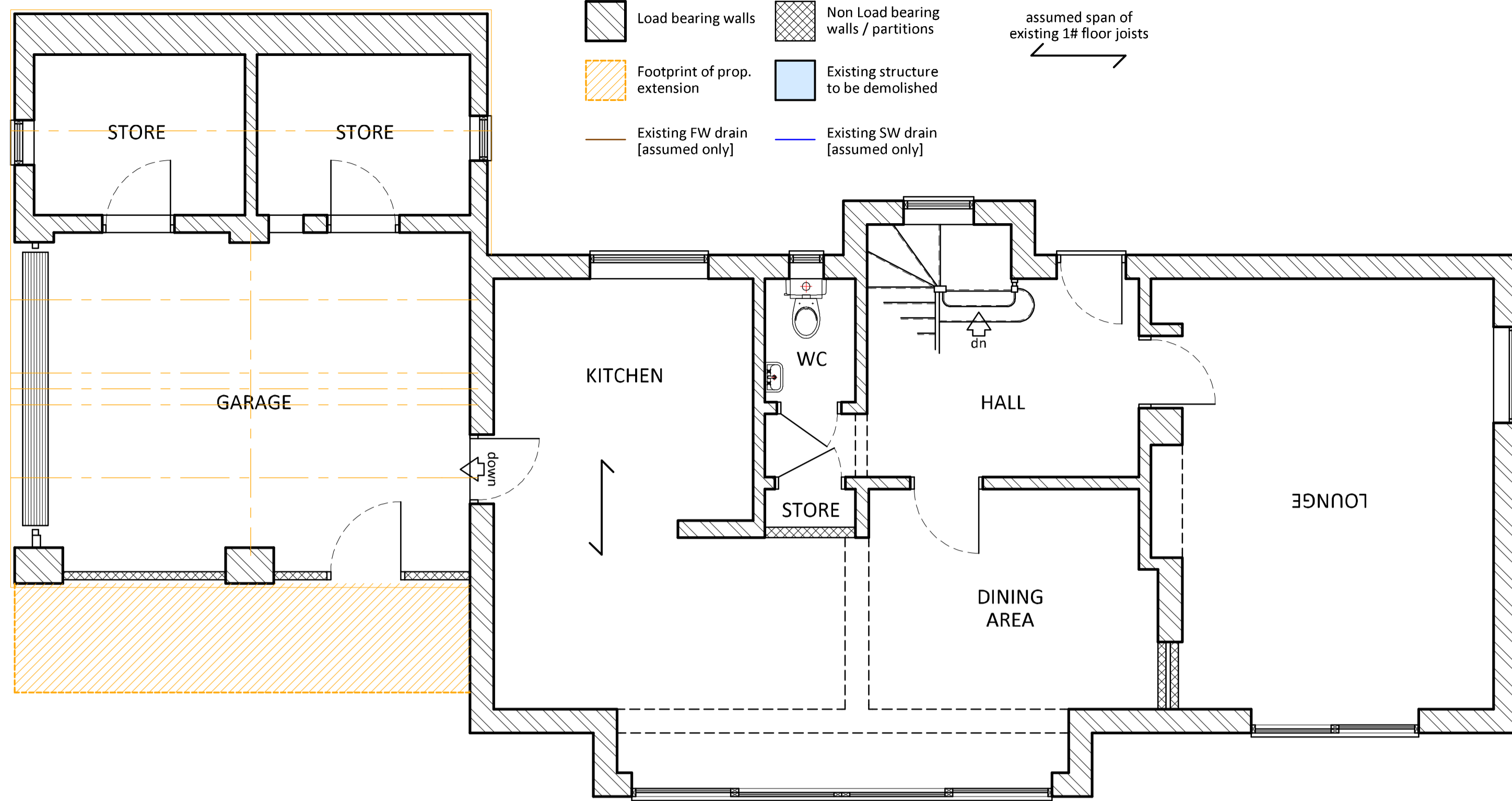


Existing Ground Floor

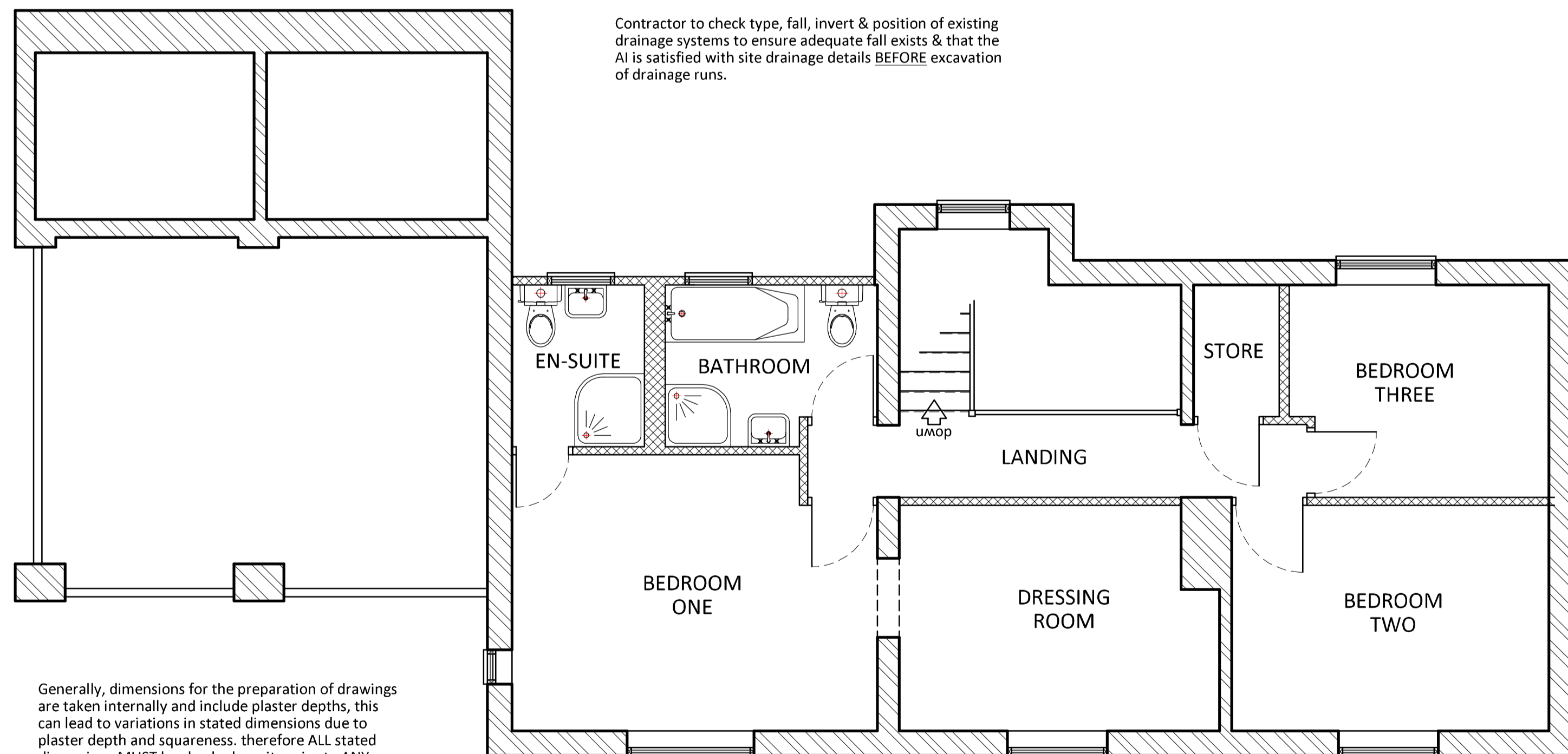


It is assumed that the existing drainage is a combined FW / SW system, Contractor to check on site & adjust proposed drainage system layout accordingly if the FW & SW drainage is run separately.

Positions of drainage runs and types of drainage indicated on drawings are strictly provisional only.

Contractor to check type, fall, invert & position of existing drainage systems to ensure adequate fall exists & that the AI is satisfied with site drainage details BEFORE excavation of drainage runs.

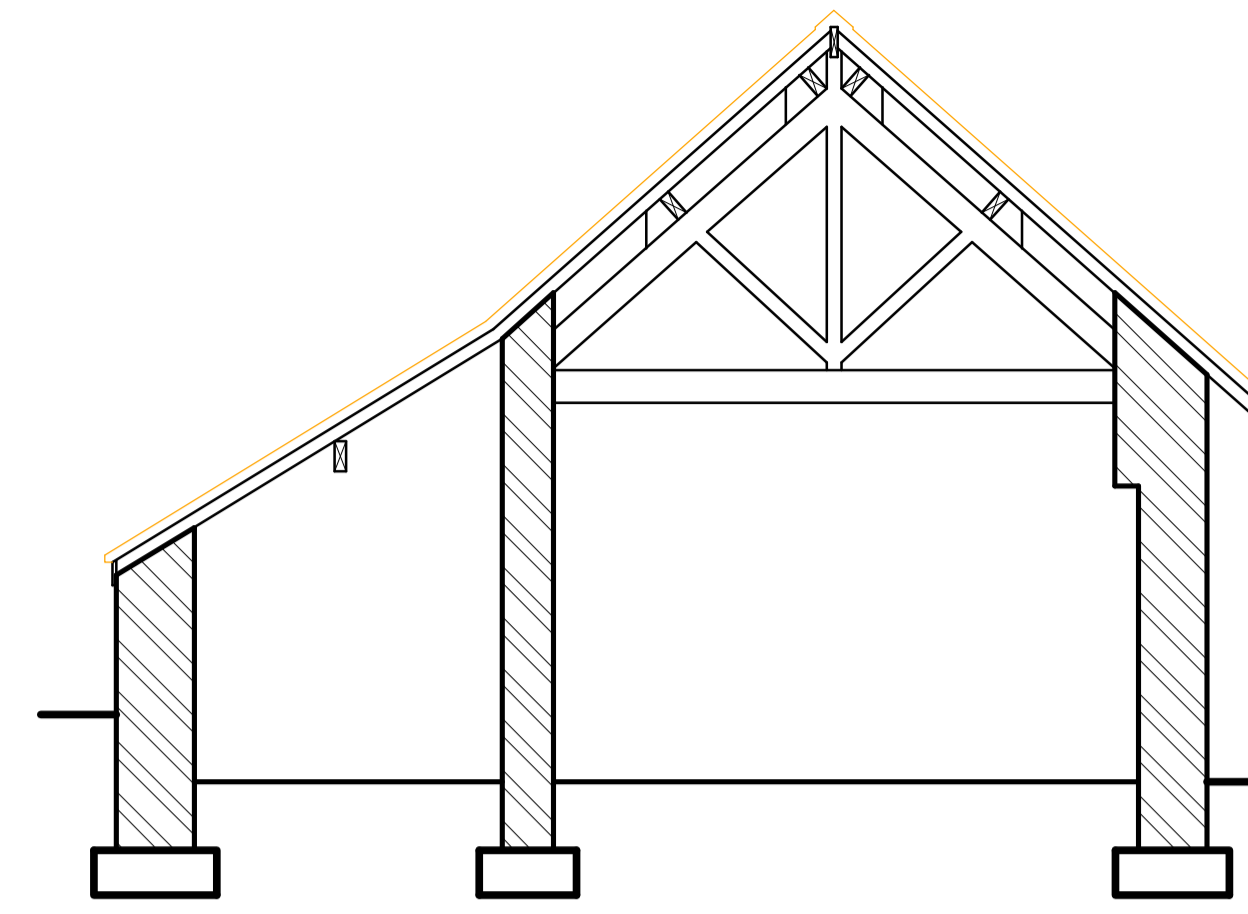
Existing First Floor



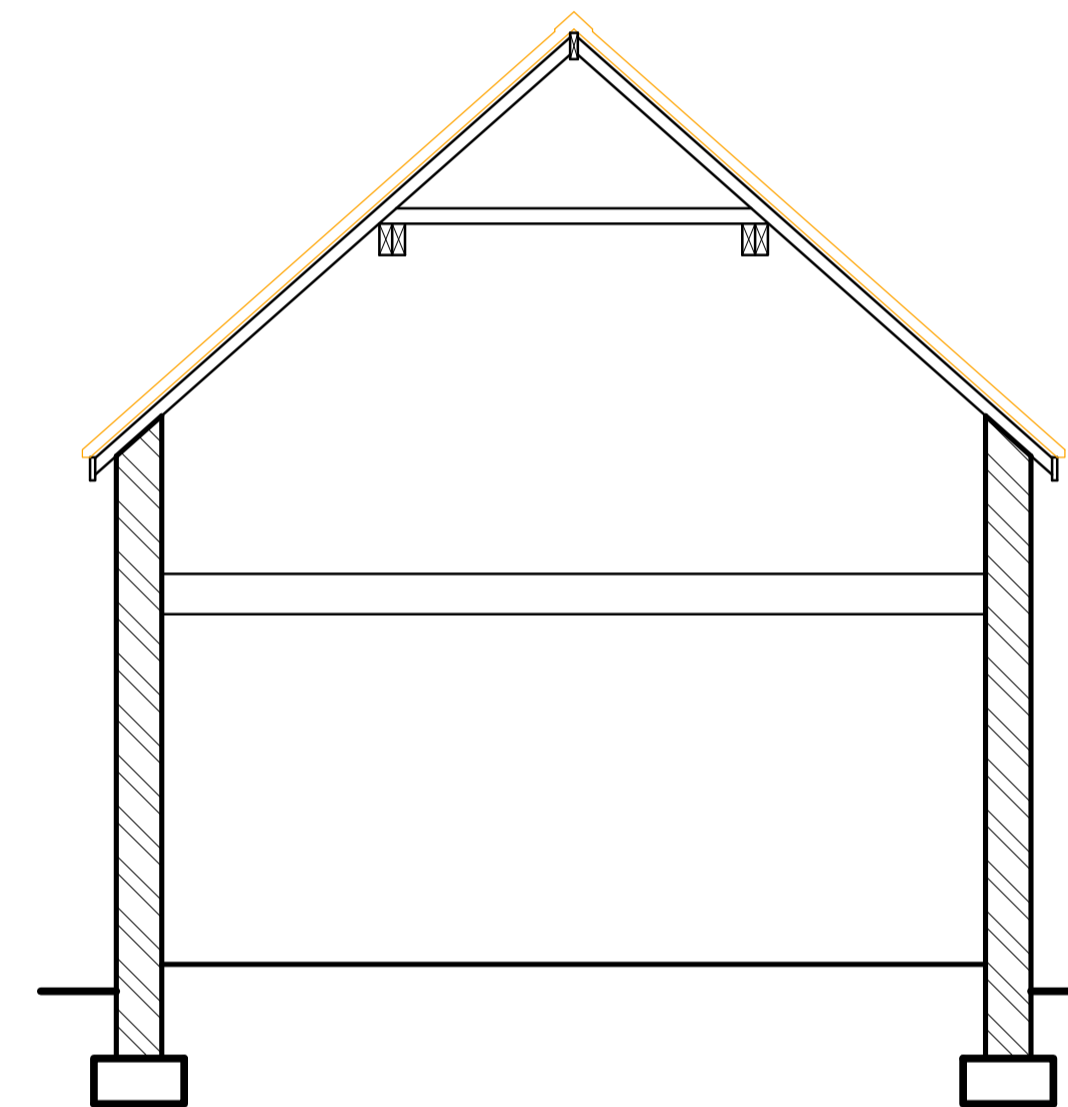
Generally, dimensions for the preparation of drawings are taken internally and include plaster depths, this can lead to variations in stated dimensions due to plaster depth and squareness. therefore ALL stated dimensions MUST be checked on site prior to ANY works on site commencing.

Where new walls are shown as aligned with existing walls, this must be checked by the physical removal of brickwork and or plaster to establish the actual position of the wall being attached to.

IT IS PROPOSED THAT THE EXTENSION BE BUILT ENTIRELY WITHIN THE EXISTING BOUNDARY, ENSURING THAT FOUNDATIONS & ANY ROOF OVERHANG WILL NOT ENCR OACH ONTO NEIGHBOURING PROPERTY, CLIENT MUST ENSURE ALL ASPECTS OF THE "PARTY WALL ETC., ACT 1996" ARE COMPLIED WITH PRIOR TO ANY WORKS COMMENCING ON SITE.



Existing Section Thro' Garage



Existing Section Thro' Dwelling

Whilst working on site the contractor MUST adhere to the recommendations of BS 5228-1, clause 9.3 to minimize noise levels during the execution of the Works.

The close proximity of neighbouring residential housing has been noted and there will be no deliveries or any works on site other than between the following time phases:
08.00 - 18.00 Monday to Friday
08.00 - 13.00 Saturday
& not at all on a Sunday or Public Holiday

ALL Materials will be stored within the site boundaries and access limited by site management.

Material deliveries to site will be by specialised vehicles EG. crane off loading vehicles, as and when required, plant & machinery to be delivered by other specialized vehicles, Main Contractor to arrange site deliveries to be outside the busiest times for local traffic movements.

Contractors, site operatives and sub-contractors MUST ensure that they do not cause nuisance to neighbouring properties and comply promptly, respectfully and courteously with any request to move vehicles, as and when required, by the occupiers of the neighbouring properties, this to be closely monitored and managed by the Main Contractor.

If possible the Main Contractor is to identify an area away from the site suitable for parking of vehicles to enable Contractors, site operatives and sub-contractors to drop equipment off on site, drive to the parking area and walk back to the site.

Site to be used only for the demolition / construction of the proposed works, which is to be protected at all times along with adjacent properties, not forming part of the works.

Care must be taken at all times to ensure that works near to the supply of services to/from property (IE. electricity, water, gas, communications [BT. etc.]) foul & surface water drainage) does not, at any time interfere with the supply of services into / out from the adjacent properties, if this proves not to be the case, then the Contractor is to fully advise properties affected, as soon as problem is known and (were necessary) is to negotiate with adjacent properties regarding any appropriate action that may be required.

PRIOR to commencing excavations the site area MUST be checked for overhead and underground services.

Contractor to obtain service plans from Utility providers and the site area MUST be checked over using a CAT scanner or other suitable locating device. If located, then any service routes are to be identified and clearly marked on site and on site copies of plans. If markings are lost during the working operation then the exercise will be repeated to ensure service routes remain clearly marked as required for the duration of the works.

Works will accord with the HSE Guidance Document, 'HSG47 Avoiding danger from underground services'.

Works on existing underground services or any new works proposed must comply with the National Joint Utilities Group (NJUG) Guidelines Volumes 1 - 6.

Prevent smoke, dust, fumes, spillage, & other harmful activities. No fires to be allowed on site, at any time, noise levels to be kept to a reasonable level, complying with BS 5228, 'Noise control on construction sites' remember that the adjacent properties are occupied, and comply with all reasonable requests from the general public / neighbours regarding the use of power tools etc.,

Specification

© KJP Architecture

THESE PLANS MUST NOT BE ACTED UPON UNTIL THEY HAVE BEEN APPROVED IN ACCORDANCE WITH BUILDING REGULATIONS 2010 & ANY SUBSEQUENT AMENDMENTS. SHOULD THE OWNER OR CONTRACTOR COMMENCE WORK WITHOUT THE ABOVE APPROVAL, THEN THEY DO SO AT THEIR OWN RISK. CONTRACTOR MUST CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT ON SITE. ANY ANOMOLIES TO BE REPORTED. DO NOT SCALE FROM DRAWINGS, FIGURED DIMENSIONS ONLY TO BE USED.

FOR PLANNING PURPOSES ONLY

Materials, products and building systems shall be suitable for their intended purpose. The structure of the building shall have a life of at least 60 years. Individual components & assemblies, not integral to structure, may have a lesser durability & need planned maintenance, repair or replacement during that period. Proper account shall be taken of the use & location of materials, products & building systems in relation to:

- Durability of the structure & components & assemblies
- Geographical location
- Position on the site
- Position within the structure.

Materials, products and building systems will normally be acceptable if they comply with the following:

[i] MATERIAL & PRODUCT FOR CRITICAL FUNCTIONS

Functions critical to performance are: structure, fire resistance, weatherproofing, durability, thermal & sound insulation, services including heating appliances and flues.

Any of the following are acceptable:

- Compliance with the Department for Communities and Local Government (DCLG) published guidance on meeting requirements Approved Documents (AD's) A- P and AD for Regulation 7, covering Materials and Workmanship. Building work will have to comply with the requirements of any other relevant para. in Schedule 1 to the regulations or
- Performance in accordance with standards set by National House Building Council (NHBC), or
- Where no standard is set, compliance with the relevant British Standard or European Technical Specification approved by a Committee for Standardisation, provided they are in accordance with relevant Code of Practice, or
- Compliance with standards not lower than those defined in a relevant British Standard specification or equivalent, provided their use is accepted, or
- Satisfactory assessment by an appropriate independent technical approvals authority IE.

British Board of Agrément (BBA), Building Research Establishment (BRE),

or a body authorised under Annex 4 to the Construction Products Directive, or

- Use of materials and products in accordance with well established satisfactory custom and practice, provided that such custom and practice is acceptable to the Approved Inspector (AI).

[ii] MATERIAL & PRODUCT FOR NON-CRITICAL FUNCTIONS

Compliance with the above acceptance criteria for critical functions or strictly in accordance with manufacturers' recommendations for the specific use.

WORKMANSHIP

All work shall be carried out in a proper, neat & workman like manner, the Contractor / Builder shall ensure that:

- The conditions of the materials, products & the completed work are satisfactory
- Appropriate precautions are taken to prevent accidental or wilful damage.

And that account is taken of the following:

- The requirements of the design
- Suitable methods of unloading and handling
- Proper protection during storage
- Use of correct installation methods
- Protection against weather during construction (including excessive heat, cold, wetting or drying)
- Protection against damage by following trades.

| | |
|-------------------------|-----------------|
| Native CAD Format | - AllyCAD |
| Resolution | - 300dpi |
| Colour Format | - 256 colours |
| Plotting Software | - Adobe Acrobat |
| Printed & Verified | - Yes |
| Satisfied with Accuracy | - Yes |

DATE: 28th of April 2021
PROJECT: Proposed [part] Two Storey Side Extension
FOR: Mr. & Mrs. Robinson
AT: 1 Church Farm Court, Lower Heswall, Wirral, CH60 0EU
DRAWING: 001-Existing Floor Plans and Sections
PROJECT No: Robin22
SCALE: 1:50 @ paper size - A1 [other scales as noted]
EXISTINGS : J J PLANNING: CJ BUILDING REG'S : CJ

Office -
62a Pensby Road
Heswall
Wirral
CH60 7RE
T: 0151 342 2779
E: chris@kenefickjones.com
W: kenefickjones.com

