

Design and Access, Landscape and Heritage Statement

Proposed Conversion to 4no. Residential Dwellings with Associated Landscaping at The Puesdown Inn, Compton Abdale

May 2021



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Portus +
Whitton
landscape architects

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1.0 Introduction

The Site

The Puesdown Inn is located on the A40 Burford to Cheltenham Road, between Compton Abdale and Hazelton. It is a historic coaching inn with site history dating back to the 13th century. The existing building on the site has elements dating back to 1832, with a sprawling collection of modern extensions to the rear that have been added over time. The site is remotely located on the roadside, surrounded to three sides with open farmland.

The site is not within a Conservation Area or a designated flood zone, however it is within the Cotswolds Area of Outstanding Natural Beauty.

Within the site boundary there is a very large tarmacked parking area with two accesses to the main road. The building is set back a long way from the main road and a drop-off area sits between the building's front elevation and the main road. To the rear there is a dining terrace, a large lawned garden and service yards. Gardens extend further to the south.

Several mature trees sit to the North and South of the building, providing some screening from the road and allowing the building to sit more comfortably within the elevated farmland setting.



Aerial view of the site



Aerial view of the site

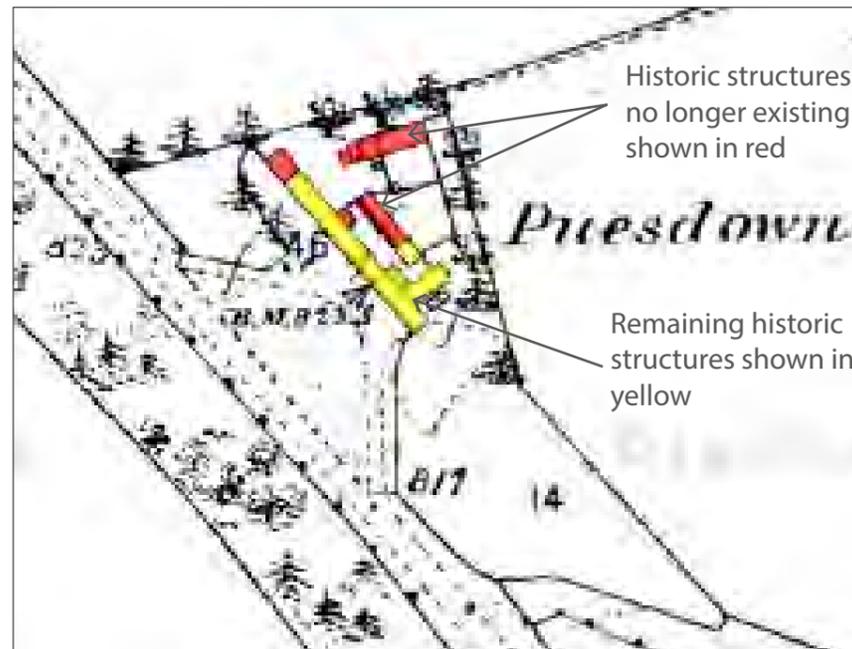
Site History

The former inn and its setting have experienced considerable reconfigurations, with each generation extending, demolishing and re-ordering to adapt with the changing times and requirements.

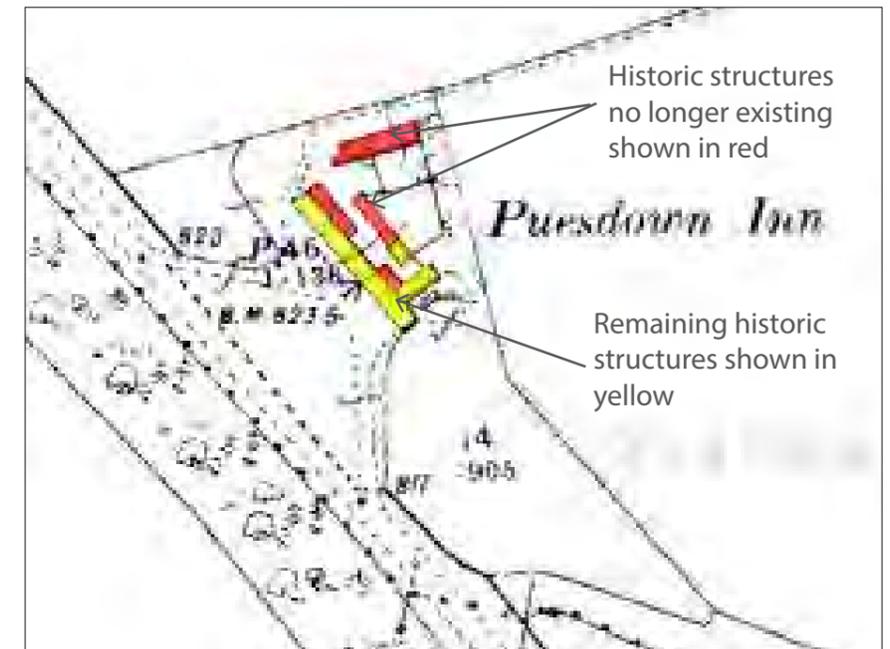
The historic OS maps to the right, dating from 1880 to 1970, show how the property has developed. The oldest 1880 map provides evidence of a much larger main building, with a strong linear form running parallel to the road. In comparison to the building now, there is an extension to the north of the existing main building. There are also a number of outbuildings to rear of the property and to the north east corner of the plot.

These outbuildings in the north east corner, presumed to be stables, remain evident through 1900 and 1920. However, the main building has reduced in size to a length similar to what we are familiar with today. An extension to the rear of the northern portion of the building runs parallel to the main structure.

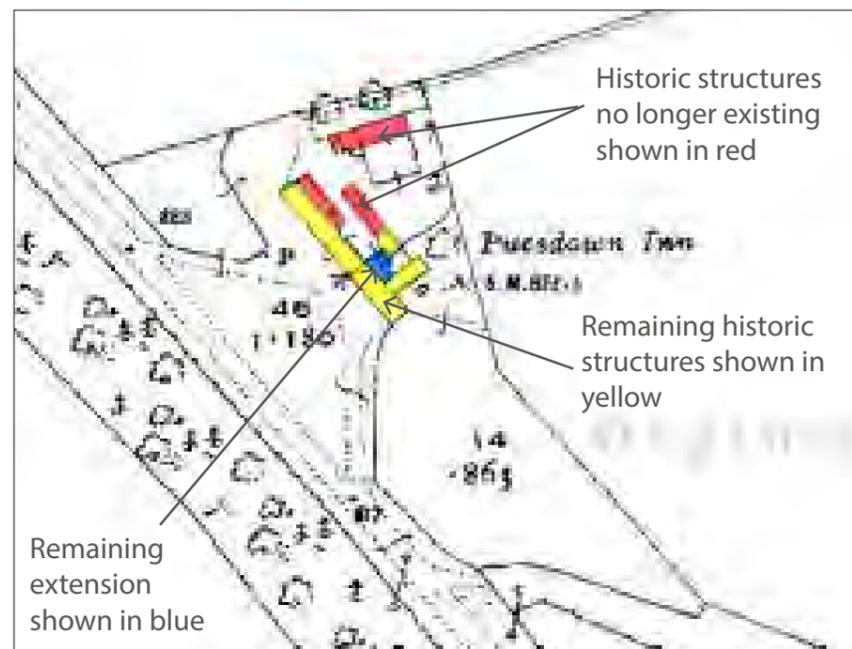
The 1970's map shows the most change, with the bulk of the outbuildings to the north east corner removed. Additional accommodation is shown closer to the main building, presumably modern extensions in a similar location to where the mass of modern extensions is currently evident at the property.



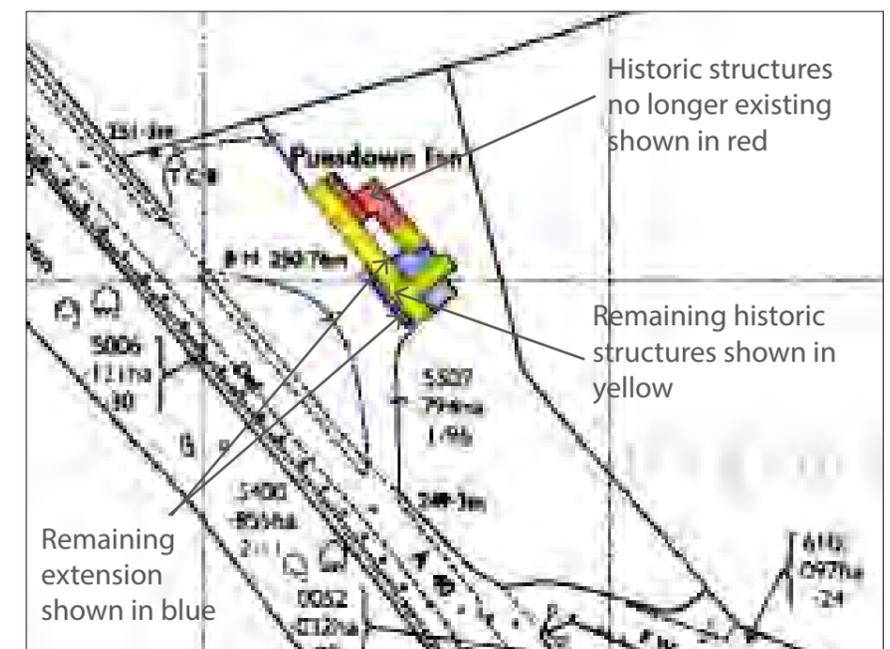
1880 OS Map



1900 OS Map



1920 OS Map



1970 OS Map

The Building

The main body of the Inn is Grade II Listed (List Entry: 1341106), constructed of limestone to the walls with stone slate to the primary southern roof structure, with blue slate to the northern wing. The southern and older section of the building is fenestrated with traditional sash casements. The later northern section has complementary flush timber casements with single horizontal glazing bars. To the front elevation a modern porch canopy extends over two of the southern entrance doors, with natural stone to the walls and recon stone slate to the roof.

Two historic single storey outbuilding structures are evident to the rear of the property, constructed of natural stone to the walls and blue slate to the roof. These outbuildings would have likely been ancillary accommodation to the inn e.g. cartshed, stables, store, but have now been consumed by modern extensions to the former Inn, and adjoin the main body of the building with linking structures to make up part of the ground floor plan. There is evidence on old maps of further outbuildings to the rear having been demolished.

Since the 1950s the building has experienced a number of internal changes and extensions. The extensions of various ages and forms to the rear of the building extend out towards the north east boundary. The extensions have been sporadic in their development and have created a busy, complex mass which engulfs the back of the historic building resulting in a very deep ground floor plan. The modern rear extensions are constructed of a mixture of natural stone and reconstituted stone, with a mix of single and dual pitched slate and concrete tile roofs, and an area of flat roof over the most recent extension housing the existing kitchen area. The removal of the current poor quality extensions with their unpleasant appearance and fragmented forms, presents a significant opportunity for enhancement.

Most recently the building has been in use as a country pub offering food, suited rooms and some modest retail. The bar and dining areas are located in the ground floor spaces to the southern end of the building, with kitchen facilities in the rear. To the north of the ground floor plan there are two en-suite rooms, accessed directly from the existing car park. The entire first floor is comprised of rooms with en-suites, divided with largely modern partition walls.

The existing building has been un-used for over 3 years and its condition is deteriorating rapidly. In 2018 the inn gained consent for internal alteration and a replacement rear dining extension, however this was never implemented and the building has sadly has been vacant for over 3 years. Separate accompanying Marketing/Planning reports discuss the lack of viability for re-opening a pub in this location.

In 2002 Planning approval was granted for change of use application to 2 no. dwellings (ref: 02/00427/FUL & 02/00426/LBC) but this was never implemented.



Historic image of The Puesdown Inn



Modern photo of The Puesdown Inn (2018)



Modern photo of The Puesdown Inn (2021)



The Puesdown Inn modern rear extensions

Historic structures engulfed
in modern extensions



Modern photos of The Piesdown Inn (January 2021)

2.0 Design Proposals

This application seeks to gain permission for the conversion of the existing building into four residential dwellings. The conversion is achieved through the proposed demolition of existing substandard extensions, proposed replacement extensions and a sensitive internal reordering of the main building.

The proposed scheme will provide a variety of different sized homes, with a mix of scale and character. The mix of dwellings includes a 2-bed property, two 2-bed properties and a 3-bed. Small, annexed studio accommodation is also proposed to the two end units.

The proposed works required to divide the building into four dwellings can be broadly grouped into six areas:

1. Minor works to the fenestration of the principal SW elevation, facing the road.
2. Proposed side extension to replace existing external stairs and timber platform
3. Removal of existing modern rear extensions and outbuildings, to be replaced with new extensions
4. 3no. outbuilding structures
5. Internal re-ordering of modern partitions, including the internal sub-division of the building into four units
6. General repair and renovation of the building as a whole; including and not limited to the restoration of existing windows, walls, roof and internal fabric



Proposed South West Elevation

1. Minor works to the fenestration of the principal road facing South West Elevation

Works to the principal elevation are limited due to the building's listed status, historical value and presence on the adjacent road. What is proposed is largely re-addressing modern amendments and additions which have compromised the appearance of the building.

The existing modern pub/restaurant signage is proposed to be removed.

Proposed front entrance doors to each unit would use existing door openings, allowing the internal division of the building into four units to be subtle and not impact the visual appearance of the principal road elevation. One modern boarded door is to be replaced with a traditional casement window, reducing the number of doors on the front elevation and creating an order to the division of the building.

Two modern and untraditional toilet windows in the centre of the building are proposed to be replaced with a single traditional casement to match existing. One new window opening at first floor is also proposed to match existing. The adjacent window will also be replaced with a traditional casement.

The two existing glazed screens are proposed to be replaced with new part glazed timber screens, reducing the amount of glass and improving privacy internally.



Photographs of modern signage and windows to be removed

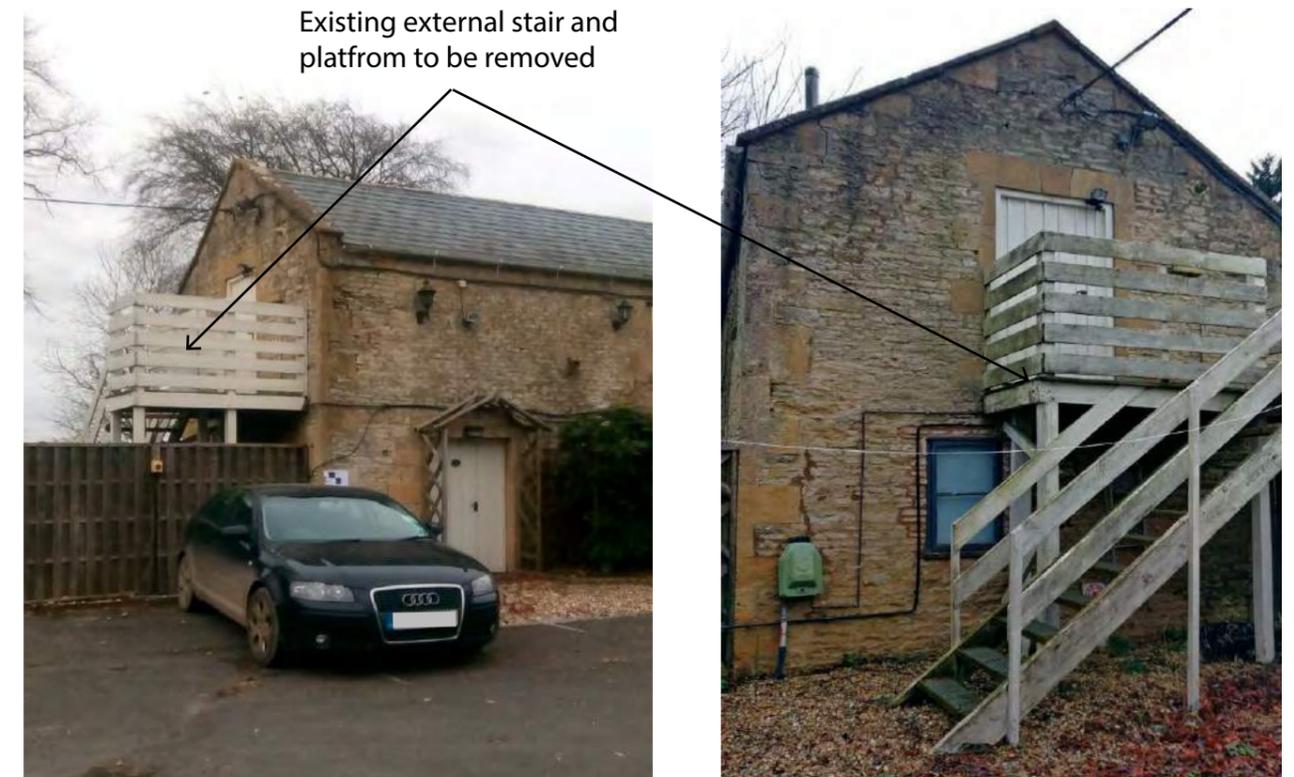
2. Proposed side extension to replace existing external stairs and timber platform

The existing left side of the principal elevation is flanked by a modern external stair and timber platform providing access to an upstairs bedroom suite. The composition of elements is bulky and unsightly, and the external stair is surplus to requirement within the new scheme where new internal staircases are provided to serve units 1 and 2. It is therefore proposed to remove the external stair and platform.

In its place, a small, single-storey, lightweight lean-to clad in timber weather boarding with blue slate to the roof is proposed. The new element provides back of house utility and WC facilities for unit 1.

The proposed extension is located in a position which historic maps suggest previously accommodated built form and is a visual enhancement when compared to the existing stair and platform arrangement.

The new lean-to roof obscures part of the existing doorway at first floor on the gable end. This reduced opening is proposed to house a new traditional timber flush casement window to match the existing windows in this portion of the building.



Photographs of existing external stair and platform to be removed

3. Removal of existing modern rear extensions and outbuildings, to be replaced with new and improved rear extensions

The current arrangement of extensions at the rear of the property has organically grown over time and has culminated in a mixed selection of forms, styles, age and materials. Although concealed to the rear of the property, the arrangement is unsightly and the enhancement of this area is a key part of this proposal.

The existing rear elevation of the listed building is largely concealed with modern extensions and overgrown trees. Concealed amongst the modern additions are two historic elements, previously independent outbuildings, that have since been engulfed by the main building. The property benefits from a previously approved, but not built, consent for a new extension to the rear ref: 18/02438/FUL & 18/02439/LBC.

It is proposed to demolish the existing substandard modern elements, exposing the historic outbuildings and rear of the main building.

The proposed replacement extensions have been designed to sit more comfortably and sympathetically against the historic elements. The arrangement has been developed to follow the form of the historic extensions evident on historic maps, and has been kept compact so not to sprawl away from the main building. This allows the historic outbuilding structures to become more exposed, sitting proud of the other extensions, reinstating their previous character and relationship with the main building, improving the appearance of the rear of the property.

The diagram below shows the extent to which the demolition and replacement extensions offer an opportunity of enhancement, improving the form, massing and setting of the rear of the building.

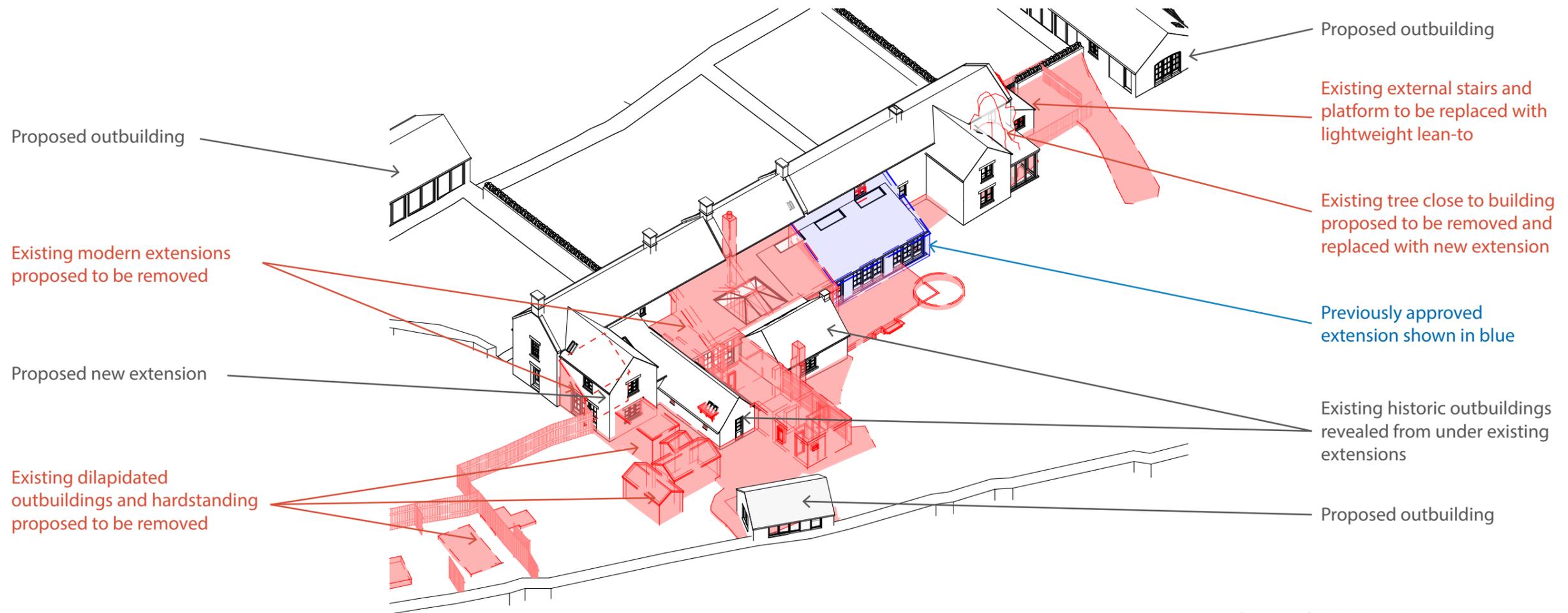


Diagram of the rear of the building, showing proposed demolition and new

4. 3no. outbuilding structures

Historic maps provide evidence to show that a number of outbuildings have been present on the site over time. The linear form of the proposed outbuildings reflects that of the historic inn and their choice of cladding materials and scale ensures they are subservient to the main building.

The proposed positioning and finished floor levels of the new parking outbuilding in front of the building have been developed to maintain framed views of the former Inn from the road, ensuring that the new elements do not obscure the building from view. Their orientation has also been used to assist in composing enclosed parking courtyards at either end of the building.

The two courtyards will each be shared by two dwellings, and accessed separately from the road by the two existing accesses to the site. The proposed courtyard layout preserves the openness of the former coaching inn's traditional yard enclosure between the building and road.

The scale of the outbuildings when viewed from the road will not compete with the existing building on site as they will be largely obscured by landscaping. Proposed earth mounds and planting are proposed to nestle the outbuildings into the site and reduce their perceived size. This will also assist with the privacy to the new dwellings.

The proposed outbuildings will provide parking and secure storage which will reduce the visual impact of typical residential paraphernalia - this is considered to be beneficial to the setting of the listed building.

The northern parking outbuilding extends across the gable end of the main building, providing additional residential accommodation for unit 1. The design of this element has been inspired by traditional stabling with a mix of stone and timber boarding, typical of an outbuilding structure in this setting. The studio/home office accommodation benefits from a domestic scale window and door arrangement on the south elevation, providing connection to the main house, with a large opening on the east gable, similar to those on the front of the main building, providing a direct connection to the unit's private garden.

The proposed outbuilding to the rear, housing the studio/home office of unit 4 is modest in form and constructed of natural materials sympathetic to the rural surroundings. The building is positioned on the boundary wall to anchor it into the site and take advantage of far-reaching views across the fields. Its position is very near to the cluster of existing ancillary structures to be removed and does not obscure any views of the historic building from public vantage points. It would have minimal overall impact on the site setting.



*Google Street View Photo showing existing approach from the North
Image dated May 2017, showing the inn in much better condition than it's current state.*



CGI showing proposed, largely unchanged, approach from the North

5. Internal re-ordering of modern partitions, including the internal sub-division of the building into four units

The internal works predominantly comprise the removal and replacement of modern partitions to assist in the new layout of the four dwellings.

The division of the building into the four separate units has been informed by the existing historic structure and layout, using old gable ends and chimney breasts as new party walls.

A small number of new openings are required for the proposed layout to work efficiently. The openings have been balanced with the infilling of existing large openings, reinstating elements of masonry which have previously been removed to open up the ground floor to an open-plan arrangement.

6. The general repair and renovation of the building as a whole; including and not limited to the restoration of existing windows, walls, roof and internal fabric

All external and internal salvageable materials will be retained where practicable for reuse within the property.

Whilst some existing roof slopes are in good condition, others require repair to ensure the building is watertight. All areas of roof to be retained will be made good with materials to match existing. Where practicable materials will be reclaimed from demolished elements of the existing building, and sourced locally to match where needed.

Existing external walls appear to be in good condition and will be repointed with lime mortar in a colour to match existing if required.

Existing windows, both sash and traditional flush timber casements will be repaired and restored where possible. All necessary replacement windows to match existing.

Access

The existing site benefits from two road accesses onto the A40. It is proposed to retain both accesses, with units 1 and 2 sharing use of the northern access, and units 3 and 4 sharing the southern access. The existing access points are overly wide and appropriate for large amounts of traffic arriving and entering the premises simultaneously and safely. Both access points have good visibility in both directions along the A40.

As part of the overall improvements to the site both existing accesses are proposed to be narrowed and re-landscaped, appropriate for the reduced numbers of private residential traffic.

Proposed replacement stone walls to the roadside perimeter of the property will be appropriately set back from the road so not to hinder visibility when entering or exiting the A40.

Materials

The proposed conversion seeks to retain the historic and traditional building materials, remove the substandard modern interventions, and where new elements are introduced the materials will match or complement the existing. Where modern elements are to remain, these will be concealed or reclad to improve their visual appearance.

The site is within the Cotswold AONB, and the existing palette of materials on site strongly reflects this context. Natural stone is the prevailing material, with ashlar chimney stacks and stone lintels. Roofing materials vary across different elements of the building, reflective of the site hierarchy; with stone slate, blue slate and modern concrete and flat roofing to the rear.

The two rear extensions are proposed to be of natural stone to the walls, with roof coverings to match the rear slope to which they adjoin; blue slate to the northern element and recon stone slate to the southern part.

All but one of the single storey extensions are proposed to be clad in timber weatherboarding. The proposed boarding would be left to silver naturally to complement the natural stone and would be a clear modern addition that preserves the historic development of the property. A mix of blue slate lean-to's and single ply membrane in a dark colour are proposed to the roofs of the new extensions.

To the northernmost dwelling, unit 1, a single storey, glazed extension is proposed, nestled into the corner of the building and providing a contemporary space that gives the dwelling a good connection with its garden. The lightweight structure and large areas of glass will provide a transparency that minimises the visual impact of the new extension.

The parking structure outbuildings are proposed of traditional materials. A mix of stone and timber weatherboarding to the walls is used to break up the massing of the building and to help assimilate the building into its surrounding and the neighbouring boundary wall structures. Natural blue slate to the roof would match the existing historic outbuildings on site.

Built off the repaired rear boundary wall, unit 4's proposed studio outbuilding would be of a lightweight timber construction, to appear as a typical rural form tied into the landscape. Timber weatherboard cladding is proposed to the walls with a cedar shingle roof. When left to weather naturally the building will silver and blend into the landscape.



Proposed material palette

3.0 Landscape - provided by Portus + Whitton Landscape Architects

Context and Setting

The Application Site is located in the Cotswolds Area of Outstanding Natural Beauty in open countryside outside any settlement. The CAONB Landscape Character Assessment places the Site within the High Wold Plateau Landscape Character Area, LCA 7C, described as follows:

Here, the influence of the underlying geology is particularly strongly expressed, from the dramatic, gently undulating, and expansive upland plateau landform, dissected by dry valleys, and light stony soil, through to the harmonious relationship between the network of limestone walls and buildings with their surroundings. The sense of scale and openness is particularly apparent, as well as the effects of an intensive managed agricultural landscape. Few of the woodlands on the Cotswolds High Wold are ancient indicating a long history of clearance and farming. Settlement of the Cotswolds High Wold Plateau is sparse. Enclosure age farmsteads are located throughout the landscape, often some distance from villages and hamlets.

In respect of development sensitivities, The AONB Landscape Strategy and Guidelines, 2016, states that despite its predominantly agricultural character, the wide, elevated, gently undulating plateau landscape retains a strong sense of remoteness and tranquillity contributing to its high sensitivity. Wide panoramic views, a high degree of inter-visibility, and limited woodland cover also add to the sensitivity of the High Wold landscape to development, particularly tall vertical elements, such as telecommunication masts and wind turbines and to woodland creation and shelterbelt planting.

Whilst the wider landscape setting is certainly open and exposed, the site itself is well contained by mature vegetation, including groups of large specimen trees within the garden, a tree belt along the western side of the A40, and woodland to the south. The site is therefore well screened from the wider High Wold landscape.

Nevertheless, the existing building is visible to passing traffic from the A40 frontage, and from two public rights of way; Footpath KHN11 that runs along the north boundary and Byway KHN9 to the south. The site can therefore be seen at close range from several directions, and particularly from the A40 frontage.

The existing building is of traditional character and sits comfortably in its setting. The large tarmac car park together with signage, floodlighting and the generally poor condition of the frontage landscape, stone walls, fences, etc do, however, detract from this. The Site cannot be said to be tranquil due to the presence of the A40. Indeed, the level of noise and disturbance is one of the key issues affecting its character – the other key factors being the Site's history and its relative isolation in the High Wold.



Photograph A; A40 frontage - approaching from the north



Photograph B; A40 frontage - approaching from the south



Photograph C; From footpath KHN11 to the east



Photograph D; From Byway KHN9 to the south from the south

Trees

The site contains a good framework of mature trees, including two limes and a beech that may be contemporaneous with the listed building, plus several sycamores and a prominent spruce at the front. Trees are identified on the accompanying plans and have been surveyed by Greenwood Surveys to BS5837. Planning Permission ref. 18/02438/FUL allows for the removal of a sycamore, T14, and three ornamental conifers, T15, T16 and T19.

There are no hedgerows, copses or other vegetation features of conservation value. This Application is also accompanied by a Tree Protection Plan, an Arboricultural Impact Assessment and an Arboricultural Method Statement.

Footpaths

Footpath KHN11 approaches from the east and running up to the north-east corner of the Site, but it is noted that the Definitive Map does not show it continuing through the site itself. See Figure 1. In practical terms however walkers are able to join the A40 at the north-west corner.

Byway KHN9 is entirely outside the site boundary. It is gated at its junction with the A40 preventing vehicle access but still allowing walkers and riders.



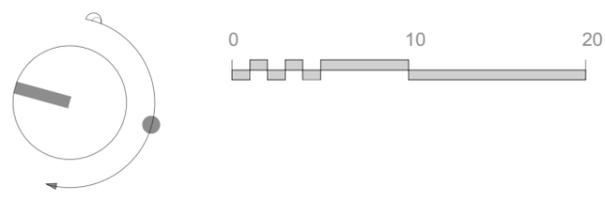
Figure 1, Extract from Gloucestershire Definitive Footpath Map

Landscape Proposals:

The design objectives have been to:

- Retain key features of conservation and landscape value, particularly trees and stone walls.
- Retain the two historic accesses and avoid traffic crossing in front of the proposed dwellings.
- Create a liveable environment for residents, protected as much as possible from road noise and providing shelter, privacy and south-facing garden spaces.
- Retain an open area in front of the listed building that respects the historic coaching house yard, inserting only minimal, and reversible, structures into this space as required for residential amenity.
- Accommodate two new garage blocks so that they reinforce the concept of a coaching inn yard and yet remain subservient to the listed building and avoid harm to retained trees.
- Enhance the site's landscape for the future in respect of the High Wold character, biodiversity and climate change resilience.
- Maintain the connectivity and amenity values of the two public rights of way.

The landscape proposals are shown on Figure 2 and Figure 3.



- Existing structures to be demolished
- existing tree and Root Protection Area (refer to Greenwood Surveys AIA and AMS)
- existing tree removed (refer to Greenwood Surveys AIA and AMS)
- proposed trees
- proposed native-species woodland planting
- proposed mixed native and evergreen shrub planting
- proposed native-species hedge
- proposed amenity beds and borders
- proposed mown grass
- proposed meadow grass
- existing drystone wall to be repaired
- proposed drystone wall
- proposed 1.8 m ht close-board fence with matching gate
- proposed 1.3 m ht timber palisade fence and gate
- proposed gravel
- proposed stone flags
- proposed tarmac bellmouth with granite sett edging
- proposed cellular plastic grass reinforcement system
- proposed level

Revisions:

Rev -	14.04.2021	WIP draft first issued
Rev A	28.04.2021	revised for planning issue
Rev B	18.05.2021	revised for planning issue

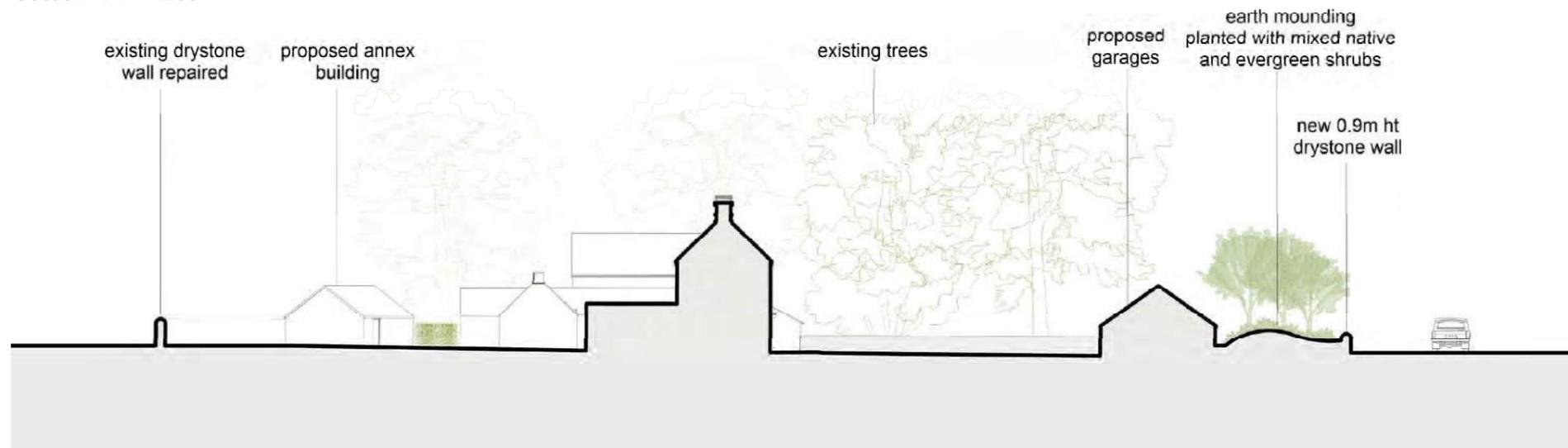
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client					
Sailspace Partnership Limited					
project					
Puesdown Inn - Proposed Conversion					
drawing					
Site Layout & Landscape Proposals					
scale	scale of site	date	project no.	prefix	drawing no.
1:200	A1	April '21	1701	L	2
purpose of issue					
PLANNING					

Figure 2, Landscape General Arrangement



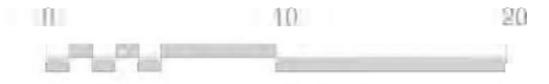
Section AA - 1:200



Section BB - 1:200



Key Plan - 1:1,000



Revisions:
 Rev - 30.04.2021 WIP draft first issued
 Rev A 18.05.2021 Final revs for planning

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client Sailspace Partnership Limited						
project Puesdown Inn - Proposed Conversion						
drawing Site Sections						
scale 1:200	scale at size A2	date April '21	project no. 1701	pref. L	drw no. 3	rev A
purpose of issue PLANNING						

Figure 3 Landscape Site Sections

Proposed Boundary Treatments:

Historically, the site appears to have been enclosed by drystone field walls. These are all now in poor condition and so it is proposed to repair and reinstate them to their original heights in keeping with AONB Board guidance. Where walls are not present or have disappeared at the southern end of the site they would be replaced by native-species field hedges.

New drystone walls are proposed to the A40 boundary and entrance points. The intention is that these would form part of the proposed noise attenuation banks along this frontage. These banks would typically be 1.8 m high, with the lower 0.9 m being retained by the boundary walls in order to reduce their visual impact. The slopes facing the A40 would be planted with trees and shrubs. The central section would be planted with a native and evergreen mix of shrubs including holly, yew, wild privet, guelder rose and dogwood to provide a dense but low screen, together with several specimen trees such as beech which are particularly characteristic of the High Wold. The boundaries at the northern and southern ends of the A40 frontage would be planted with a native-species woodland mix of trees and shrubs comprising beech, sycamore and lime plus an under-storey mix with a high proportion of evergreen shrubs. A proportion of pine trees would also be included to reflect the conifers indicated on the historic maps.

New 1.8 m high solid timber gates are proposed at the two access points, with the flanking walls rising to the same height. The gates would be set back some 12 metres from the road to reduce their visibility to passing traffic. The gates and the boundary walls would thus have less visual impact than the walls and gates installed at the former Happy Eater a few hundred metres to the north.

Internally, gardens are sub-divided by low timber palisade fences at the front, and by post and wire fences with native-species hedge at the rear. In terms of heritage impact both are considered to be easily reversible.

Hard Surfaces:

The existing tarmac car park would be taken up and removed. It would be replaced almost entirely by permeable surfaces – primarily gravel and grass. Impermeable hard surfaces are limited to walkways and garden patios and comprise natural stone flags and Staffordshire blue brick pavers.

Refuse Lorry Access:

To avoid the need for turning areas within the site a lorry standing area is provided on the A40 verge, accessible from the shared bin store and located so that parked lorries would not obscure exit views of the near-side southbound lane. The area would be surfaced with a plastic cellular grass-reinforcement system.

Tree Protection:

All high and medium-value trees would be retained and protected. Only one Cat C tree would be removed – T9, a small prunus which, if retained, could in time potentially cause damage to the listed building. Details are provided in the accompanying AIA.

The proposals involve intrusion into Root Protection Areas in two instances: T1 by a part of the proposed garage block and T12 by part of the second garage block. In both cases Greenwood recommend a no-dig construction using piled footings within the RPAs.

In all cases where hard surfaces are proposed within RPAs they replace existing tarmac surfaces.

Landscape and Visual Effects:

The proposals take care to respect the site's historic character by;

- protecting the space around the listed buildings,
- retaining the dual entrances,
- retaining all important trees,
- locating new buildings sympathetically and
- limiting other insertions to those of a reversible nature.

Any adverse effects resulting from the sub-division into gardens would be balanced by the proposed enhancements, including;

- the repair and restoration of drystone walls,
- removal of the car park and associated clutter of signage, floodlighting and fences and
- woodland and hedgerow planting for biodiversity and climate-change resilience.

Visual effects would be limited by the very confined zone of visibility.

The introduction of the two garage blocks would be the most obvious change. These though would be single-storey and resemble traditional outbuilding ranges, visible only from very short stretches of the A40 and FP KHN11. The listed building would continue to be the primary building in all views.

The proposed extensions to the rear of the listed building would be visible through trees from FP KHN11 as it approaches from the east but these would not be obvious and would not noticeably increase built form or alter rooflines.

The introduction of domestic gardens would not be apparent from either the A40 or from the PRoWs, or alter the character of views.

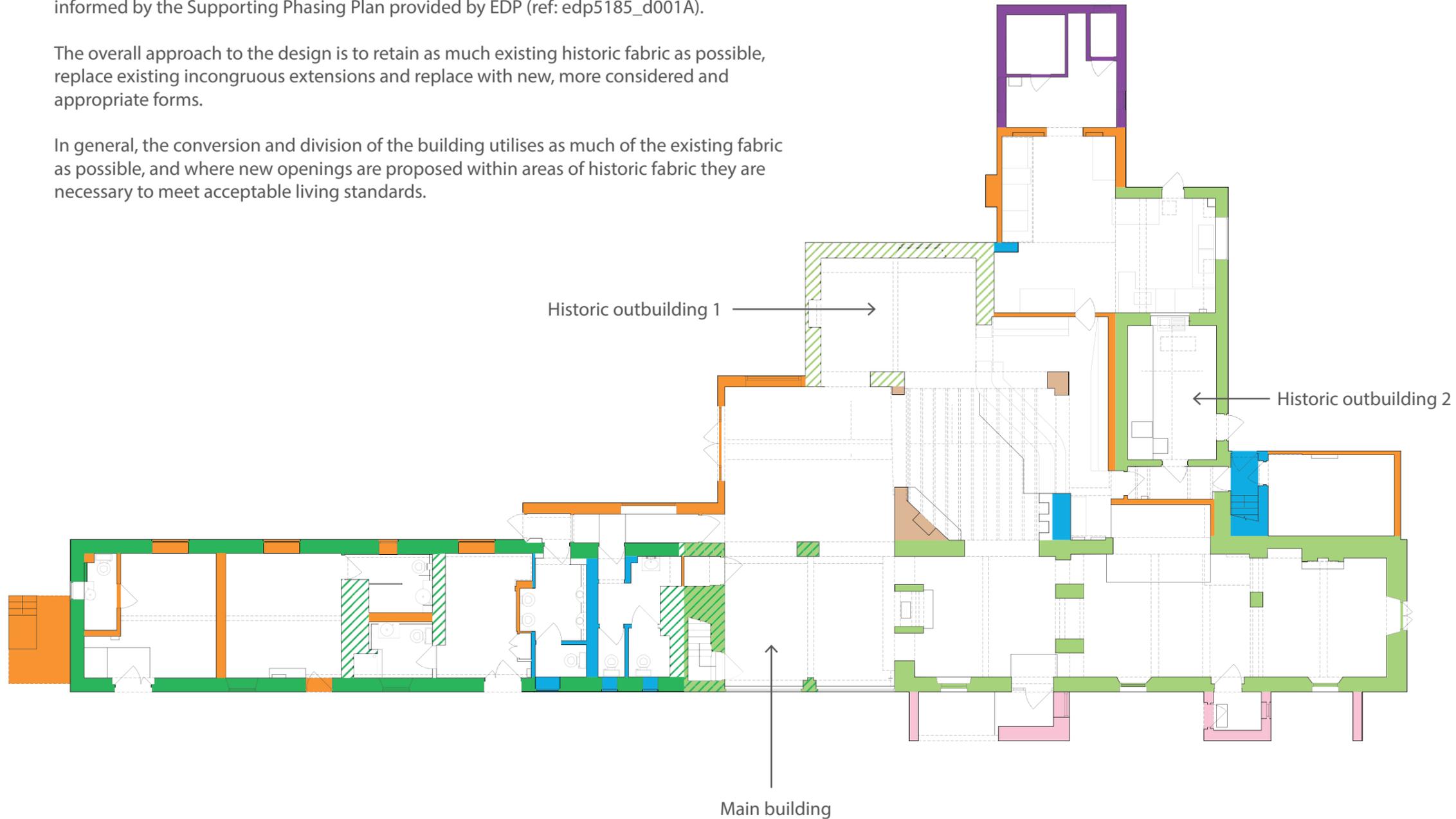
Whilst the proposed walls and banking would not in themselves appear to be intrusive or out of keeping they would reduce the visibility of (though not conceal) the former Puesdown Inn from the A40 and thus slightly diminish it as a landmark feature. Against this should be balanced the proposed safeguarding and viable re-use of a heritage asset, and the benefits resulting from the enhancements listed above.

4.0 Heritage

The proposed design and division of the building has evolved through an iterative process informed by the Supporting Phasing Plan provided by EDP (ref: edp5185_d001A).

The overall approach to the design is to retain as much existing historic fabric as possible, replace existing incongruous extensions and replace with new, more considered and appropriate forms.

In general, the conversion and division of the building utilises as much of the existing fabric as possible, and where new openings are proposed within areas of historic fabric they are necessary to meet acceptable living standards.

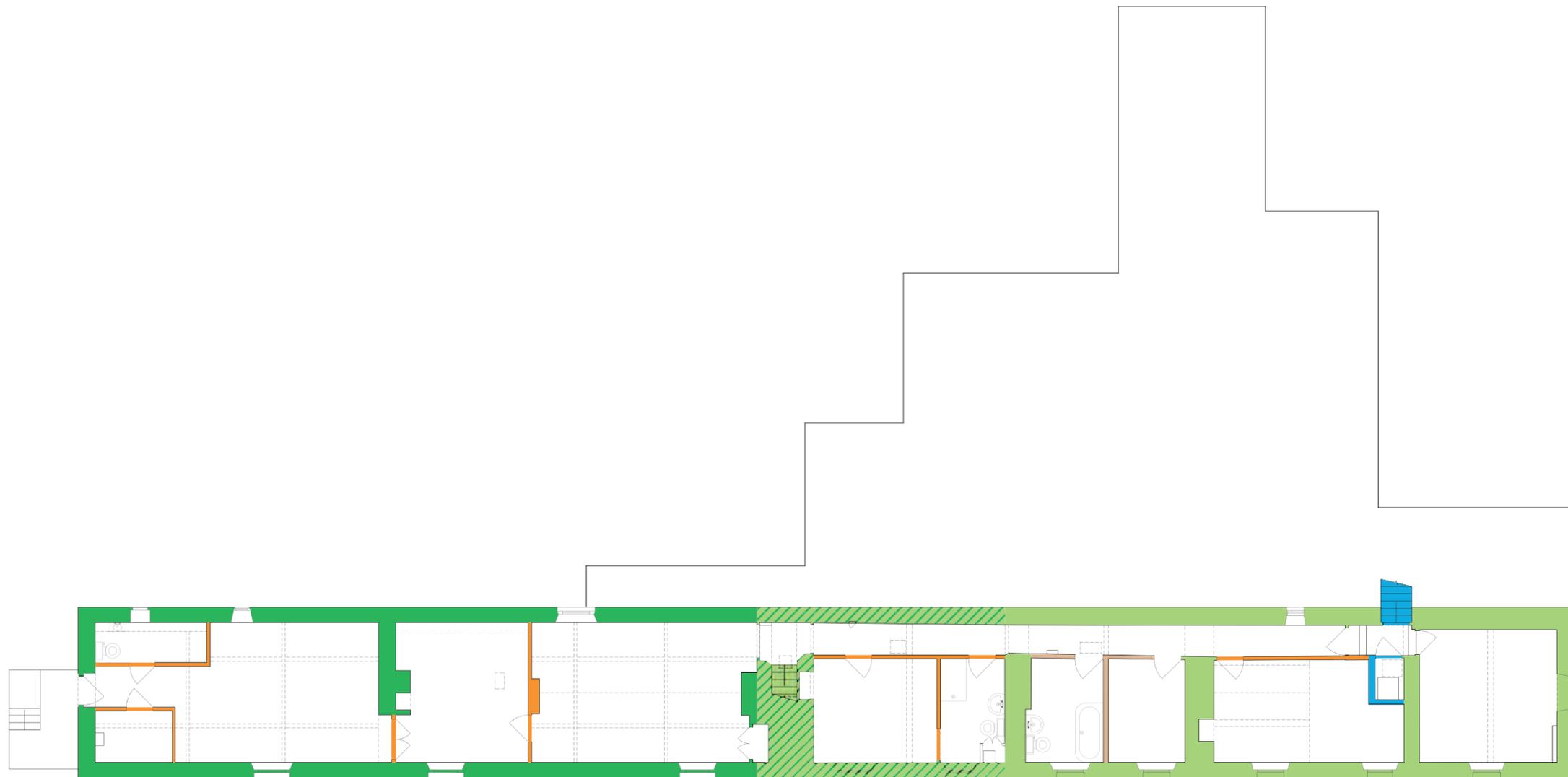


- Early/Mid 19th Century (Assured)
- Mid 19th Century (Assumed)
- Late 19th Century?
- 1950's
- 1960's
- 1970's/1980's
- 1990's

client			
Tyack Architects			
project title			
Piesdown Inn			
drawing title			
Plan EDP 1: Phase Plan of the Piesdown Inn (Ground Floor - Sheet 1 of 2)			
date	26 SEPTEMBER 2018	drawn by	LB
drawing number	edp5185_d001a	checked	EO
scale	Refer to scale bar	QA	JTF



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- Early/Mid 19th Century
- Early/Mid 19th Century?
- Mid 19th Century
- Late 19th/Early 20th Century?
- 1950's
- Late 20th Century

client
Tyack Architects

project title
Piesdown Inn

drawing title
**Plan EDP 1: Phase Plan of the Piesdown Inn
 (First Floor - Sheet 2 of 2)**

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The principal road elevation of the building is the most historically sensitive and is comprised of the linear main body of the inn which runs parallel with the road. The building is a characterful and important feature of this stretch of road. Care has therefore been taken to ensure minimal works are proposed to this area, and the small changes that are proposed assist in enhancing the current elevation arrangement.

A single proposed lean-to side extension is to replace an existing arrangement of stairs and timber platform to the northern end of the main building, visible on the principal elevation. The external stairs are modern and unattractive. Historic maps show evidence of the building previously extending further north in this direction. The proposed modest lean-to therefore in part reinstates previous built form in this location. It is a minimal addition to an otherwise preserved principal elevation, and provides a balancing end to the building when viewed with the existing modern porch canopy to the southern end of the principal elevation.

Internal reordering of modern partitions is proposed to improve layout and assist in the division of the building into four units. It is noted that care has been taken to preserve as much historic fabric as possible, and where new door openings are required they have been made by lowering the cill of existing windows where possible.

The proposed party walls dividing the four units relate neatly to the existing structural elements of the building.

The rear of the building, where significant unfortunate modern development has taken place, has been identified as a key area for potential enhancement.

The scale of the proposed replacement extensions to the rear have been designed to maintain the hierarchy of the site, with the principal main body of the inn retaining its status as the largest and dominant element.

The existing collection of extensions to the rear has visually engulfed two previously independent historic outbuildings into the ground floor plan of the inn. The removal of the modern structures which presently clutter the rear of the site and conceal parts of the old building, will allow the older elements to be more legible and enhance the historic character.

Historic outbuilding 1 runs parallel to the inn, set back from the rear elevation of the main inn. The structure would have previously been separated from the main building by a courtyard used for patron's horses, accessed through the arched openings on the front roadside elevation.

The small building is constructed of stone to the walls and blue slate to the roof, with a modest chimney on the north side. It is proposed to demolish the existing extension connecting the two historic structures, and to replace it with a glazed roofed extension that effectively recreates the yard feel between inn and stable/cartshed.

Historic outbuilding 2 is perpendicular to the main building range, constructed of stone to the walls and slate to the roof. This element has been considerably modified over time for use as a kitchen. The removal of the flat roof kitchen extension to its northern side will result in significant works to reinstate its north western elevation. The reinstatement of this elevation is considered a positive contribution to the appearance of the rear garden and setting of the listed building. To the south west elevation, the existing modern flat roof dormers are to be removed, and the low eaves line will be reinstated. Two sympathetic and modest low level windows are proposed to provide light into otherwise unlit spaces within this element. These are considered an improvement to its current arrangement of uncharacteristic and unattractive dormers.

The refined and scaled down nature of the replacement extensions to the rear reinstates a large portion of the historic building's eaves line, which is currently concealed. The existing collective mass of the group of extensions is overwhelming to the main body of the inn and is considered to have a negative impact on the setting of the listed building. These proposals seek to reduce and rationalise the rear of the building, improving the setting and the subservience of the rear elements by reducing the overall sprawl of the built form.

The use of materials of the new 2-storey extensions are traditional in form and complementary to the existing building, with a mix of natural Cotswold stone, weather boarding and a characteristic mix of roofing materials.

Historic maps provide evidence of outbuildings and extensions surrounding the inn over time. The proposed new extensions and outbuildings have been carefully considered in order to reflect the traditional development of a rural property that has evolved, accepting that it is now ultimately changing its use to 21st century residential accommodation.

The parking/storage outbuildings will provide framed views of the building from the road and offer effective screening from the roadside of overtly domestic paraphernalia that can be associated with dwellings.

The orientation of the outbuildings has been carefully designed in order to create parking courtyards that reflect a traditional yard in front of the inn. Their addition to the street scene is considered to cause a negligible impact to the setting of the building, which is largely offset by the benefits the structures provide to both the road and proposed dwellings.

Conclusion

The conversion of the existing Puesdown Inn pub into four residential units does require a small number of minor, and justified, alterations to the heritage asset. However, considerable improvement and enhancement will be made to the setting of the historic element through the removal of existing modern additions that obscure the rear of the property. Internal works to upgrade the interiors also offers improvement from the existing dilapidated condition of the property.

The proposals seek to retain, refresh and enhance the building, providing it with a new lease of life, and safeguarding the preservation of the heritage asset for years to come. Securing the building's future is an especially important consideration as the building has been unoccupied and neglected for a number of years since the former use as a pub became an unviable business option.

The proposals are aimed at preserving and enhancing what is significant about the character and setting of the listed building and the historically important presence of the building on the roadside. The proposal accords with relevant national and local policies on the conservation of the historic environment and will make a positive contribution to the local housing stock and economy.



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