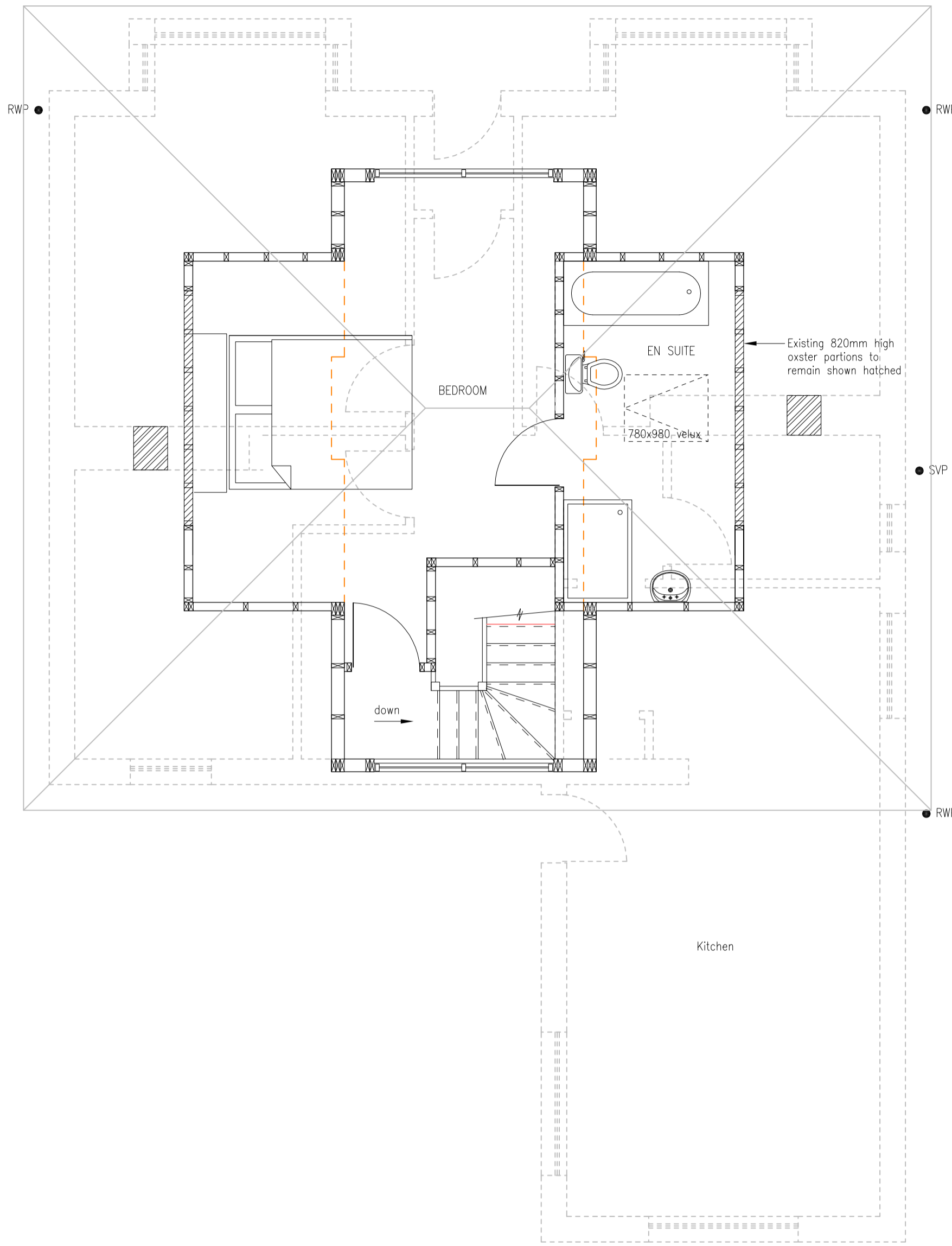


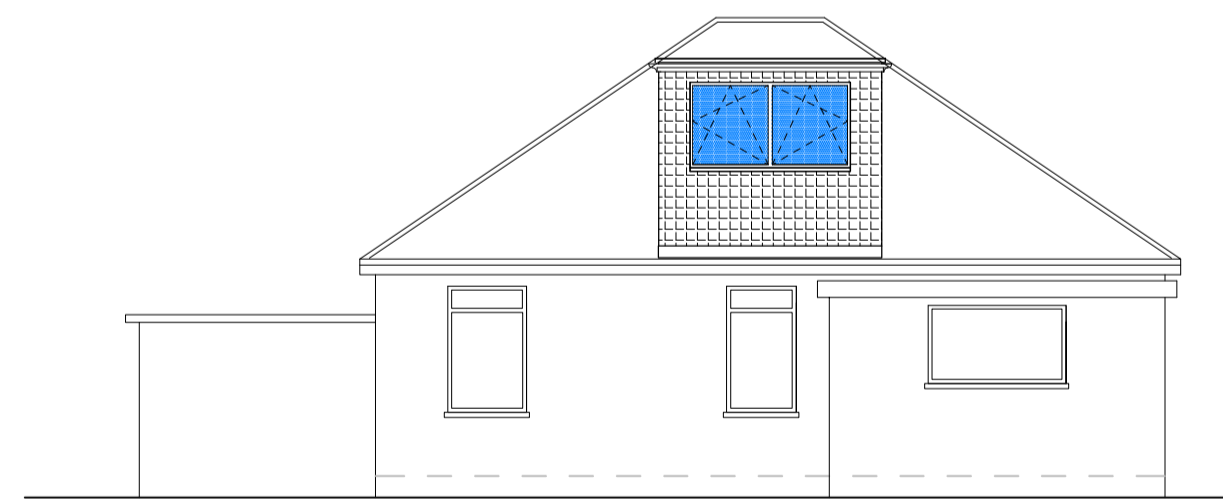
Floor to ceiling = 2757mm
Ground Floor Plan as Proposed
1:50



Attic Floor Plan as Proposed
1:50



Front Elevation as Proposed 1:100

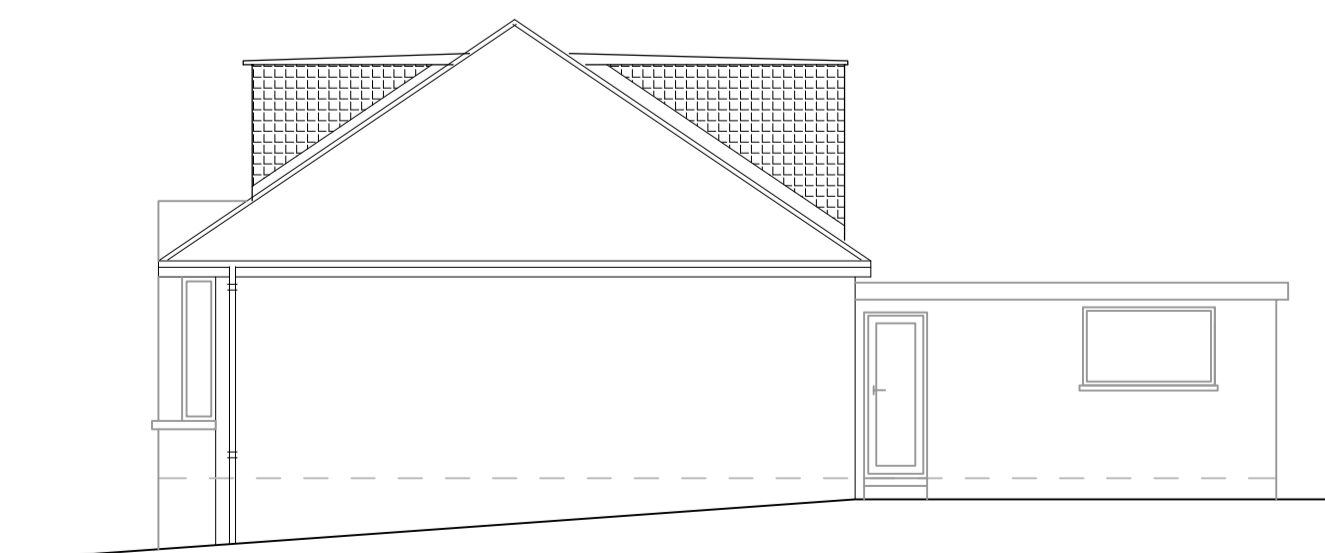


Rear Elevation as Proposed 1:100

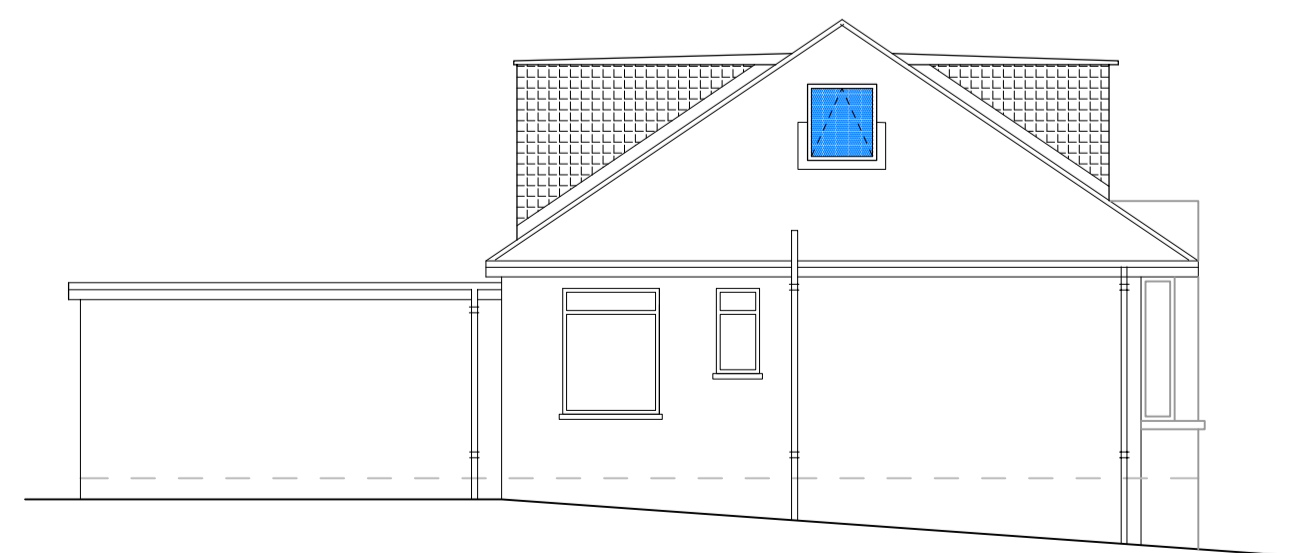
Dormer Cheeks & Fronts

Reconstituted slate on 25x25 battens fixed by copper nails, on breather membrane, on 9mm external quality ply, insulation on vapour barrier finished with 12.7mm Gyproc plasterboard.

Escape windows denoted FE should have an unobstructed openable area that is at least 0.33m² and at least 450mm high and 450mm wide. The route through the window may be at an angle rather than straight through and the bottom of the openable area should be not more than 1100mm above the floor. All upstairs windows (including dormer and velux windows) to be at least 800mm above finished floor level.



Gable Elevation as Proposed (Garage Omitted For Clarity) 1:100



Gable Elevation as Proposed 1:100

Rev	Date	Details
Stewart Drawing Services 11 Balmoral Drive Bearsden G61 1DH tel : 07967 613094 email : john@stewartdrawing.com		
Planning & Building Warrant Proposed Dormer Installation For Mr & Mrs Black 66 Ardrossan Road, Seamill - Proposed Ground & 1st Floor Plans & Proposed Elevations		
Scale		Drawn By
1:50	A1	John Stewart
Date		Drawing No.
May 2021		21018 - 02
		Rev