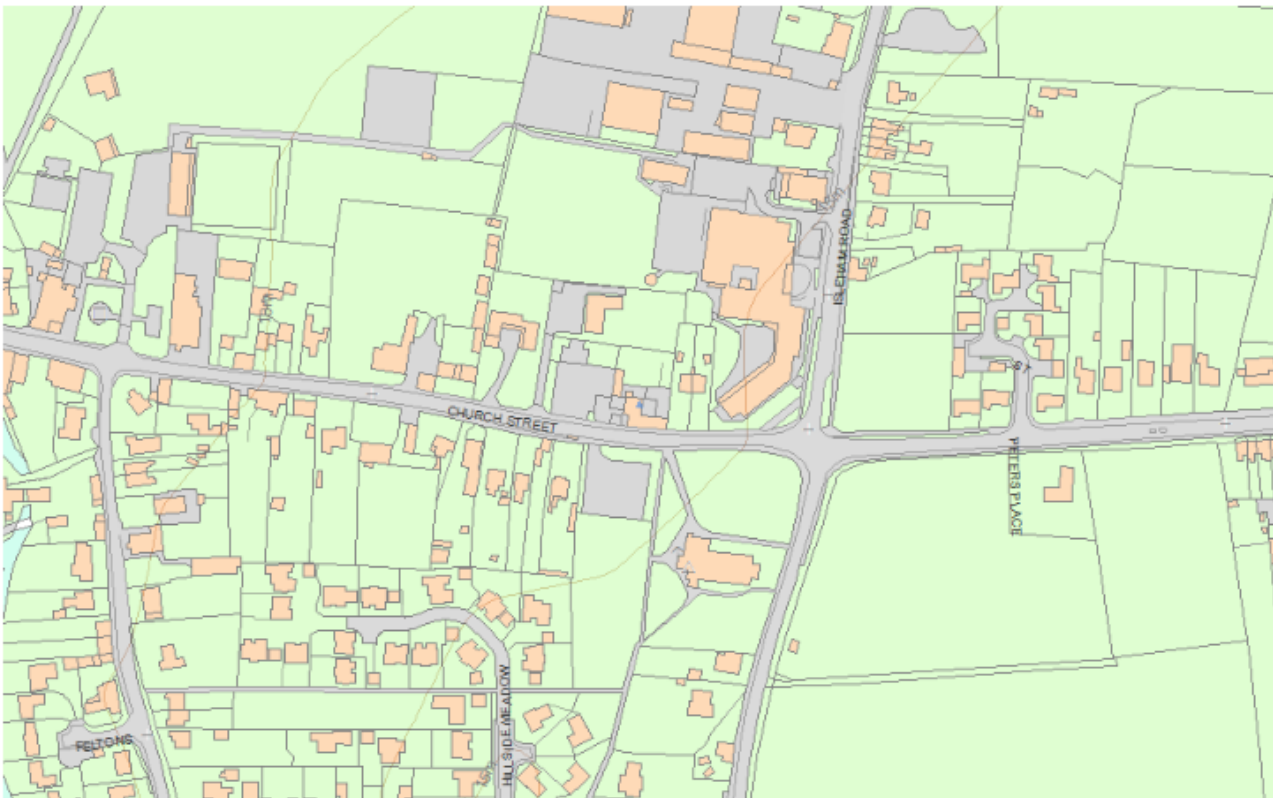
Legacy System:

LBS

Legal

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.

End of official listing - apart from included images on next page.



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