

# PLANNING STATEMENT

**Proposed Detached Bungalow – amended  
design to extant planning permission ref  
DC/2013/00703**

**Twyn Cecil, Goytre, Monmouthshire, NP15  
1QD**

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# 1. The Site and Surroundings

- 1.1 Twyn Cecil is located 1.5km east of Goytre on the east side of Llan Lane which loops around between Penperlleni and Goytre. The application site is defined by the red outline on the location plan below.



- 1.2 The applicants property comprises of the bungalow which they reside in (Twyn Cecil) and two link attached terrace cottages (numbers 1 and 2 Twyn Cecil). The properties are located at the northern end of the wider curtilage. Centrally within the wider curtilage is a row of outbuildings and the primary access serving these buildings and dwellings lies west of here.
- 1.3 The application site occupies the southern third of the curtilage of Twyn Cecil and comprises of a lawned area with occasional silver birch trees and garden planting. The western half of the site is at a similar level as the adjacent highway but levels steadily rise eastwards into the adjacent paddock. The roadside boundary is enclosed with a mature native hedge whilst trees and hedges also

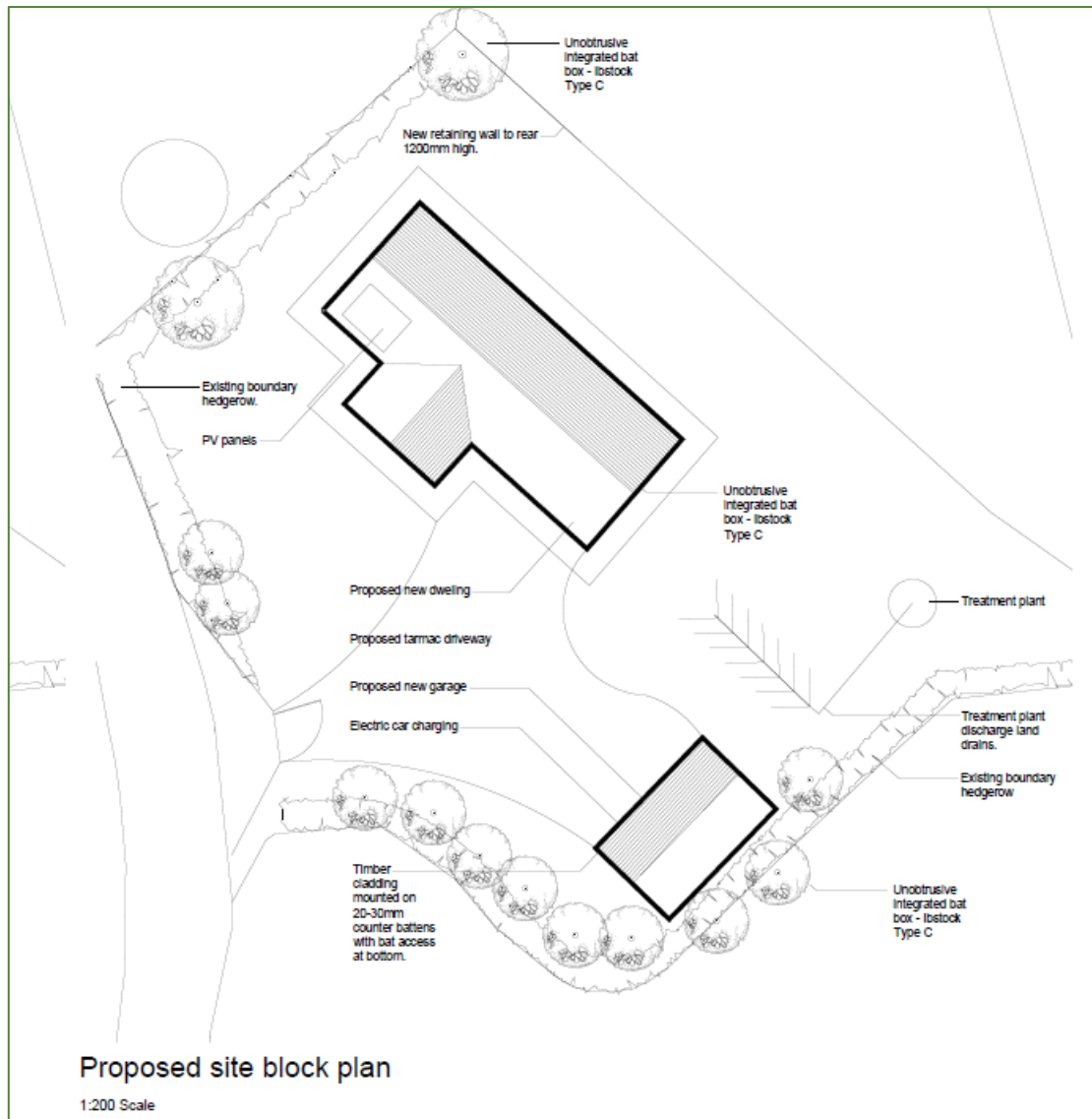
enclose the southern and far eastern boundaries. The site is served by a gated vehicular access on to the adjacent highway.

## 2. The Proposal

2.1 Full planning permission is sought for the construction of a detached single storey bungalow. This is an amended proposal to that which was approved under planning permission ref DC/2013/00703 and remains extant. The principal changes are that the bungalow is sited slightly nearer the highway to minimise the amount of excavation into the rising ground levels to the rear and the accommodation is now all single storey with corresponding reduction in height and volume of the dwelling. The design is also amended to introduce a full height glazed gable on the front.



2.2 The site is served by an existing access leading to a proposed detached garage, parking and manoeuvring area. Surface water will be managed sustainably within the site and a new package treatment plant and field drain soakaway is proposed to manage foul drainage.



2.3 The proposal also includes internal alterations to amalgamate number 1 and 2 Twyn Cecil Cottages to create a single dwelling as was originally the case.

### **3. Planning History**

- 3.1 Outline planning permission was approved on 29<sup>th</sup> May 2007 for a replacement dwelling (ref DC/2007/00078) and approval of reserved matters granted on 19<sup>th</sup> March 2008 (ref DC/2007/01611). These permissions were not implemented and subsequently lapsed on 29<sup>th</sup> May 2012.
- 3.2 A full planning application was then submitted on 20<sup>th</sup> August 2013 for a dormer bungalow replacement dwelling (ref DC/2013/00703) and planning permission was then approved on 30<sup>th</sup> October 2013.
- 3.3 This planning permission has no condition requiring it to be implemented within a set period of time (normally five years) and so it is effectively a permanent permission that can be implemented at any time. This permission therefore remains extant.

## 4. Planning Policy

- 4.1 The Monmouthshire Local Plan was adopted on 27<sup>th</sup> February 2014 and runs up to 2021. A full review of the plan commenced in 2017 and following this, the decision has been taken to commence work on the preparation of a replacement plan. However, this work has not advanced sufficiently to be given any weight and so the adopted local plan along with national policy remain the relevant policy documents for the determination of this application.
- 4.2 **Policy H5 – Replacement dwellings in the open countryside** supports the replacement of existing dwellings in the countryside provided that:
- a) the original dwelling is not a traditional farmhouse, cottage or other building that is important to the visual and intrinsic character of the landscape;*
  - b) the design of the new dwelling is of a form, bulk, size and scale that respects its setting;*
  - c) the proposal does not require an unacceptable extension to the existing residential curtilage;*
  - d) the replacement dwelling shall be of similar size to the replaced property; and*
  - e) any outbuildings should be modest in size and sensitively located and it can be demonstrated at the time of the original application that adequate ancillary garage and storage space can be achieved for the dwelling.*
- 4.3 Other topic specific policies also of relevance are as follows:
- NE1 – Nature Conservation and Development
  - SD2 – Sustainable Construction and Energy Efficiency
  - SD4 – Sustainable Drainage
  - EP5 – Foul Drainage Disposal
  - MV1 – Proposed Developments and Highway Considerations
  - DES1 – General Design Considerations
- 4.4 Further guidance is contained within the Supplementary Planning Guidance titled ‘*Replacement Dwellings and Extensions to Dwellings in the Countryside*’ April 2015.

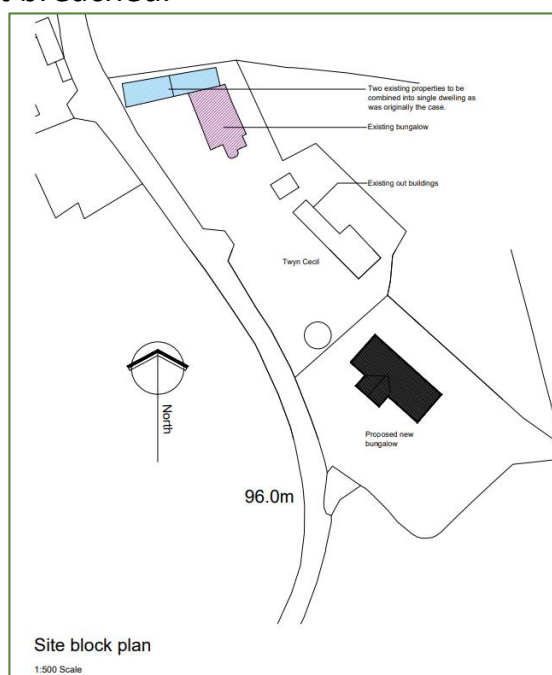


## 5. Planning Policy Assessment

5.1 The starting point is the extant planning permission which is a significant material planning consideration as this permission could be implemented at any time. Nevertheless, the extant planning permission was granted under the previous Unitary Development Plan and therefore this proposal requires assessment under current adopted policy. Assessed against the criteria within LDP policy H5, this amended scheme is compliant for the following reasons:

**Criteria a)** *the existing dwelling is not a farmhouse, cottage or building that is important to the visual and character of the landscape.*

5.2 Not directly relevant as the existing bungalow is to be retained. The applicants bungalow (Twyn Cecil) was constructed in the 1970's. Attached to the bungalow are two small cottages (numbers 1 and 2 Twyn Cecil) also owned by the applicant. Numbers 1 and 2 were originally a single dwelling and the application proposal includes the internal amalgamation of these two cottages to revert them back to a single dwelling. No external alterations are required to achieve this. In doing this, there would be no net increase in the number of dwellings thus the LDP polices that seek to control additional new housing in the open countryside are not breached.



**Criteria b)** *acceptable form, scale and design that respects the setting*

5.3 The amended design is for a property of similar proportions to the previously approved scheme but the dwelling will now be all single storey. The scale of the

dwelling is commensurate with the plot size and comparable to other properties in the area. The full height glazed gable breaks up the form and roof lines and introduces additional architectural interest to the front elevation.



- 5.4 The site is also entirely enclosed by mature hedges and trees to the roadside and south whilst rising topography and further mature trees beyond screen the site to the east. Consequently, the proposed dwelling will have negligible wider landscape effects. Some silver birch trees within the site have to be removed to accommodate the development but this is also the case with the extant permission.

**Criteria c) – no unacceptable extension of the curtilage required**

- 5.5 Not applicable as the proposed new bungalow is to be sited within a lawned area forming part of the existing domestic curtilage. This proposal also seeks to move the dwelling around five metres further west in order to minimise the amount of excavation required to the rear of the property.

**Criteria d) – the new property shall be of a similar size to the existing property**

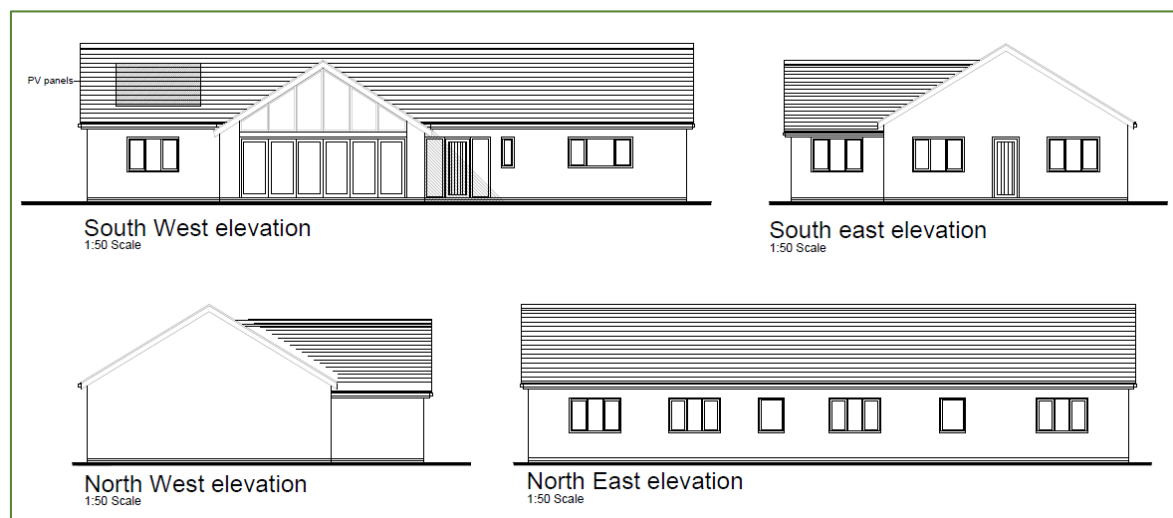
- 5.6 The SPG clarifies that this criteria should be determined by an assessment of comparable cubic volume and can factor in an extension that would ordinarily be permitted under the terms of LDP Policy H6. In this instance, LDP policy H6

would permit a 30-50% enlargement of the applicants existing property or the cottages. As they have not been extended since 2006, this full allowance can be taken into account. Applying this criteria, the proposed size of the new bungalow would represent around a 14% increase in the size (volume) of the existing bungalow or combined cottages if a 30% extension were factored in. Furthermore, as a result of this proposal being single storey accommodation, it is 10% smaller in volume, 30% smaller in floor area and 1.3M lower in height than the extant approval and is identical in footprint.



Above: Extant Planning permission

Below: Amended proposal



**Criteria d)** – *adequate ancillary space is provided that is modest in size and sensitively located*

- 5.7 A three bay timber frame detached garage is proposed. This is sited close to and addressing the new bungalow and will be clad with horizontal timber boarding under a pitched slate roof in order to contrast with but complement the bungalow and setting. One of the bays will be enclosed providing the required secure storage for bicycles, garden equipment etc. Moreover, this is identical in scale, design and siting to the extant planning permission.
- 5.8 In summary, this proposal is materially smaller than the approved extant scheme and the layout, size, design and appearance of the dwelling and outbuilding have been carefully considered to respect the landscape setting of the site and is compliant with the requirements of LDP policy H5 and the accompanying SPG along with LDP policy DES1.

## 6.0 Other Technical Considerations

### Access and Parking

- 6.1 The site is served by an existing access which is positioned on the outside of the bend and consequently has appropriate visibility in both directions commensurate with the character of the highway and average traffic speeds. Through the amalgamation of the existing cottages, no additional dwellings are proposed and so the proposal will have no impact on the capacity of the highway.
- 6.2 The proposal includes appropriate parking and manoeuvring space commensurate with the needs of the development and a turning area exists to allow a vehicle to enter and leave the site in a forward gear. A garage is also proposed for the storage of bicycles etc.
- 6.3 The development is therefore compliant with the requirements of LDP Policies MV.1 and DES.1.

### Sustainable Design

- 6.4 The layout of the site has been designed to both work with the site levels but also to maximise the benefits of passive solar gain with main habitable accommodation being located at the south western elevation. This will allow the installation of solar PV on the south west roof elevation and the development will also accommodate an electric vehicle charging point.
- 6.5 The relatively simple building form will also make it easier to achieve a '*fabric first*' approach to the energy efficiency of the dwelling by creating a super insulated air tight house that minimise heat loss.
- 6.6 The proposal demonstrates that the sustainable design expectation of LDP policy DES1 and SD2 as well as TAN 12 are met.

### Biodiversity

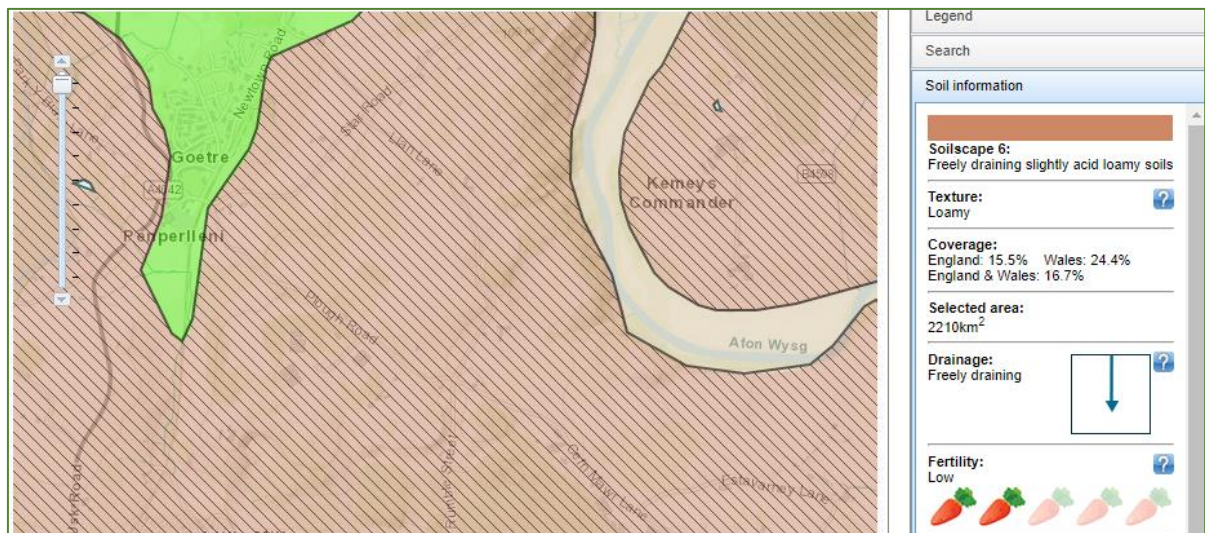
- 6.7 The application site comprises solely of closely mown amenity lawn of low biodiversity value. The peripheral trees and vegetation are also all to be

retained. Consequently, the development does not give rise to any adverse ecological implications.

- 6.8 The development also provides the opportunity to enhance the ecological value of the site through the provision of bat and bird boxes on the proposed elevations and within local mature trees. There is no conflict with LDP policy NE1.

## Flood Risk and Drainage

- 6.9 NRW flood maps confirm the site is not at risk at fluvial or pluvial flooding.
- 6.10 Surface water drainage is to be managed sustainably through the use of soakaways. A desk based examination of soil types and geology in the area indicates that the site can support soakaways with the Cranfield soilscape indicating the area is 'freely draining'. Foul soakaway tests carried out on the site confirm that infiltration drainage is viable solution. Surface water soakaway tests will be carried out prior to commencement to inform the surface water drainage design and associated SAB process.



Source: National Soil Resources Institute - UK soilscape

- 6.11 A new package treatment plant is to be installed to manage foul drainage from the property with discharges from this managed via field drain soakaway. Modern such systems are now both odorless and also have sustainable drainage

discharges with a cleaning efficiency factor of up to 99%. Soakaway tests have been carried out which confirm a field drain soakaway will function acceptably in accordance with Part H of Building Regulations. The site also doesn't provide any hydrological pathway to the River USK Special Area of Conservation and so the proposal will have no adverse impact on the conservation interest of the SAC.

6.12 The flood risk and drainage requirements of LDP policies SD4 and EP5 are therefore met.

## 7. Summary

- 7.1 The site benefits from extant planning permission for a dormer bungalow that could be implemented at any time. Moreover, the extant planning is for a dwelling that is materially larger in cubic volume, height and floor area than the bungalow now proposed within this application. The proposal meets the size and other limitations set out in LDP policy H5 and the accompanying SPG.
- 7.2 The proposed dwelling design and appearance is compatible with the site and landscape context and meets the expectations of LDP Policy DES.1 and the site will be served by safe access with appropriate parking and manoeuvring space in accordance with LDP policy MV.1 . The site has limited ecological interest with opportunities to achieve a net gain in the biodiversity value of the site whilst the dwelling will be served by appropriate drainage arrangements. Finally, the proposal to amalgamate the existing cottages to create a single dwelling will ensure there is no net increase in dwellings on site.
- 7.3 This report demonstrates that the development accords with the gateway LDP residential policies and meets the other topic specific policy criteria concerning design, access, parking, flood risk, drainage and biodiversity.
- 7.4 Consequently, the development is compliant with the adopted development plan and national policy and there are no technical reasons why permission should be withheld. Furthermore, the extant planning permission is also a material planning consideration that weighs heavily in favour of the approval of this application.