

**Specification**

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THESE PLANS MUST NOT BE ACTED UPON UNTIL THEY HAVE BEEN APPROVED IN ACCORDANCE WITH BUILDING REGULATIONS 2010 & ANY SUBSEQUENT AMENDMENTS. SHOULD THE OWNER OR CONTRACTOR COMMENCE WORK WITHOUT THE ABOVE APPROVAL, THEN THEY DO SO AT THEIR OWN RISK. CONTRACTOR MUST CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT ON SITE. ANY ANOMALIES TO BE REPORTED. DO NOT SCALE FROM DRAWINGS, FIGURED DIMENSIONS ONLY TO BE USED.

**FOR PLANNING PURPOSES ONLY**

Materials, products and building systems shall be suitable for their intended purpose. The structure of the building shall have a life of at least 60 years. Individual components & assemblies, not integral to structure, may have a lesser durability & need planned maintenance, repair or replacement during that period. Proper account shall be taken of the use & location of materials, products & building systems in relation to:

- Durability of the structure & components & assemblies
- Geographical location
- Position on the site
- Position within the structure.

Materials, products and building systems will normally be acceptable if they comply with the following:

**(i) MATERIAL & PRODUCT FOR CRITICAL FUNCTIONS**

Functions critical to performance are: structure, fire resistance, weatherproofing, durability, thermal & sound insulation, services including heating appliances and flues.

Any of the following are acceptable:

- Compliance with the Department for Communities and Local Government (DCLG) published guidance on meeting requirements Approved Documents (AD's) A- P and AD for Regulation 7, covering Materials and Workmanship. Building work will have to comply with the requirements of any other relevant para. in Schedule 1 to regulations or
- Performance in accordance with standards set by National House Building Council (NHBC), or
- Where no standard is set, compliance with the relevant British Standard or European Technical Specification approved by a Committee for Standardisation, provided they are in accordance with relevant Code of Practice, or
- Compliance with standards not lower than those defined in a relevant British Standard specification or equivalent, provided their use is accepted, or
- Satisfactory assessment by an appropriate independent technical approvals authority IE.

British Board of Agrément (BBA), Building Research Establishment (BRE),

or a body authorised under Annex 4 to the Construction Products Directive, or

- Use of materials and products in accordance with well established satisfactory custom and practice, provided that such custom and practice is acceptable to the Approved Inspector (AI).

**(ii) MATERIAL & PRODUCT FOR NON-CRITICAL FUNCTIONS**

Compliance with the above acceptance criteria for critical functions or strictly in accordance with manufacturers' recommendations for the specific use.

**WORKMANSHIP**

All work shall be carried out in a proper, neat & workman like manner, the Contractor / Builder shall ensure that:

- The conditions of the materials, products & the completed work are satisfactory
- Appropriate precautions are taken to prevent accidental or wilful damage.

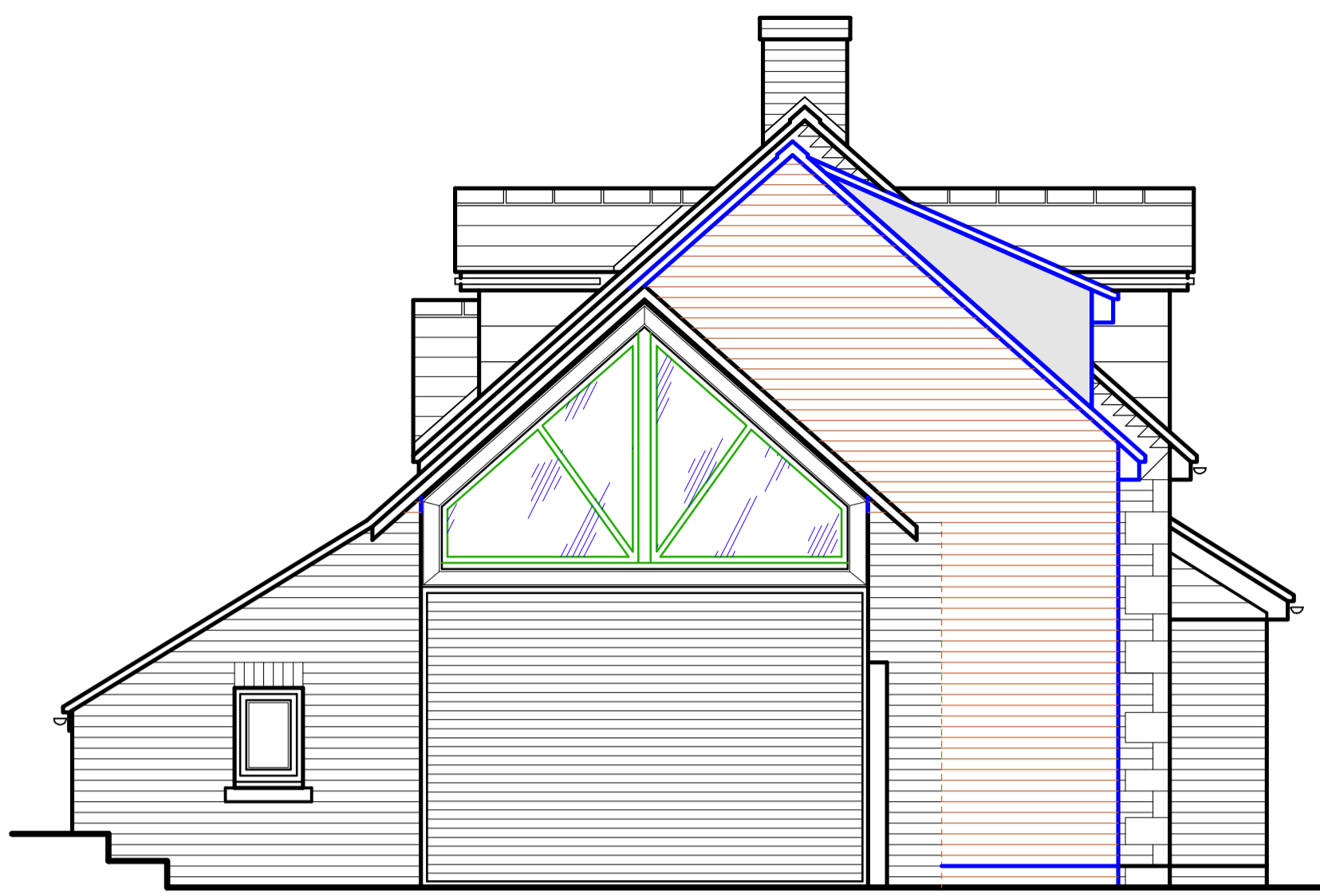
And that account is taken of the following:

- The requirements of the design
- Suitable methods of unloading and handling
- Proper protection during storage
- Use of correct installation methods
- Protection against weather during construction (including excessive heat, cold, wetting or drying)
- Protection against damage by following trades.

Native CAD Format	- AllyCAD
Resolution	- 300dpi
Colour Format	- 256 colours
Plotting Software	- Adobe Acrobat
Printed & Verified	- Yes
Satisfied with Accuracy	- Yes

DATE: 22nd of April 2021  
 PROJECT: Proposed [part] Two Storey Side Extension  
 FOR: Mr. & Mrs. Robinson  
 AT: 1 Church Farm Court, Lower Heswall, Wirral. CH60 0EU  
 DRAWING: 004-Proposed Elevations and Sections  
 PROJECT No: Robin22  
 SCALE: 1:50 @ paper size - A1 [other scales as noted]  
 EXISTINGS : JJ PLANNING: CJ BUILDING REG'S : CJ

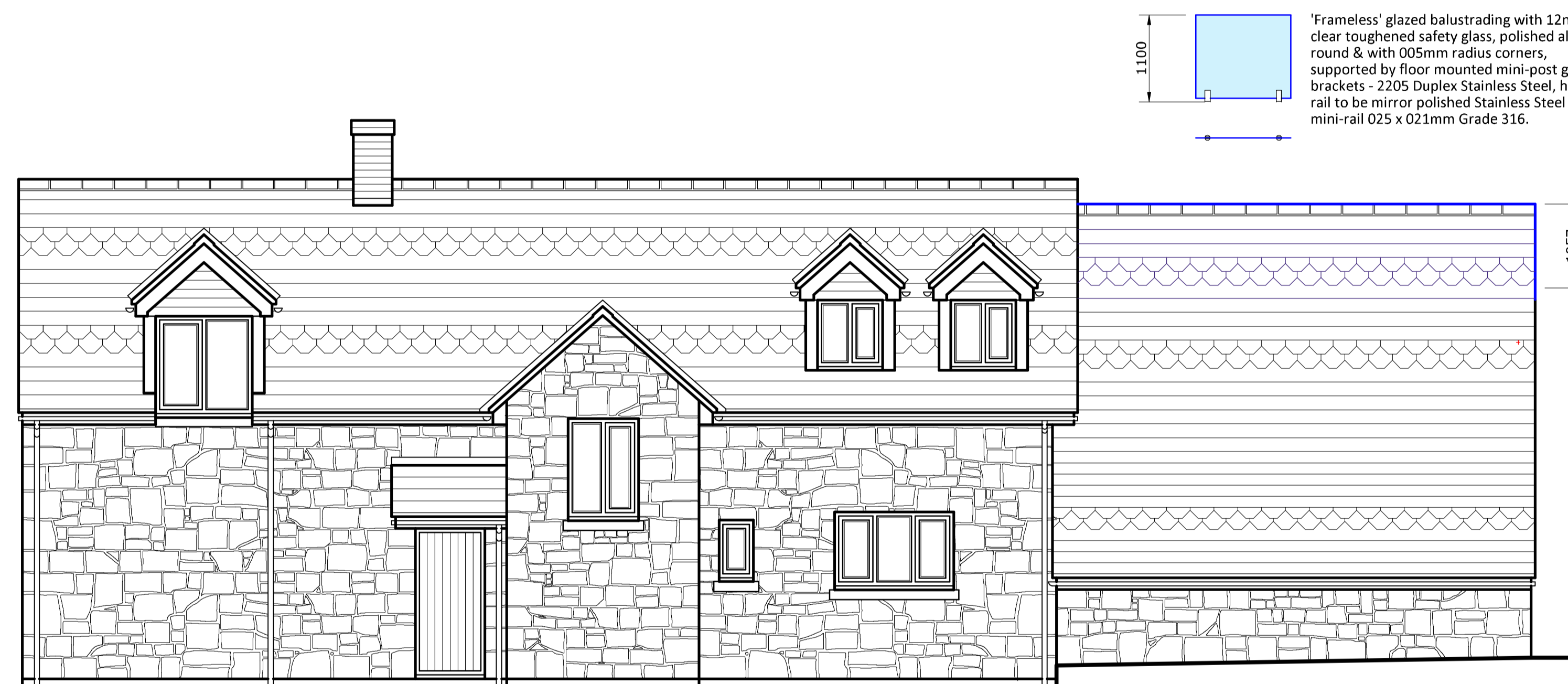
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**Proposed Side Elevation**



**Proposed Rear Elevation**



**Proposed Front Elevation**

1100  
 'Frameless' glazed balustrading with 12mm clear toughened safety glass, polished all round & with 005mm radius corners, supported by floor mounted mini-post glass brackets - 2205 Duplex Stainless Steel, hand rail to be mirror polished Stainless Steel mini-rail 025 x 021mm Grade 316.

Roof to be covered with reclaimed 'Welsh Blue' slate, shaped, sized and lapped to match that of the existing dwelling

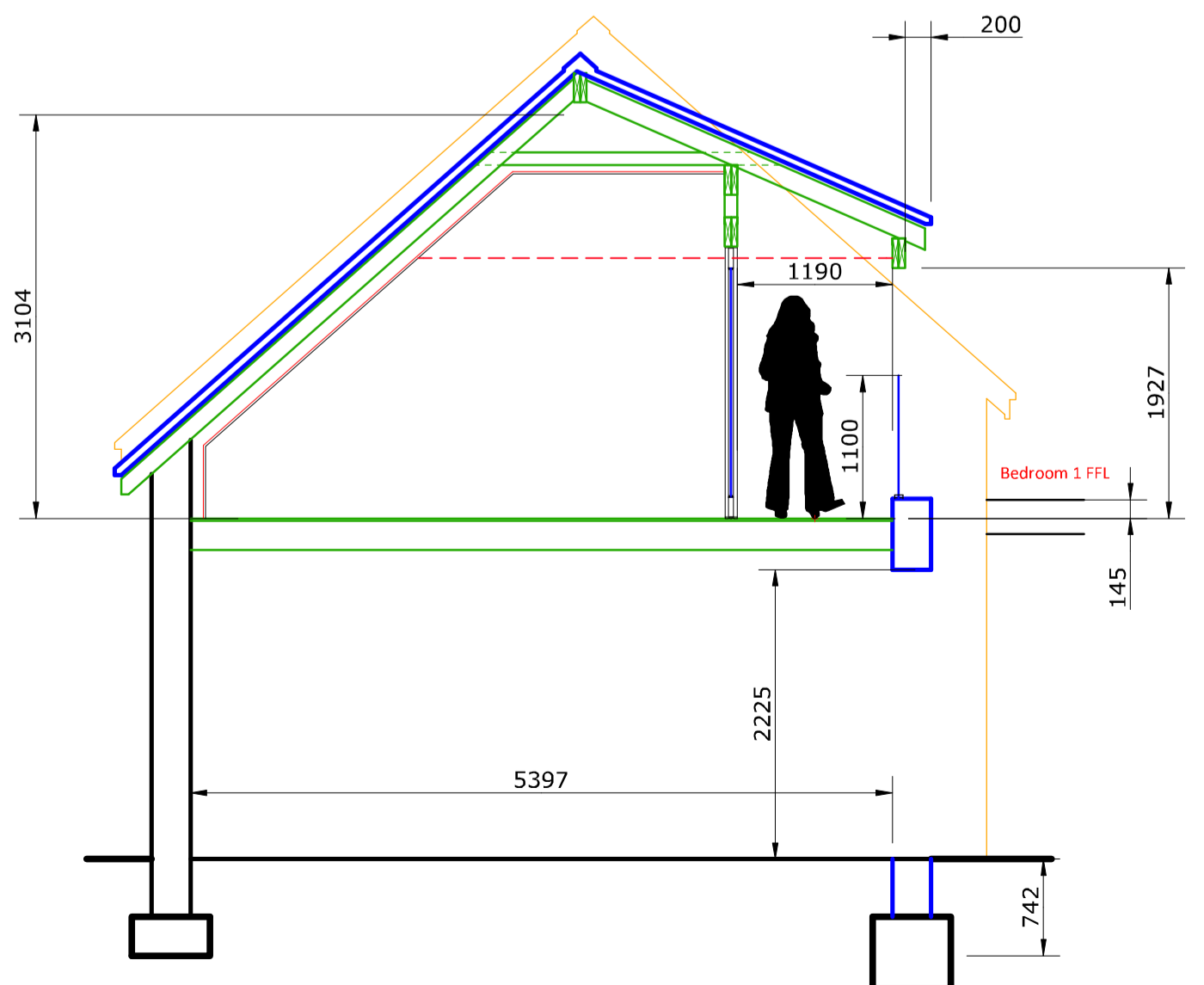
Face and cheek of 'dormer' to be covered with lead or zinc

Fascias, barge boards, to be of painted softwood - as existing profile & colour

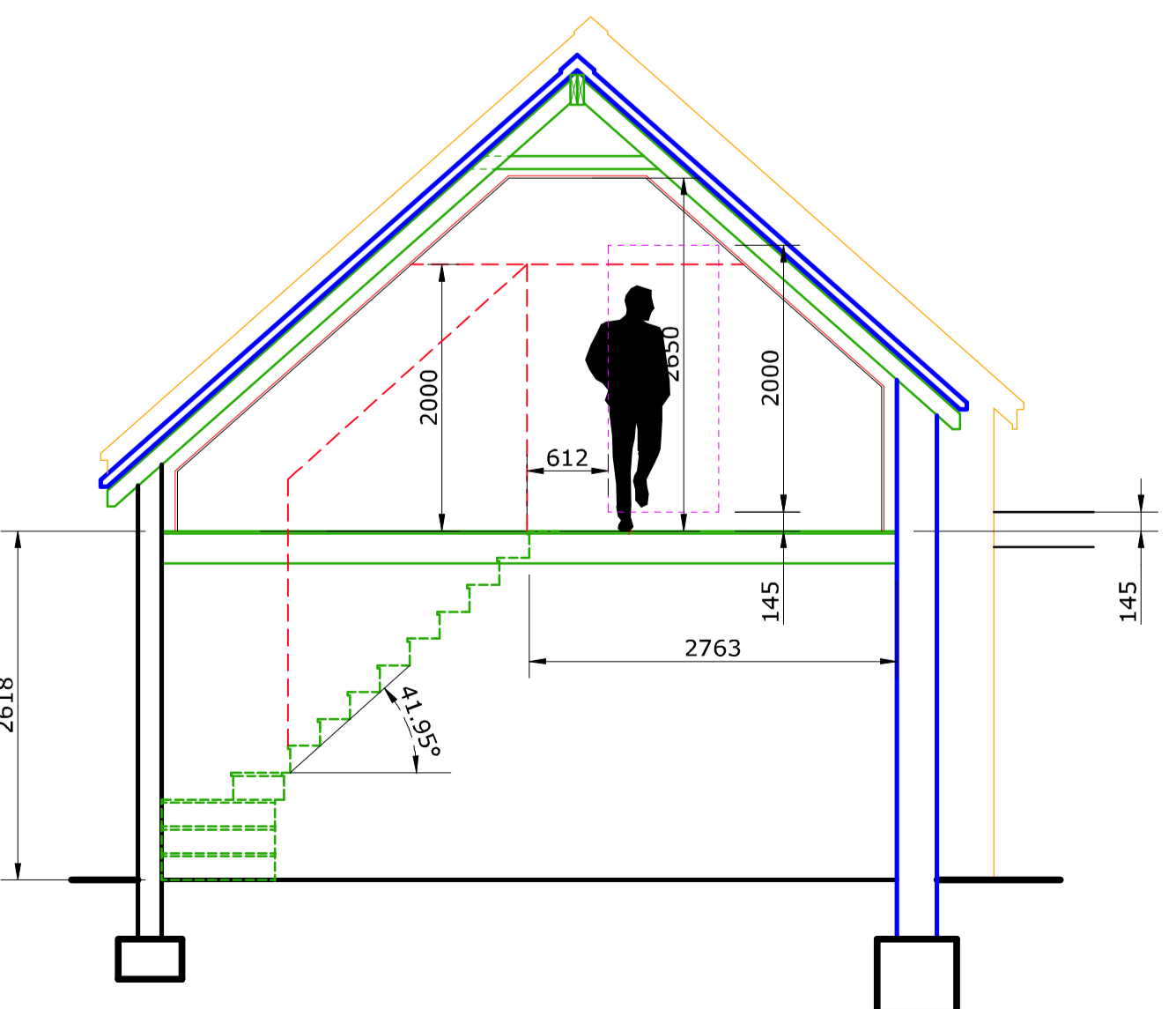
Guttering, downpipes and external soil pipes to be of coloured uPVC - as existing profile & colour

Windows / doors of uPVC - same style as the existing windows / doors of the dwelling

Elevations to be of facing brickwork to match the colour, texture & gauge of the existing dwelling as closely as possible



**Proposed Section A-A**



**Proposed Section B-B**

