

PROPOSED FRONT ELEVATION

DESIGN ASPIRATION IS TO EXTEND GROUND FLOOR OUT BY 2.4m MAX* WHILST MAINTAINING SAME VISUAL INTENT OF EXISTING BUILDING, BY REPLICATING PORCH PROJECTION & UTILISING EXISTING (RECENTLY REPLACED) WINDOWS.

* MAXIMUM PROJECTION. THIS DIMENSION COULD REDUCE SUBJECT TO FINAL SURVEY. KEY CRITERION RELATES TO ATTAINING A 17° ROOF PITCH.

DRAWING REV 1

COMMENTS ADDED PERTAINING TO GARAGE RE-ROOFING, REPLACEMENT LEAN-TO AND REPLACEMENT FASCIA AND GUTTERS.

EXISTING TWO STOREY BUILDING



1:100 ISOMETRIC PERSPECTIVE OF PROPOSED GROUND FLOOR EXTENSION. PORCH PROJECTION TO MIMIC EXISTING

EXISTING GARAGE ROOF COVERING REMOVED AND REPLACED WITH GREY CHARCOAL ELASTOMETRIC FELT TWO LAYER SYSTEM, INCLUDING ALL NECESSARY SIDE LAPS AND DRIPS - LEAD FLASHING, CHASED-IN BELOW EXISTING FIRST FLOOR WINDOWS.



1.42m

9.14m

1.0m

2.35m

BOUNDARY

GARAGE BOUNDARY

NOTE: ALL EXISTING FASCIA, SOFFITS AND GUTTERS TO BE REPLACED WITH NEW WHITE UPVC MAINTENANCE FREE.

EXISTING LEAN-TO ASSEMBLY TO BE REPLACED WITH LIKE FOR LIKE TIMBER FRAMING AND CLEAR CORRUGATED SHEETING. LENGTH EXTENDED TO END OF MAIN HOUSE REAR WALL

NOTES:

PROPOSED GROUND FLOOR EXTENSION TO PROJECT 2.4m* FROM EXISTING BUILDING LINE, TO CREATE ADDITIONAL FLOOR SPACE FOR :-

- EXTENDED KITCHEN
- EXTENDED ENTRANCE HALL
- ACCOMMODATE SHOWER IN EXTENDED WC ROOM
- EXTENDED STUDY/FAMILY ROOM.

PROPOSED CONSTRUCTION ENTAILS CAVITY BLOCK WORK, RENDERED WITH TEXTURED FINISH & PAINTED, TO MATCH EXISTING.

PITCHED ROOF TO COMPRISE TILES TO MATCH EXISTING ROOF, BASED ON A ROOF PITCH OF 17°, THIS DICTATING EXTENSION PROJECTING DIMENSION FROM EXISTING BUILDING.

NEW PORCH PROJECTION TO MIMIC EXISTING. EXISTING UPVC WINDOWS, FRONT DOOR & FEATURE FANLIGHT TO BE RETAINED

DATE:

APRIL 2005

SCALE:

1:50

CLIENT:

MR. & MRS. BAILEY

ADDRESS:

14th ST. MARTINS AVENUE, EPSOM, SURREY

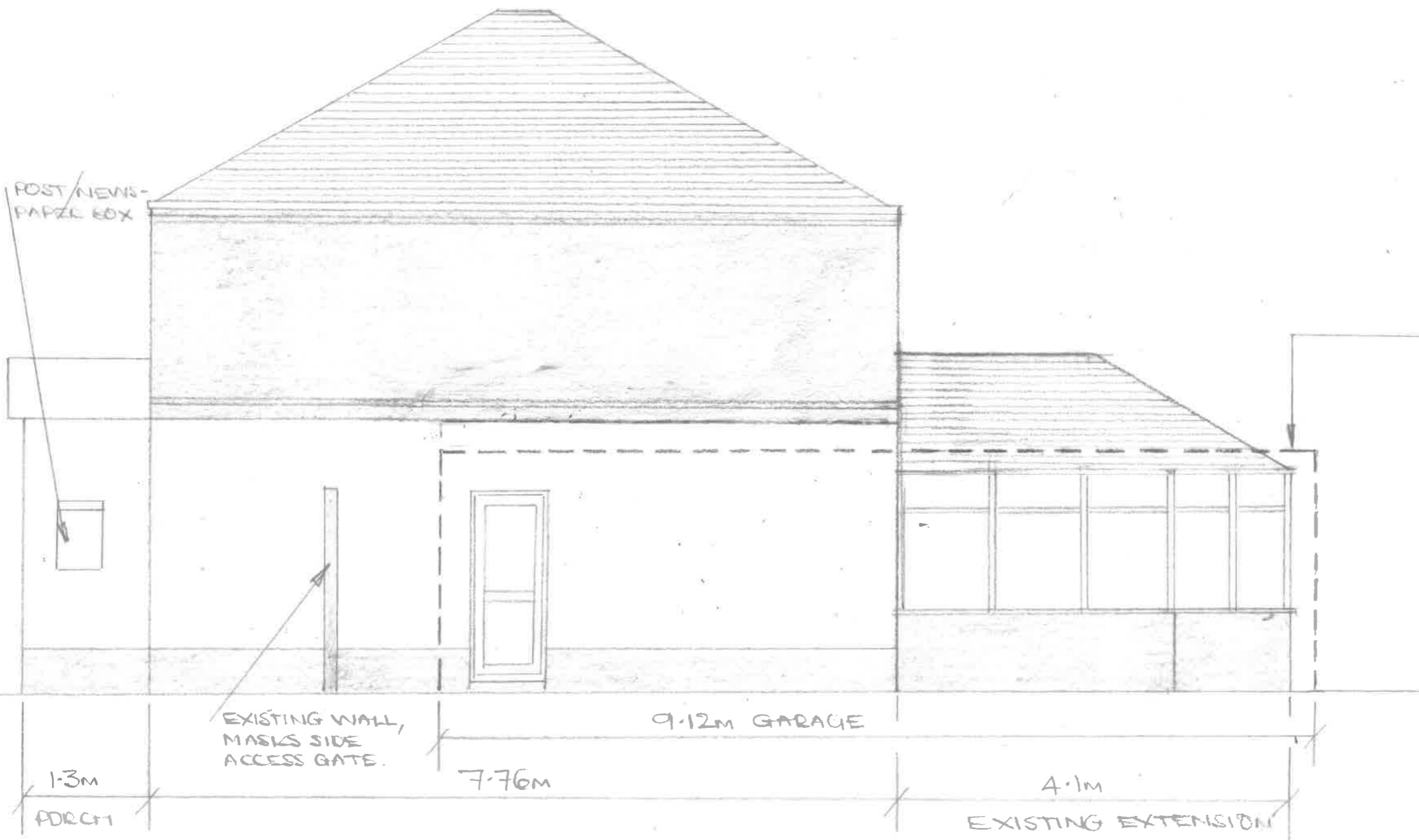
DRAWING N°:

B14-002

REVISION 1

MAY 2021

EXISTING WEST ELEVATION



NOTES:

DOTTED LINE DENOTES POSITION OF EXISTING GARAGE (TO BE RETAINED)

DATE: APRIL 2005 SCALE: 1:50

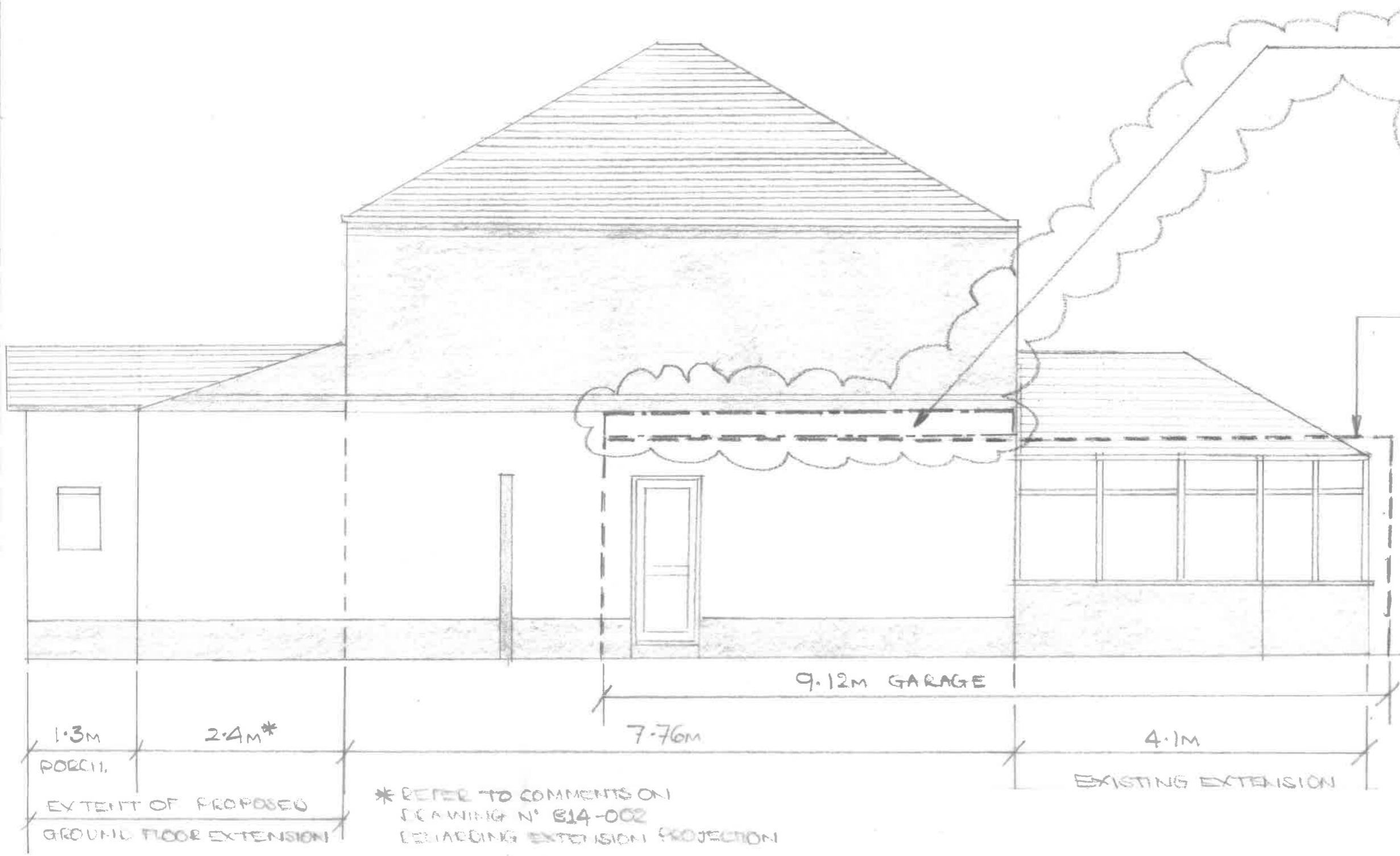
CLIENT: MR & MRS. BAILEY

ADDRESS: 14A ST. MARTINS AVENUE, EPSOM, SURREY

DRAWING N°: B14-005

PROPOSED WEST ELEVATION

NOTES:



EXISTING LEAN-TO REPLACED AND EXTENDED TO END OF MAIN HOUSE REAR WALL, AS HIGHLIGHTED ON DRAWING N° B14-002

DOTTED LINE DENOTES POSITION OF EXISTING GARAGE (TO BE RETAINED)

TO BE RE-ROOFED AS HIGHLIGHTED ON DRAWING N° B14-002, REPLACING EXISTING ROOF COVERING, WHICH IS NOW LEAKING.

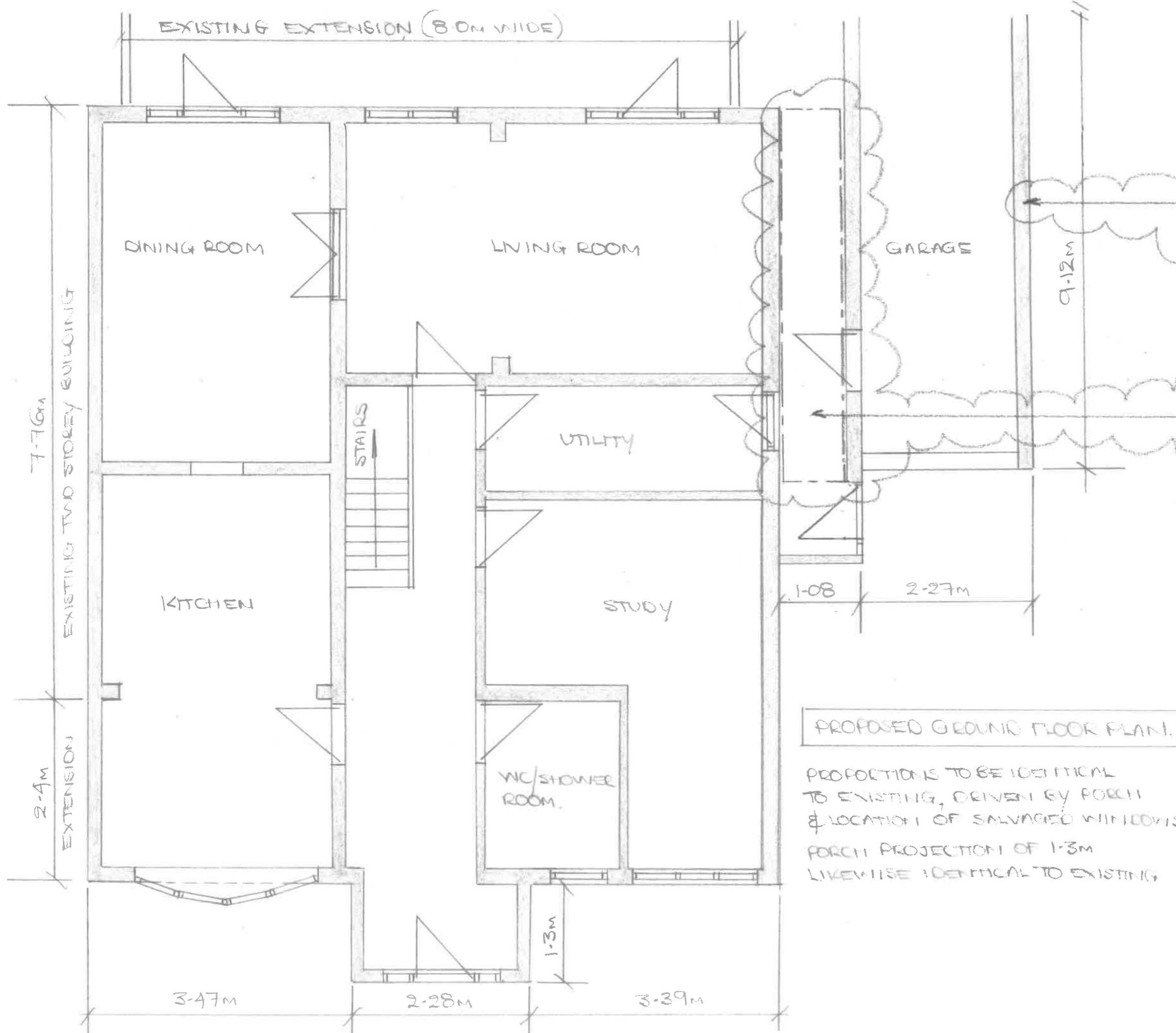
DATE:	SCALE:
APRIL 2005	1:50

CLIENT:
MR. & MRS. BAILEY

ADDRESS:
14A ST. MARTIN'S AVENUE,
EPSOM,
SURREY

DRAWING N°: B14-006	REVISION 1 MAY 2021
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* REFER TO COMMENTS ON DRAWING N° B14-002 REGARDING EXTENSION PROJECTION



NOTES:

EXISTING GARAGE TO BE RE-ROOFED, AS HIGHLIGHTED ON DRAWING N° B14-002

EXISTING LEAN-TO REPLACED AND EXTENDED, AS HIGHLIGHTED ON DRAWING N° B14-002

PROPOSED GROUND FLOOR PLAN.

PROPORTIONS TO BE IDENTICAL TO EXISTING, DRIVEN BY PORCH & LOCATION OF SALVAGED WINDOWS.
 PORCH PROJECTION OF 1.3m
 LIKEWISE IDENTICAL TO EXISTING

DATE:	SCALE:
APRIL 2005	1:50
CLIENT:	
MR. & MRS. BAILEY	
ADDRESS:	
14 ^A ST. MARTINS AVENUE EPSOM SURREY	
DRAWING N°:	REVISION 1
B14-008	MAY 2021