

DESIGN AND ACCESS STATEMENT

FOR:

**BEAUCHAMP LODGE
TWO MILE LANE
HIGHNAM
GL2 8AB**

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2.0 Site History

2.1 The property is a two-storey, detached Grade II listed Lodge building built c.1850s in a rural location adjacent to the A40 on the outskirts of Gloucester.

Construction is English bond brickwork to ground floor, timber framing with rendered panels above with mock Tudor 1st floor and gabled tiled roof. Attached to the left (west) elevation is a single storey kitchen extension, c.1950s, of cavity brick construction under a ridge tiled roof and with an independent ground-bearing concrete floor slab. The brickwork of the extension is toothed into the original house.

The property stands on a slightly elevated site that is generally level. Surrounding gardens to the front are occupied by a driveway. There are a number of established deciduous trees and shrubs surrounding the property

Photograph(s) of Property:



View from rear

3.0 Use

3.1 The general use of the property is a residential dwelling home.

4.1 Amount

The property has suffered structural movement due to subsidence of the site. The setting and importance of the property are compromised only by damage caused by the incidents of ground movement.

4.2 Single storey extension

The cracking is at the junction where the extension abuts the main house. There is gapping at the ceiling and cracking extending above the side window which is mirrored externally. There is also diagonal cracking to the rear wall of the enclosed WC.



Figure 1 Internal damage



Figure 2 Junction of extension

The damage is indicative of subsidence of the extension with it tilting to the west. The bed joint tilt was measured at 1 in 95 which equates to a drop of c.40mm on the end wall of the extension compared to where it abuts the main house.

4.3 Original property

The house has undergone some alterations over time but retains a substantial portion, at ground and first floor of its historic timber frame within the original frontages. There is a 19th century extension to the west elevation of the property which is the subject of this application.

5.0 Design proposal

5.1 The proposal is to stabilise the extension of the property with cantilevered knuckle piles are introduced around the structure to support the foundations.

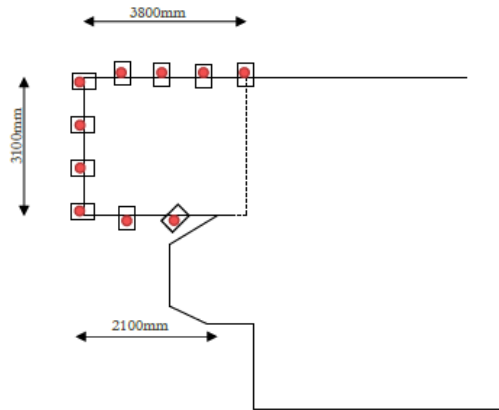


Figure 3 - Piling Layout

5.2 Internally crack repairs will be carried out including fine fill various cracking to the ceiling perimeter and hairline cracking to left hand side of kitchen window. Cutting back plaster 75mm either side of crack to expose cracking to brick work, rake out joints & repoint using lime mortar in the WC.

5.3 Externally some crack repairs and repointing in lime mortar are proposed.

6.0 Layout

6.1 The proposed layout to replicate the existing.

7.0 Scale

7.1 The maximum overall dimension of the main house is approximately 10.5m wide and approximately 7.6m long. The right-hand projection is approximately 2.5m wide and approximately 3.5m.

8.1 All trees and hedges to the whole of the application site are to be retained as existing. It is suggested that no further landscaping is necessary. We will attempt to retain and not disturb the existing landscape of the site, if any damage occurs the replacement landscaping for the site will be similar to the existing.

9.0 Appearance

9.1 There are no proposed significant changes to the existing appearance of the property. We will re-use the existing materials to rebuild the damaged section of the wall and the only unavoidable intervention will be to use like for like replacement of external mortar and internal wall finish, which may be required to repair the damaged sections.

10.0 Vehicular Access

10.1 No changes are proposed to the existing access arrangements. There are no Highway considerations relevant to this proposal, as the existing access from shared drive off the A40.