

6.0 Burnished Proposals

6.3 Access

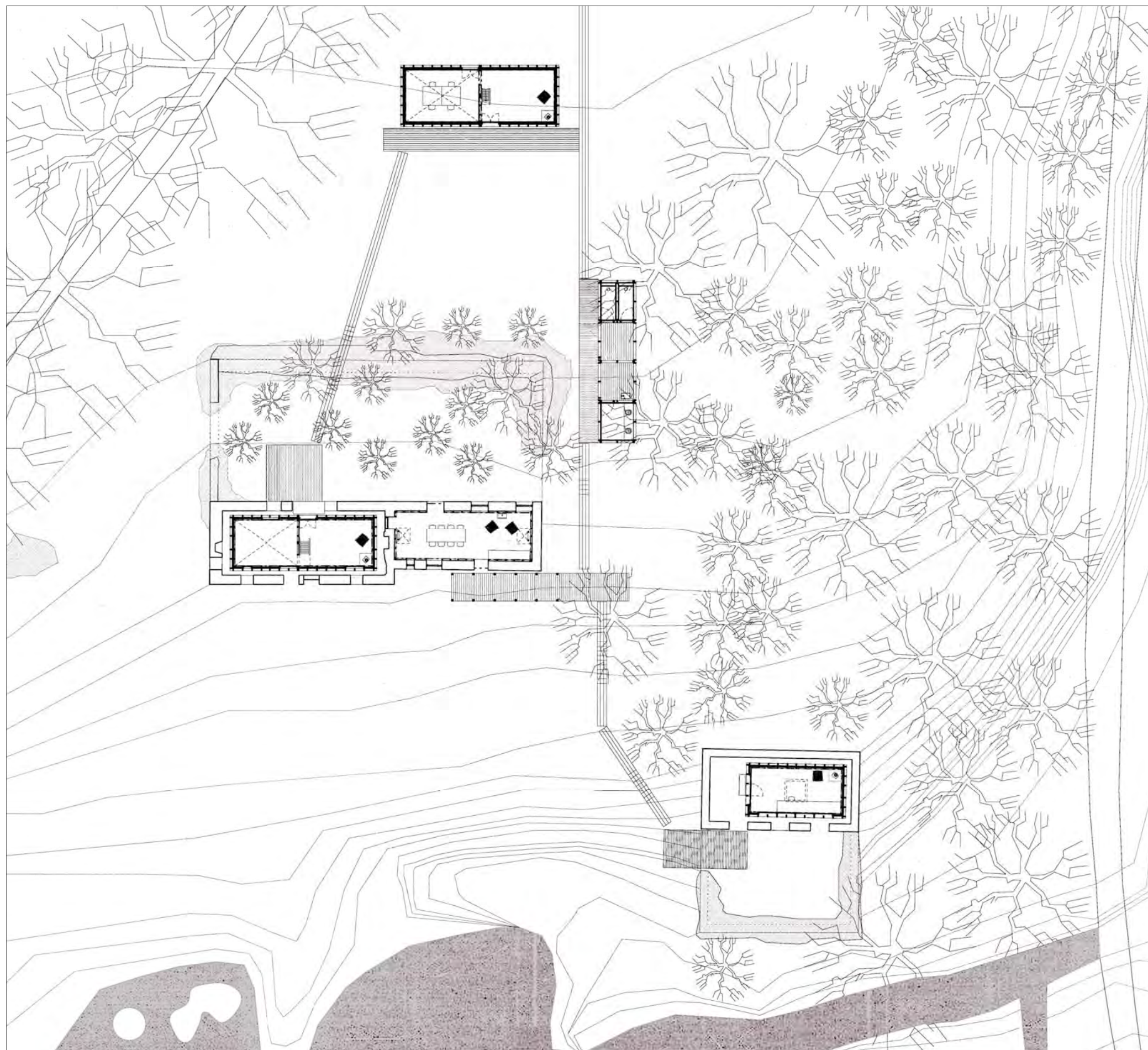
On the immediate site a series of external raised timber platforms are proposed for each building linked by timber bog bridges. Clear and defined routes between the buildings are critical to protect adjacent habitats and avoid unnecessary disturbance to the surrounding landscape, particularly around the pond and beaver habitat. The raised platforms and bridges will be temporary in nature, although pressure treated timber would last longer in this setting, due to the chemicals present in the treatment process a management strategy will be put in place to ensure the locally sourced wood walkways are regularly maintained with ongoing repairs and replacement. The walkways will also serve as infrastructure to distribute services between the buildings removing the need for unnecessary excavation and disturbance of the site.



Example of timber platform in landscape



Example of bog bridge in forest setting



Site Plan showing proposed platforms and bog bridges



6.0 Burnished Proposals

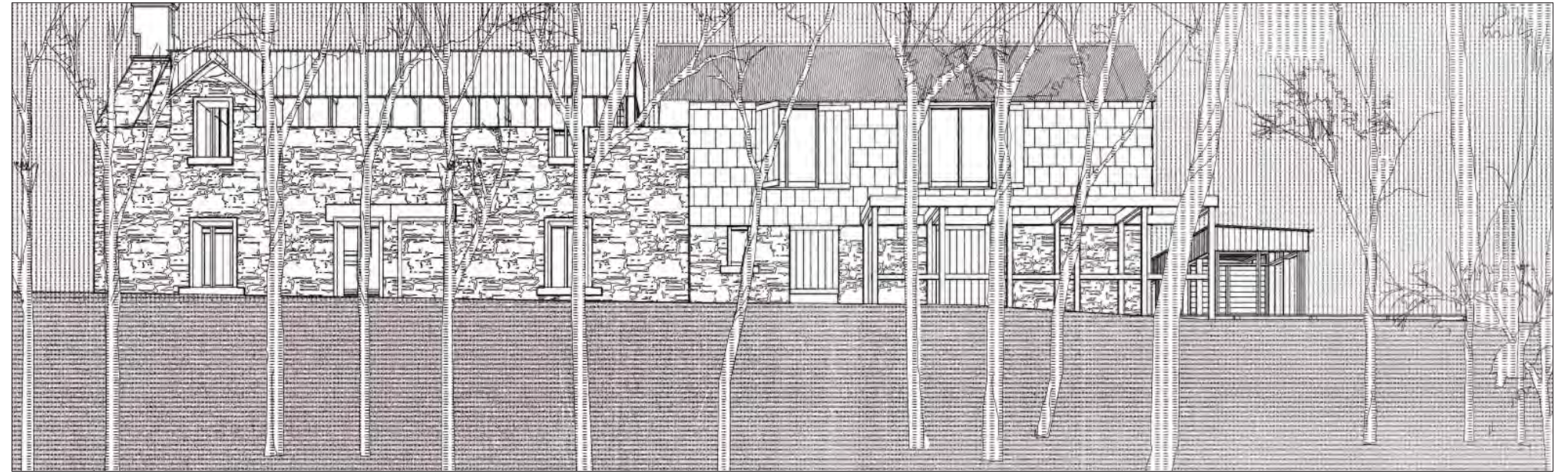
6.4 Burnished Ruin

The west side of the existing Burnished building is currently a ruin, with no roof and half of the north wall missing. The condition and stability of the existing stone walls makes it uneconomical to rebuild the masonry walls to match the original. Our proposal to build a standalone lightweight timber building within the footprint of the existing walls allows for the derelict building to be repurposed economically, removing the complexities of significant structural works or the need to rely on the existing stone walls as load bearing elements which would likely require the stone walls to be completely rebuilt.

The new timber building is set back from the stone walls, partially concealed behind the existing walls retaining the fabric and inherent character of the existing building to reduce the visual impact from the Cateran Trail and from the forest clearing.

This building will provide naturally lit single and double height studio spaces and additional accommodation on the first floor in one half of the building.

The new standalone timber structure will be clad in timber and will have a profiled mill finish aluminium roof.



View of proposed Burnished building from the south



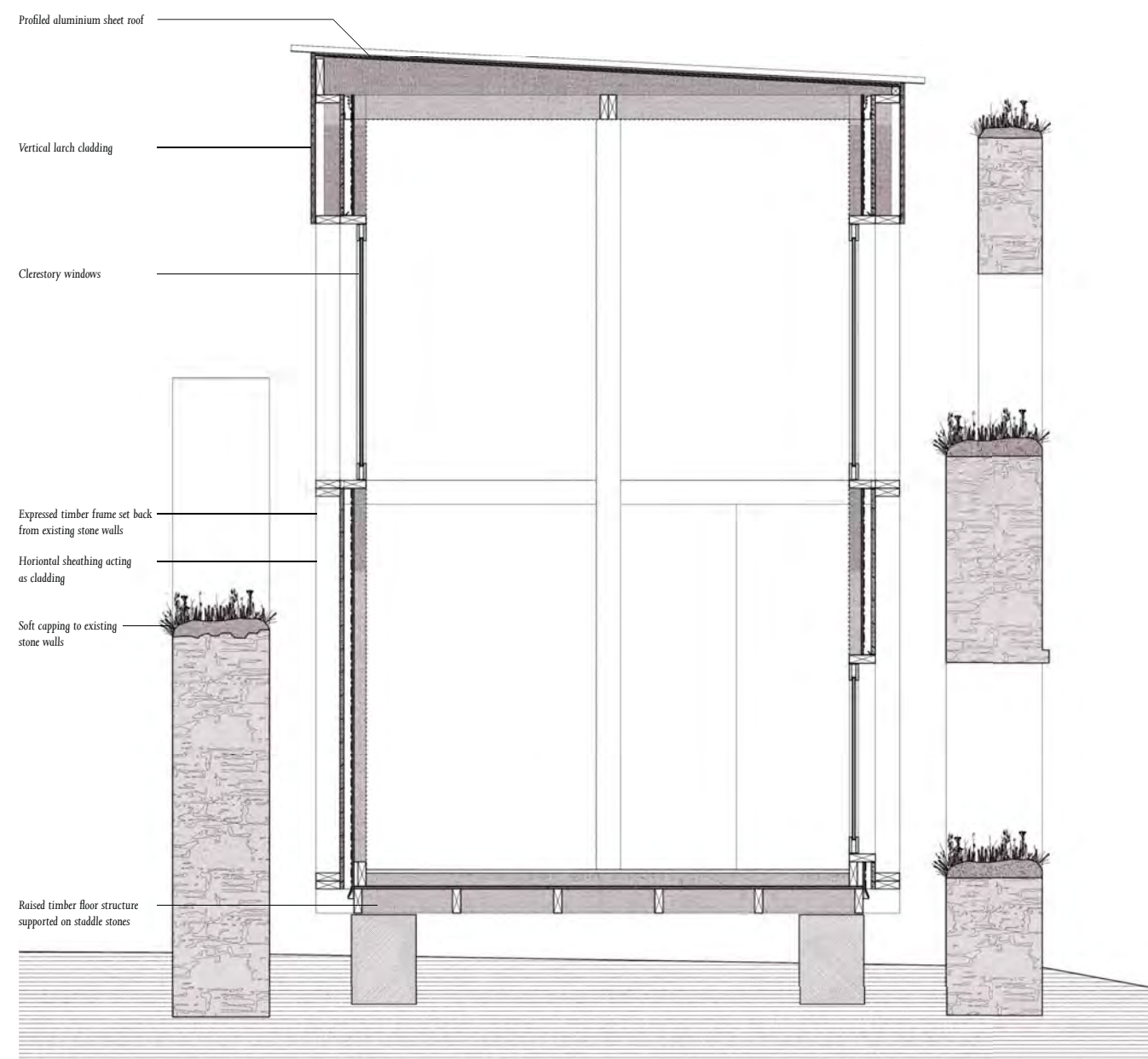
Detail view of proposed Burnished building from the north-west



Model photograph of Burnished building from the north-west

6.0 Burnished Proposals

6.4 Burnished Ruin



Detail Section



Detail Elevation

6.0 Burnished Proposals

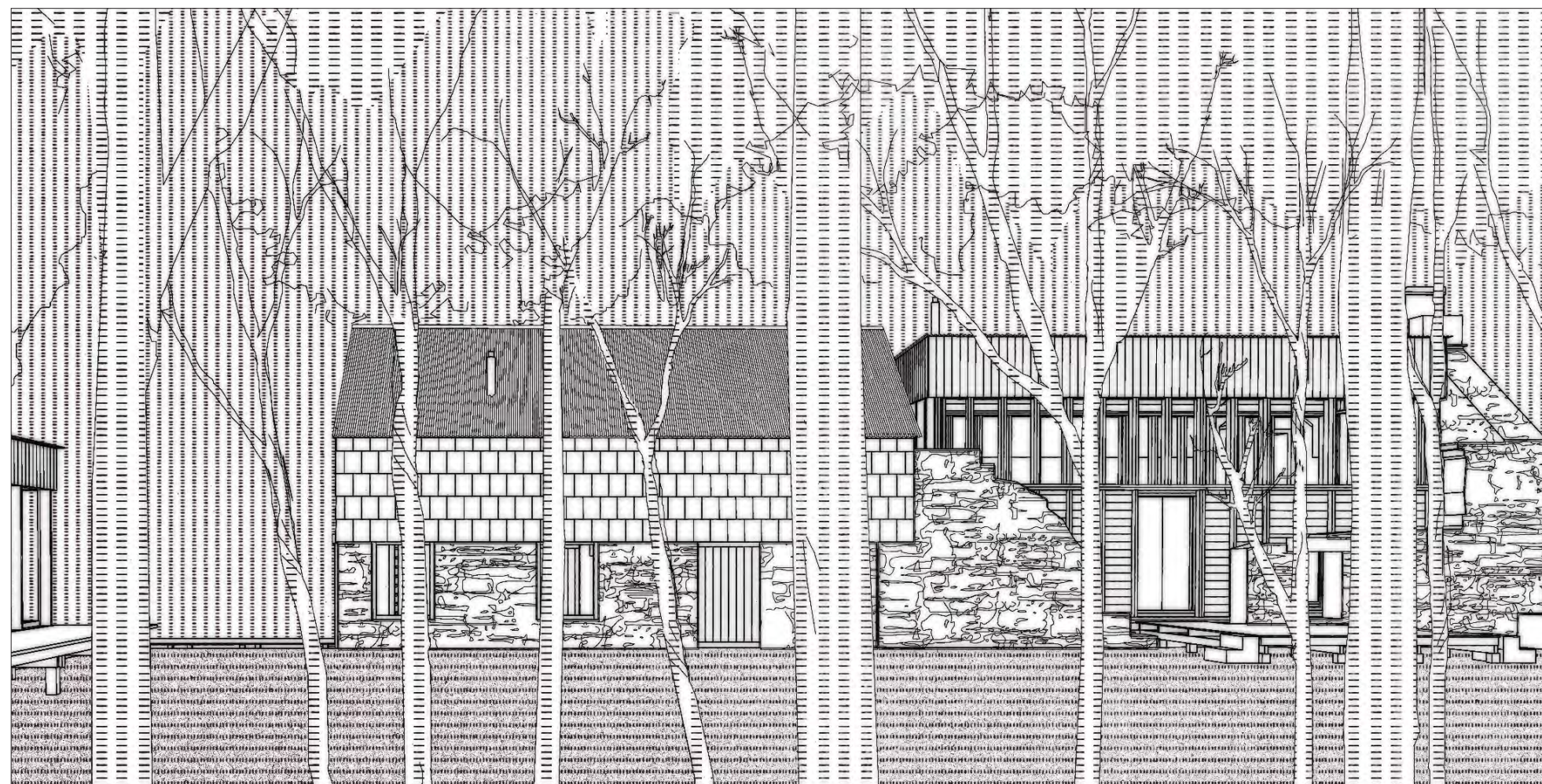
6.5 Burnished House

The east side of the existing Burnished building was partially refurbished over twenty years ago but never finished. The building is currently unused. The refurbishment of the building will retain as much of the existing fabric as possible.

The existing stone walls will be repaired as required where timber or brickwork has been poorly installed. A new corrugated aluminium roof and new timber cladding will be installed to weatherproof the building. New timber windows and doors will be installed in the existing openings, and two new windows openings are proposed on the north elevation to bring more light into the bedroom spaces. Rooflights were considered but disregarded due to the potential of unnecessary light pollution.

An open timber frame pergola structure is proposed to the south of this building facing the pond and beaver habitat. This will provide a viewing platform to the pond and will restrict access on to the landscape directly leading to the pond. Native plants will be encouraged to grow over the pergola.

Once completed the Burnished House will offer temporary accommodation for the artists residency programme with a collective living / kitchen space on the ground floor and separate bedroom units on the first floor.



View of proposed Burnished buildings from the North



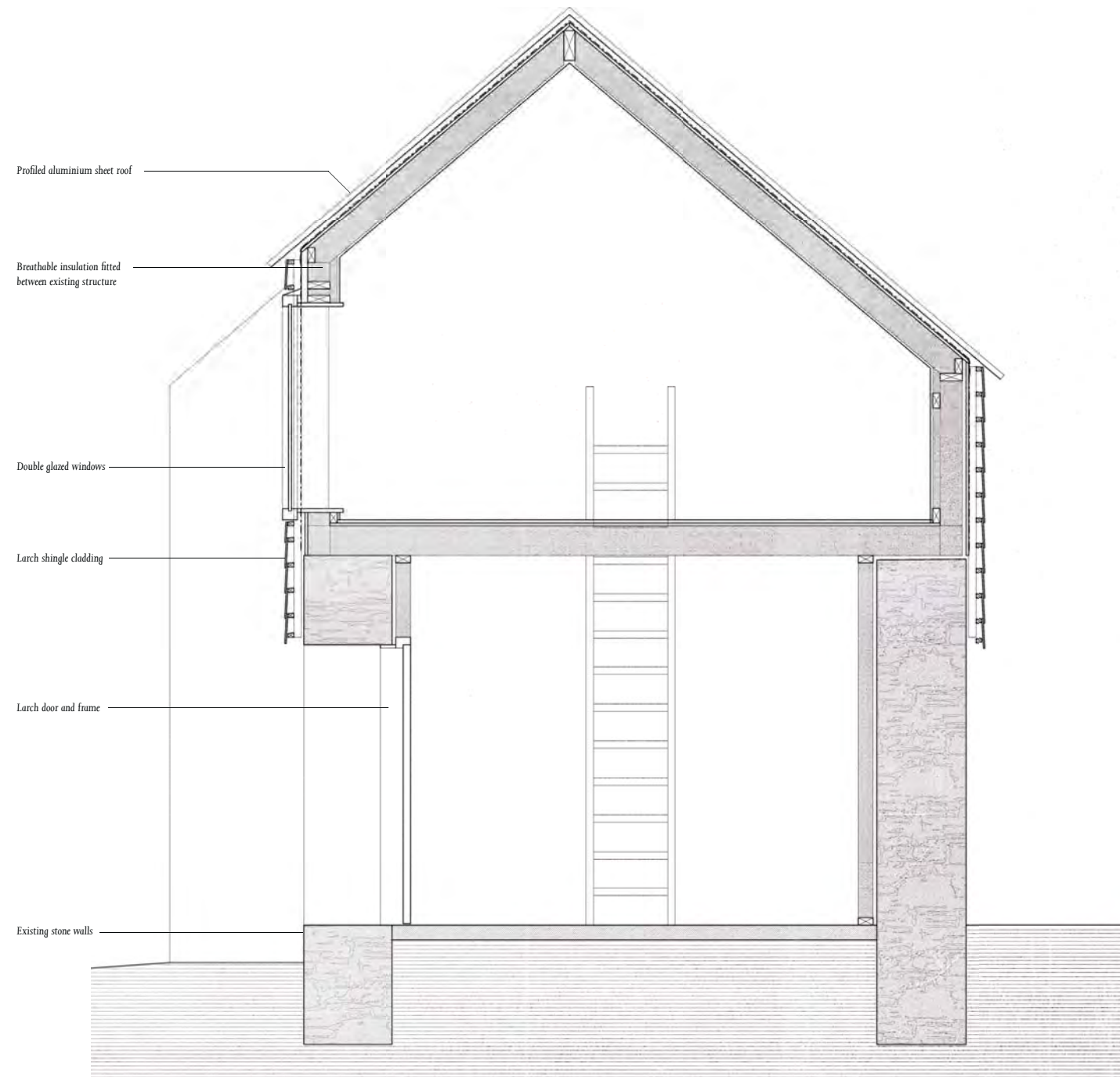
Detail view of proposed buildings from the north cladding showing roofscale and consistency of detail and materials



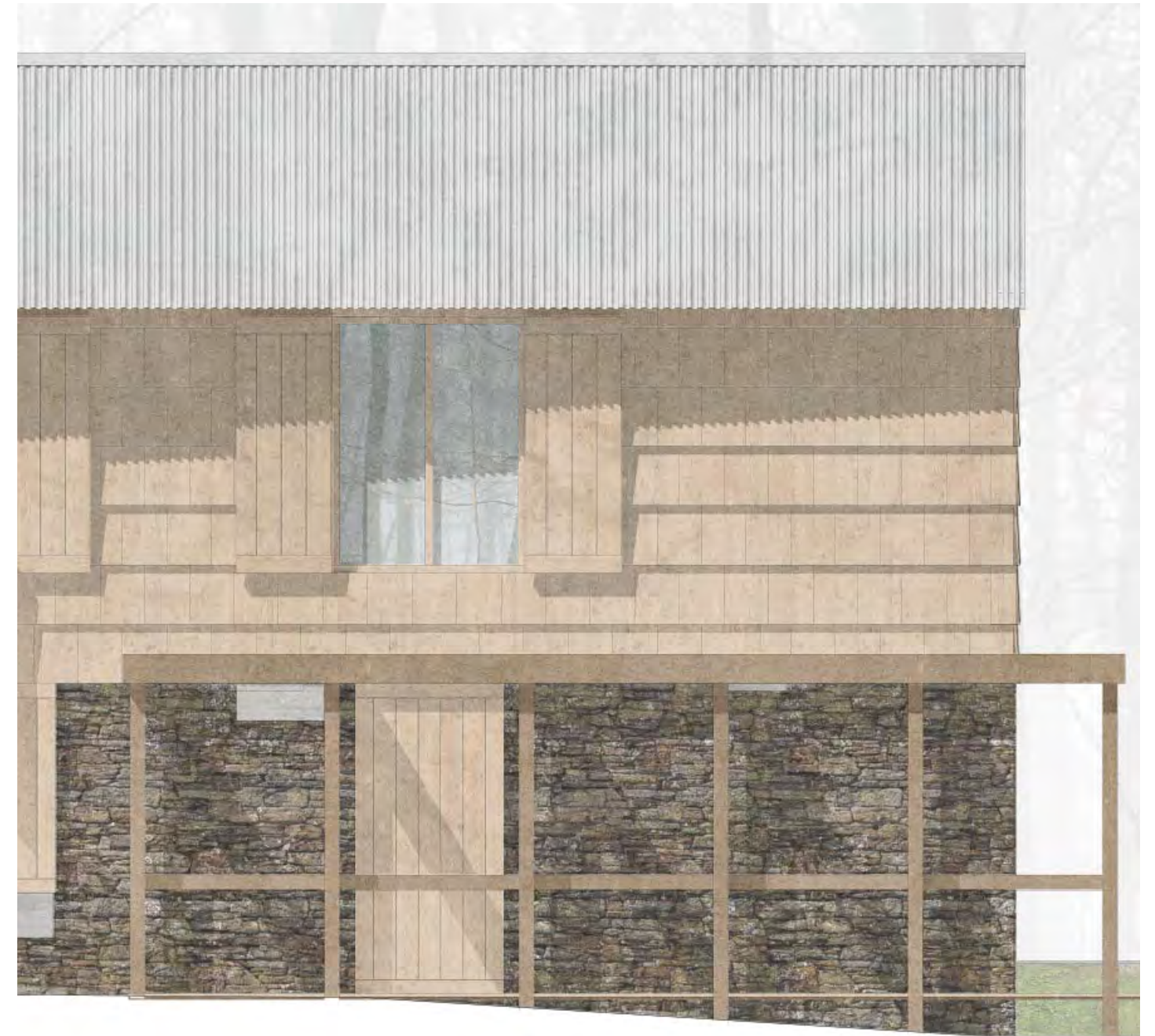
Model photograph of proposals from south-east

6.0 Burnished Proposals

6.5 Burnished House



Detail Section



Detail Elevation

6.0 Burnished Proposals

6.6 Kennel Studio

The existing building is in poor condition and has left been unused for decades. A fallen tree has collapsed the roof into the building. This building is very close to the pond and beaver habitat. The client would like to avoid as much disruption as possible in this area.

The collapsed roof and debris will be removed and a new timber structure installed inside the footprint of the existing stone walls, much like the approach to the Burnished ruin. The new structure will not extend the full length but will leave a small partially sheltered external courtyard within the existing stone walls to form a discrete and enclosed amenity space.

The new standalone timber structure will be clad in timber and will have a profiled mill finish aluminium roof.



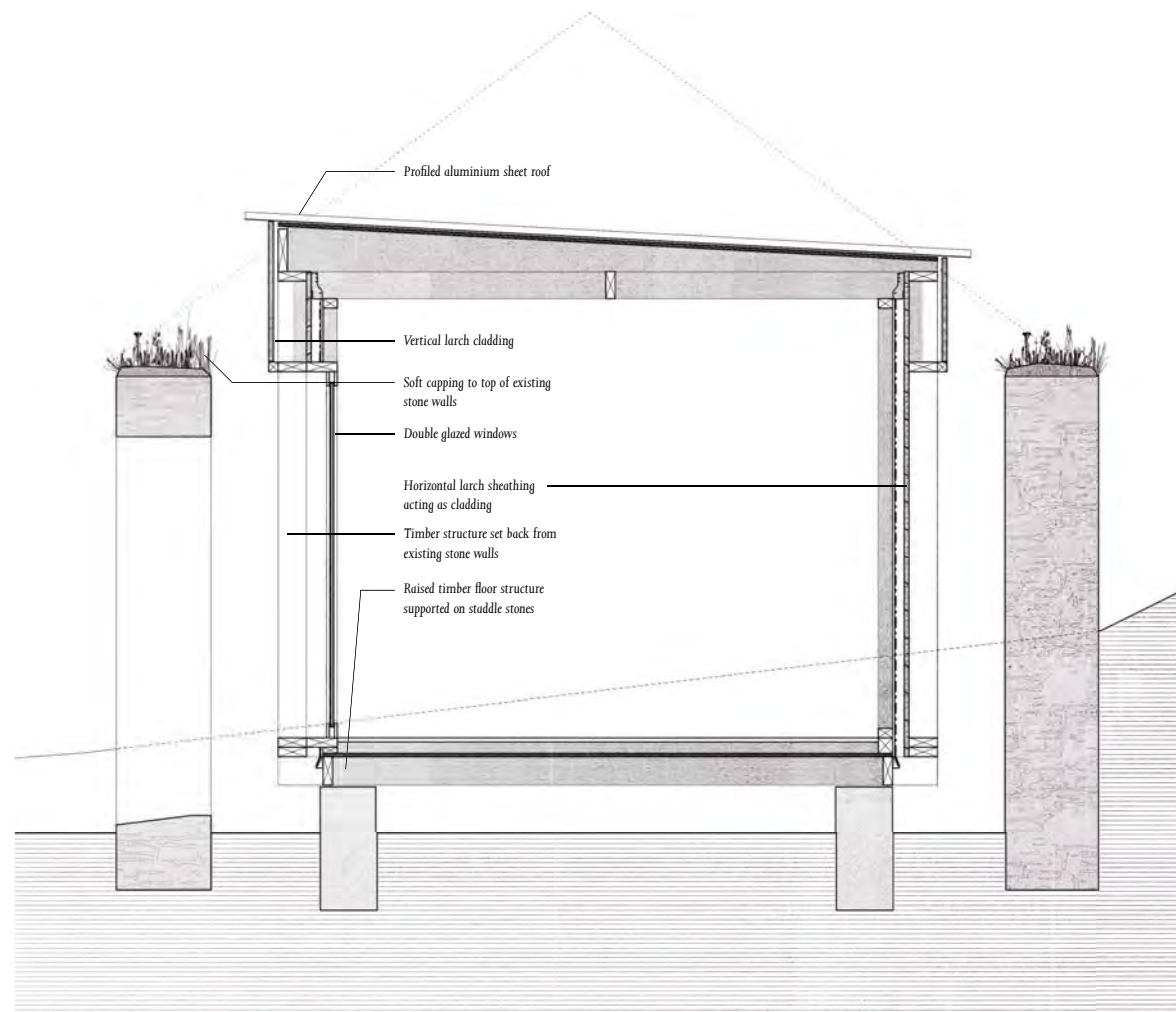
Model photograph from south-east showing massing and detail of kennel building



Detail view of proposed kennel studio partially concealed behind the existing stone walls

6.0 Burnished Proposals

6.6 Kennel Studio



Detail Section



Detail Elevation

6.0 Burnished Proposals

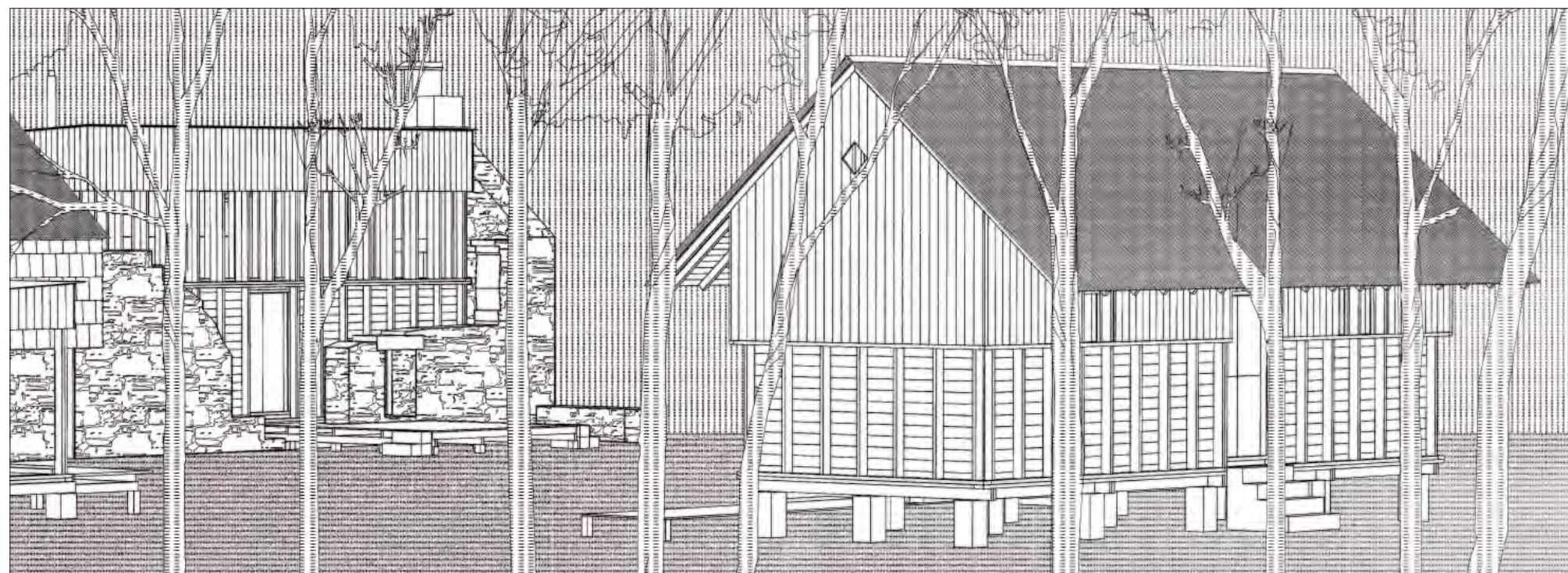
6.7 New Studio

A standalone timber frame studio building is proposed to the north of the existing Burnished building.

The form and scale of this building references the Burnished stone gable, the roof pitch is exactly the same. This proposal is imagined as a flexible studio and accommodation space under a big roof. The interior can be adapted as necessary to form a large room or four smaller studio spaces.

The roof eaves are extended to provide covered external areas and provide additional protection from the elements.

The details and materials are consistent with the other new timber structures to ensure economy, efficiency and consistency. The timber frame is clad in timber, with a profiled aluminium roof, and new timber windows and doors.



View of proposed buildings from north-east. New studio in the right foreground



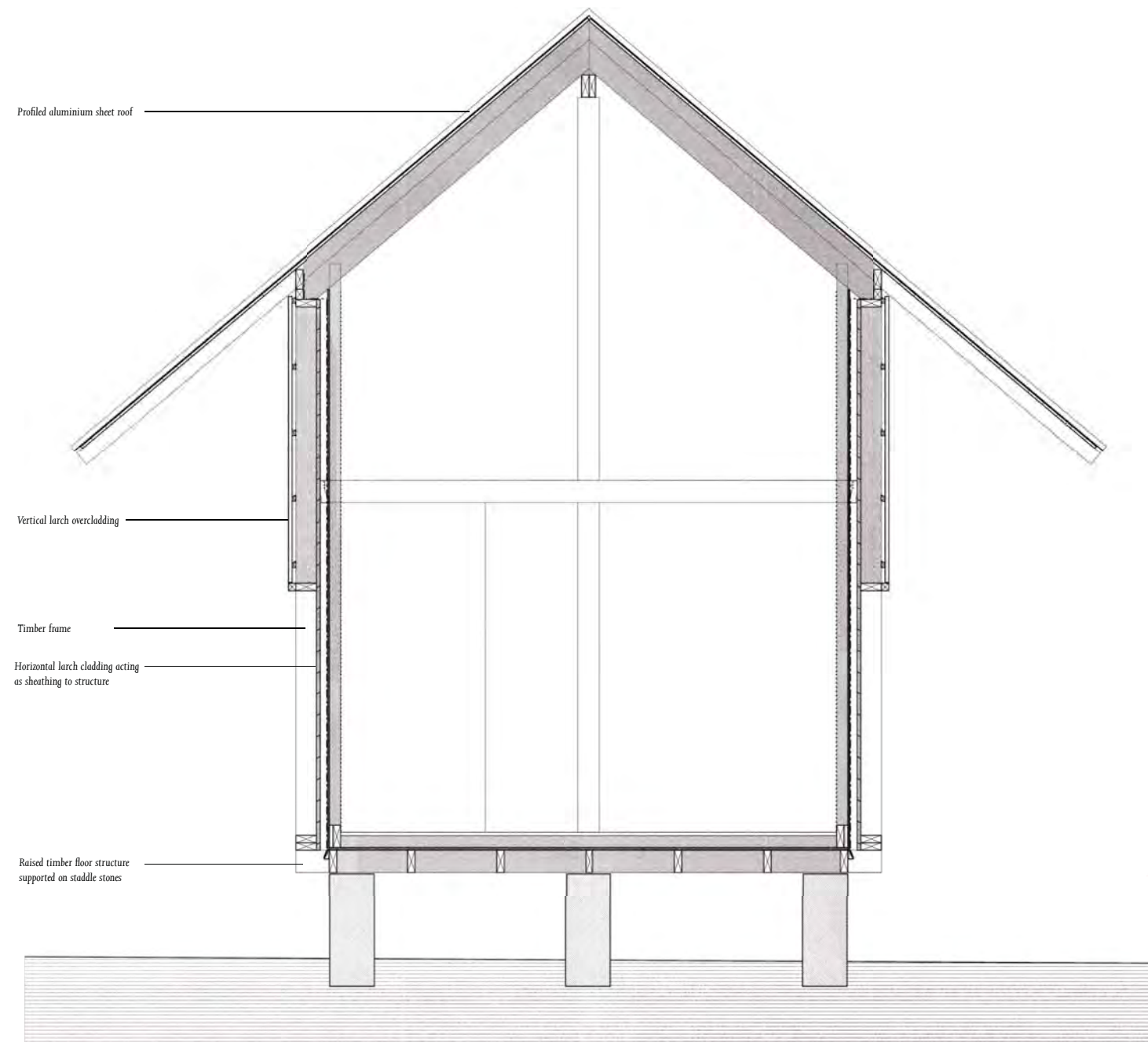
Detail view of proposed buildings



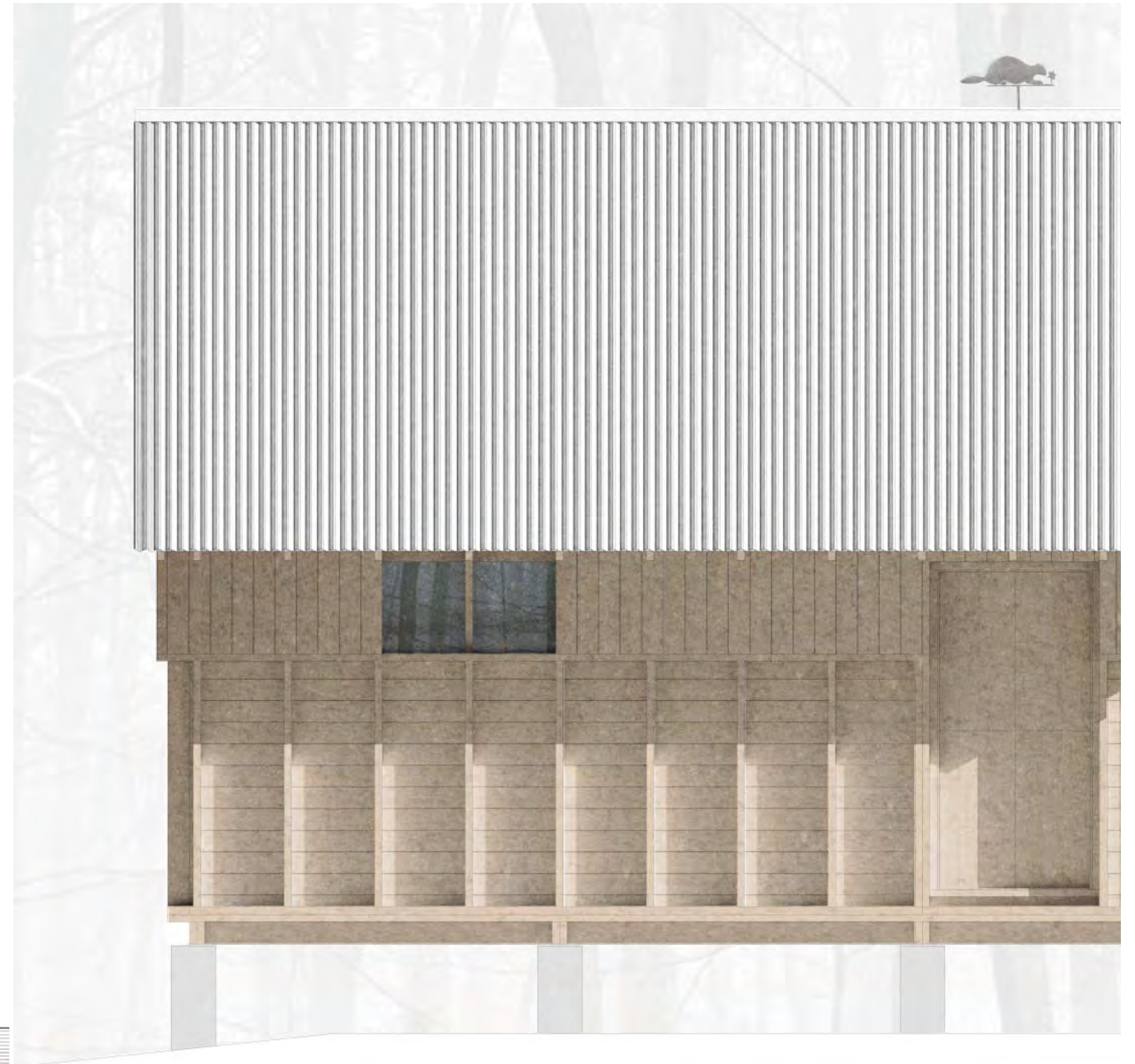
Model photograph of proposed new studio and Burnished ruin from south-west

6.0 Burnished Proposals

6.7 New Studio



Detail Section



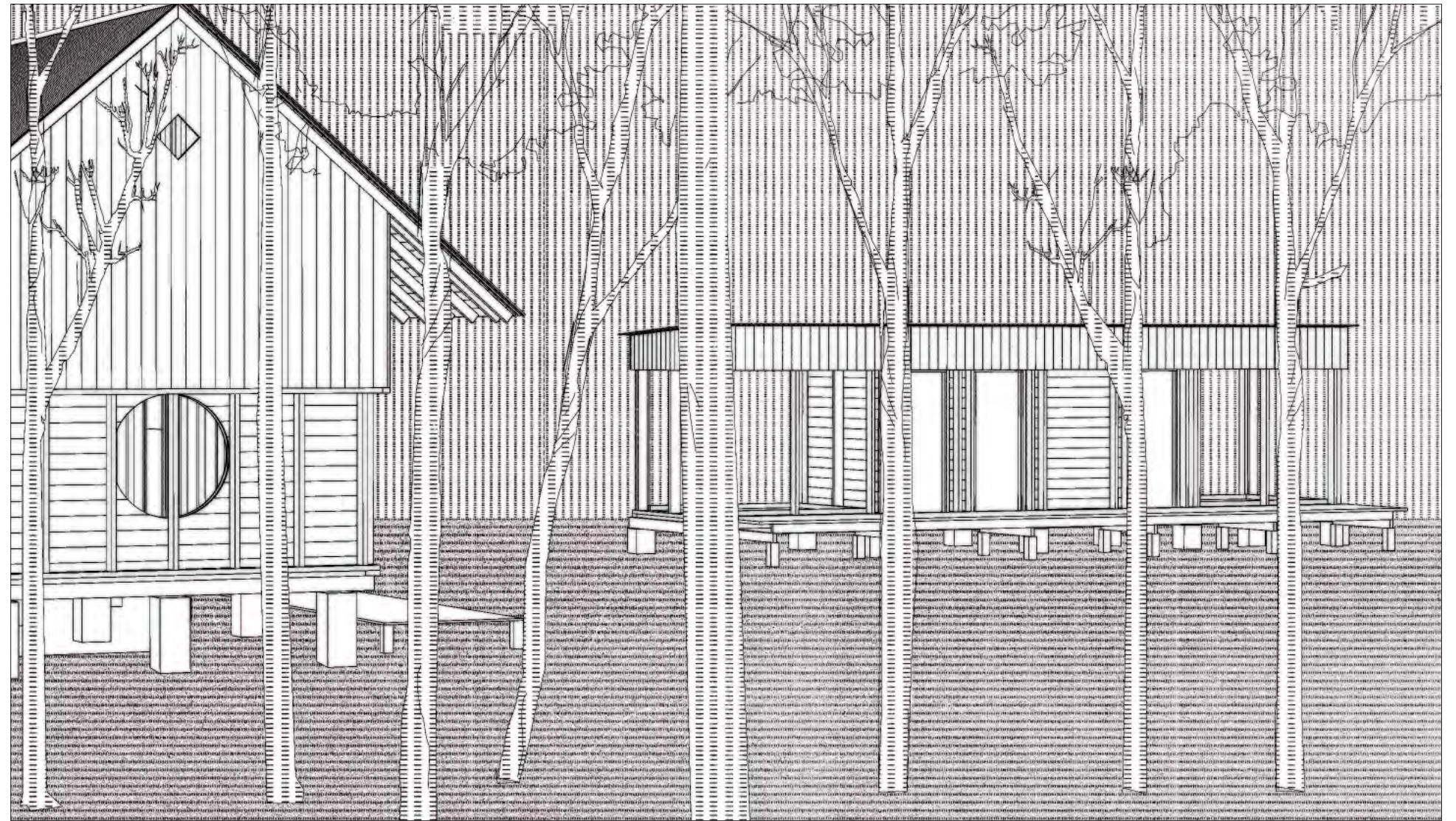
Detail Elevation

6.0 Burnished Proposals

6.8 Outbuilding

The new outbuilding provides communal facilities for the artist residency programme including a composting toilet and showers. The existing Burnished building has an electrical and water supply but no identifiable drainage.

The outbuilding is a low-slung single storey timber frame structure with a profiled aluminium roof. The construction method, details and materials closely match the other new timber structures. The timber frame is expressed with timber cladding to enclose the toilet and shower spaces. A covered central space between the two enclosed spaces provides a communal utility area.



View of proposed buildings from north-west with Outbuilding to the right



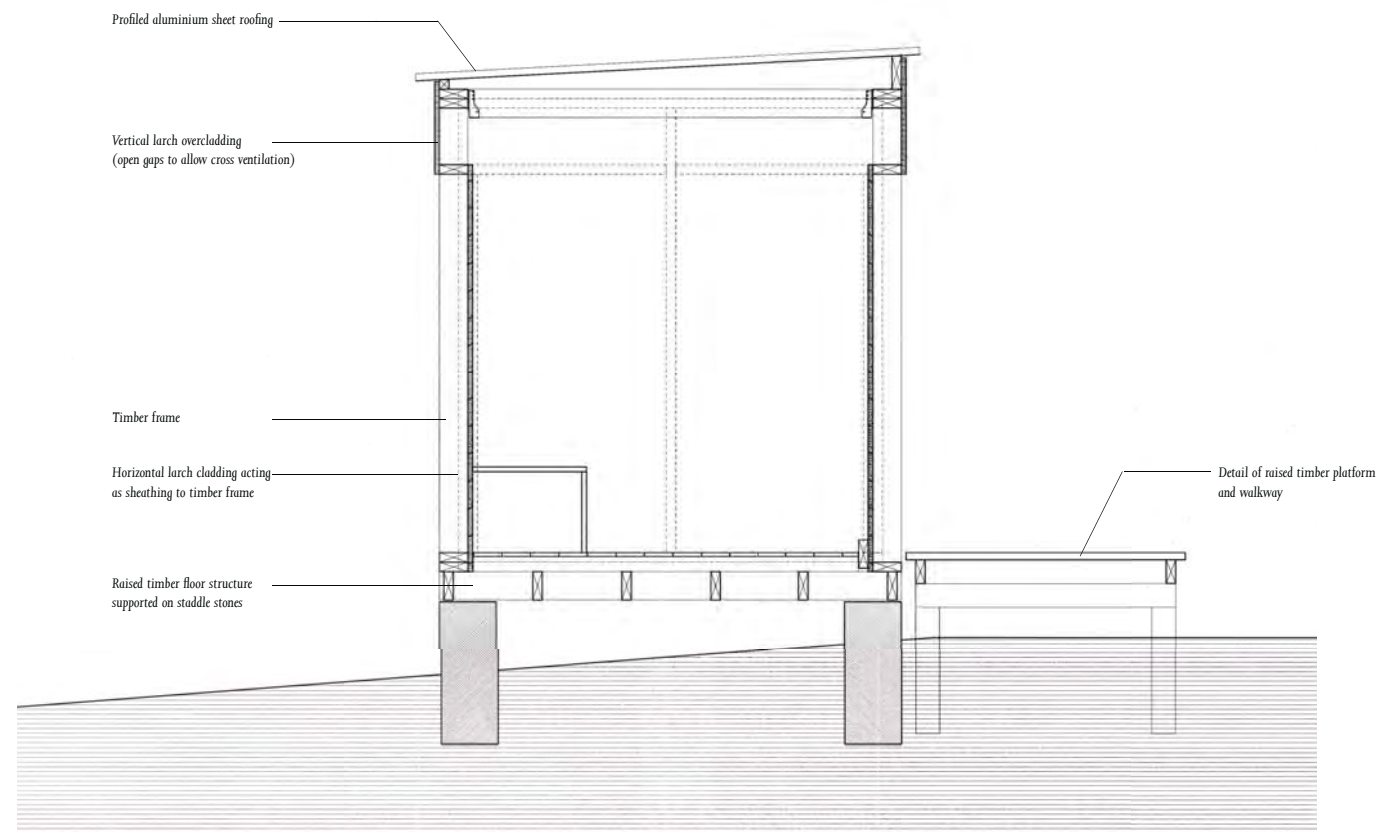
Detail view of proposed buildings with the Burnished House in the foreground



Model photograph from south east showing the Outbuilding between the Burnished and New Studio

6.0 Burnished Proposals

6.8 Outbuilding



Detail Section



Detail Elevation

6.0 Burnished Proposals

6.9 Construction Methodology

The proposed development of small-scale artists residency buildings has been designed with a significant amount of consideration for low ecological impact to site and wider context of the Bamff Estate. The proposed construction method is intended to be as straight forward as possible, minimising any impact to the site using small prefabricated timber frames that can be transported on to the site and lifted into place without the use of heavy machinery or plant. The simplicity of construction and prefabrication will also reduce the amount of time spent on site constructing each of the buildings.

Each of the buildings are set out to a standard plywood sheet module, which will regularise required materials and eliminate waste material on site.

There will be a very limited site presence with no site facilities, huts or vehicles. Any long-term material storage or required site facilities will be located adjacent to the existing farm buildings. The construction method and proposed natural building materials will not result in any site pollution.

The construction of the proposed new structures will be phased to reduce impact and disruption to the site.

6.9.1 Foundations

All of the new structures are proposed to be raised above ground level to limit excavation and avoid disruption to the stone walls where the new structures are installed within the footprint of the existing buildings.

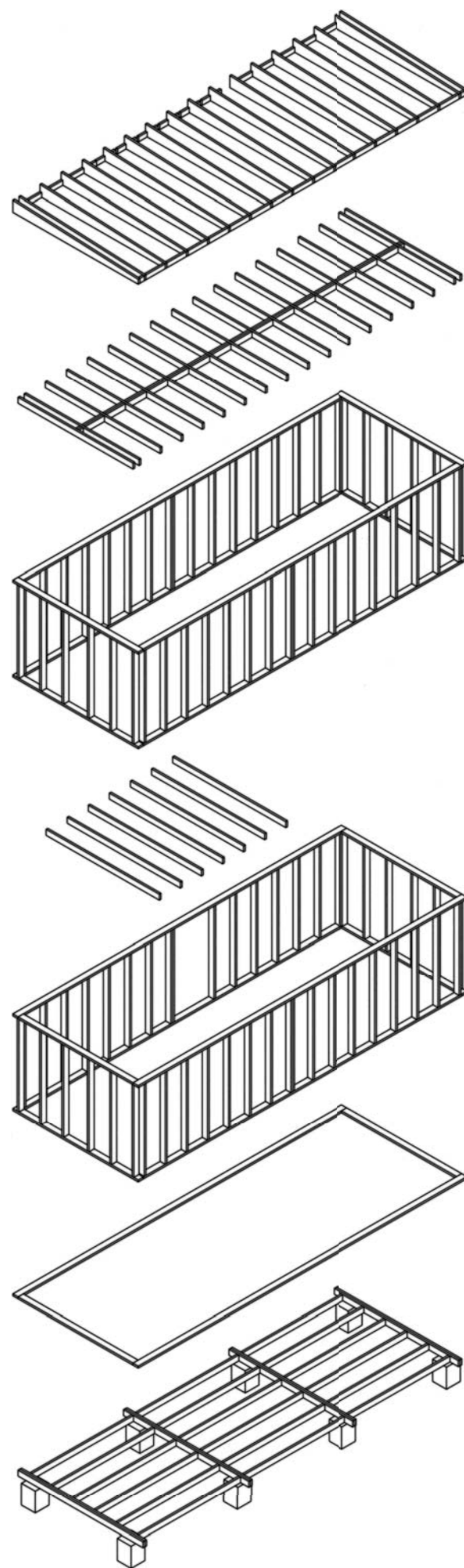
Staddle stones / raised pads are proposed to lift the buildings above ground level and provide a fixing point for the new structure avoiding disruption to root systems. The new structures are located to avoid the removal of trees on the site.

Staddle stones were traditionally used in parts of Scotland and England to raise granaries or larders off the ground to reduce rodents getting to the food stock. In this case, raising the new structures minimises impact to the habitat and encourages air flow beneath and around the building encouraging vegetation and ensuring that no moisture is trapped underneath the timber structures.

6.9.2 Existing Stone Walls

The existing stone walls to the Burnished and Kennel buildings will be assessed by a Structural Engineer and simple remedial works are proposed to make the stonework safe and stable. Elements or areas that are unstable or unsafe are to be removed. The east stone dormer for example is visibly unstable and has been shown as to be removed on the planning drawings.

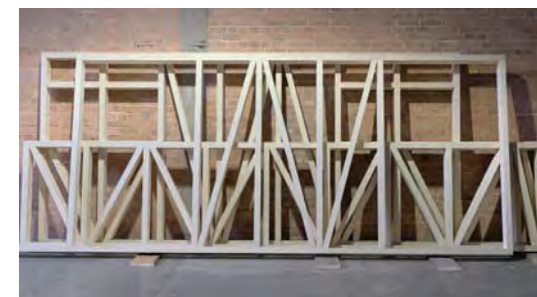
The existing walls, particularly to the west Burnished and Kennel building are damp and in poor condition. Planted soft capping to the exposed tops of the walls is proposed to protect the existing stonework. This method is commonly used to protect historic stone structures or ruins and is recommended by Historic Scotland and represents an effective and environmentally sensitive approach as opposed to a more robust capping such as concrete.



Exploded axonometric of timber structure showing basic sequencing and potential for prefabrication / simple disassembly



Example of soft capping applied to top of existing stone walls at Hailes Abbey, Gloucestershire
Source: English Heritage



Example of prefabricated timber wall panels, Maich Swift Architects, Potemkin Theatre self-build, London



Example of building with staddle stone foundations
Source unknown



Example of timber building set within stone walls, Hugh Strange Architects at Shatwell Farm, Somerset
Source: David Grandorge

6.0 Burnished Proposals

6.9.3 Timber Structure

Timber platform frame construction is proposed to ensure ease of construction, enabling the prefabrication of wall panels to allow for easy transport to site and significantly reduced impact on the site. Timber could be softwood grown and milled from the site, or alternatively locally sourced renewable FSC certified timber. Using timber local to the site will achieve low embodied carbon in addition to the benefits of carbon sequestration through the use of timber as a building material.

A simple construction system and sequence for the installation of the timber structures is proposed, with the potential for self-build. The timber structures are erected in panels and clad internally. A cavity behind the sheathing will allow for ventilation before insulation and finishes are installed from inside the buildings as required.

6.9.4 Insulation and Finishes

Natural and breathable insulation will be used. Potential products are woodfibre insulation or sheeps wool. Careful detailing to ensure air tightness will improve the thermal efficiency of the buildings and allow comfortable occupation.

6.9.5 Windows & Doors

Double glazed timber casement windows will be installed to each of the new timber structures. A number of the windows will be openable for natural ventilation.

Timber doors to match the cladding and meeting building regulations will be installed.

6.9.6 Timber Cladding

The timber sheathing installed to the inside of the timber structure will be installed throughout and will be visible externally as horizontal cladding to the lower level.

The timber frame will be overlaid with vertical timber cladding on the upper levels to the new studio and Burnished ruin providing additional space for insulation to the sleeping areas.

Larch cladding milled from the site is proposed, with no treatment or sealing allowing the timber to weather to a silver colour naturally, eventually harmonising with the surrounding landscape.

6.9.7 Roofing

Profiled mill finished aluminium sheeting is proposed as the roofing to ensure consistency of material and detail throughout.

The mill finish will weather naturally, and as a non-ferrous metal will not corrode, lasting the lifetime of the building and requiring little or no maintenance. Visually the aluminium will provide a dull finish reflecting the colours of the surrounding landscape.

No water collection is proposed in order to avoid blocked gutters requiring maintenance, overhanging eaves will push the water away from the building.



Model studies of timber structures - 1:20



Construction of prefabricated timber wall panels, Maich Swift Architects, Potemkin Theatre self-build, London



New studio structural model



Burnished structural model



Kennel studio structural model



Outbuilding structural model

6.0 Burnished Proposals

6.10 Environmental Statement

The ambition for the Burnished site is to create a low energy and easily maintained grouping of buildings and to limit environmental impact both in construction, in use and throughout its life cycle. This environmental approach plays a fundamental role in the overall design, construction and materiality of the buildings on the Burnished site.

6.10.1 Ecology

The proposals been designed to mitigate ecological impact and disruption to the site through careful consideration of the form of the buildings, choices of material and construction method. No wet trades, or traditional site set up will be required on the site as a result of the simple construction methods proposed. An ecological assessment has been commissioned and is appended to the DAS. No protected species have been found inside the existing structures.

Measures to improve and protect the existing landscape and biodiversity have been considered and are outlined in detail throughout this report. Specifically, the biodiversity of the site will be enhanced by long term and designed roosting opportunities for bats and birds. The cladding provides nesting for small birds or bats, the soft capping increases planted areas and the space underneath the buildings provides nesting and shelter opportunities for small birds and animals.

No trees will be removed to locate the new building structures. The estate management strategy includes the planting of new native trees to the north of the Burnished site.

6.10.2 Energy and Resource Efficiency

The materials selected for construction have low embodied energy implications and the orientation of the buildings (east / west) maximise natural light and controlled solar thermal gains in the winter. Natural insulation and careful air tightness detailing will limit uncontrolled heat loss through the building fabric. Natural ventilation is used wherever possible throughout the buildings. The overall approach has been to use design principles which offer durability, respect sustainability, and importantly will help to create a characterful sense of place.



A passive / low carbon servicing strategy has been developed as an integral part of the design for the new buildings. This will be achieved in the following ways:

- Potential for future installation of air source heat pump or biomass boiler for heating and hot water
- Maximised internal daylight levels
- Natural ventilation
- Natural, renewable and locally sourced construction materials (potentially sourced directly from Bamff Estate)
- High thermal performance. All buildings insulated with natural, breathable and renewable materials
- Flexibility in use with the potential for future adaptation
- Design for disassembly. All materials can be recycled or re-used.

6.10.3 Servicing and Drainage Strategy

By virtue of its remote location the site lends itself to an off-grid servicing strategy in the long term, designed in an independent manner without reliance on public utilities. For the time being, as the Burnished building has a mains electrical and potable water connection, the existing connections will be extended to all buildings on the immediate site. The bog bridge access paths will serve as infrastructure for service routes to be distributed between the four buildings to reduce excavating services trenches in the existing landscape as much as possible.

Space heating and hot water will be provided using a combination of electrical boilers and electrical storage heaters which make use of renewable electricity. Space heating will be supplemented with wood burning stoves. Measures will be taken to allow for the future adaptation of the space heating and provision of hot water to the buildings to eventually be supplied using an air source heat pump.

General foul drainage is difficult to implement as the site is remote and difficult to access. There is no mains sewer connection to the existing buildings or nearby, and making a new connection is financially restrictive and would be too disruptive. A private sewage treatment plant will require a drainage field which is problematic so close to a water course, and regular vehicular access for maintenance would be required.

Based on the location and sensitive nature of the site, a composting toilet is proposed. General toilet and shower facilities will housed in the standalone Outbuilding. These facilities have been separated to avoid complicated integration into the studio spaces and to allow privacy and ease of maintenance to the composting toilet.

6.10.4 Outbuilding Composting Toilet

Based on the SEPA guidance note GPP4, the most sensitive option from an ecology and access perspective is a composting toilet. The Outbuilding is located 30m away from the watercourse which runs to the south of the site. The Outbuilding is set away from the other buildings and screened from the public paths for privacy.

The composting toilet will be low impact and low maintenance, and incorporated into the estate management strategy with composting carried out on site. This will save large quantities of water and while preventing the groundwater, surface water and soil from pollution.

SEPA have been consulted on the composting toilet in this location and have confirmed that it is appropriate and provides a viable alternative to foul drainage. SEPA have confirmed that because the proposed compost toilet is a self-contained unit there is no requirement for any formal SEPA effluent disposal permission, and have noted that the compost waste should be managed in accordance with the waste management duty of care as referenced in GPP4.

An email response from Andrew Jardine of SEPA has been appended to the report.

6.10.5 Waste Management

The general waste management strategy will be coordinated with and incorporated into the general waste management for Bamff Estate.

Waste will be separated and recycled, with food waste composted locally on site. Residents of the Burnished buildings will be strongly encouraged to limit their impact on the site and a management plan for the collections of waste and refuse will be put in place by the operator of the residency spaces. This will include any special requirements for the production of artwork.

6.10.6 Surface Drainage

No change is proposed for the provision of surface drainage. No hardstanding on the immediate site is proposed. All rainwater will drain freely into the landscape as it currently does.

Platforms and bog bridges will be raised above the ground level and perforate, allowing water to drain through into the land.

Site overview model photograph



Aerial Photograph of Bamff Estate
Source: Google Maps

- Estate Boundary
- Burnished
- 1. Bamff House
- 2. Bamff House Sundial
- 3. Bamff House Icebox
- 4. Bamff House South Lodge
- 5. Den of Alyth SSSI

7.1 Designations

The Estate is not located in a Conservation Area, though a number of buildings and elements are individually listed:

Bamff House
HES Reference LB4368
Listed 05/10/1971

Original house built between 1580 and 1595, 3-storey and attic L-plan. 3-storey wing added 1828, house remodelled 1844, William Burn architect; large gabled entrance tower with corbelled turret in re-entrant angle added to jamb of original house, dormer heads to 1828 wing and other additions and alterations.

Bamff House Sundial
HES Reference LB4369
Listed 09/06/1981

Moulded freestone shaft inscribed CLHWO and surmounted by wrought iron astrolabe of 1907.

Bamff House Icebox
HES Reference LB4370
Listed 09/06/1981

Early 19th century. Circular domed underground chamber with tunnel entrance and crown access hatch

Bamff House South Lodge
HES Reference LB4367
Listed 09/06/1981

Mid 19th century, perhaps by Burn. Low single-storey stugged ashlar L-plan with canted bay and re-entrant porch to drive. Low wood-mullioned windows, broad-eaved pended (hipped) roof. Small modern extension.

Part of the Estate to the south sits within a Site of Special Scientific Interest (SSSI)

Den of Alyth SSSI
Designated 15/12/1983, total of 32.95ha

Upland mixed ash woodland along the Alyth Burn

7.0 Planning Legislation

7.2 Planning Policy

7.2.1 TAY Strategic Development Plan (2017)

TAYplan sets out a vision for how the region will be in 2036 and what must occur to bring about change to achieve this vision. The vision for the area as set out in the plans states that “By 2036 the TAYplan area will be sustainable, more attractive, competitive and vibrant without creating an unacceptable burden on our planet. The quality of life will make it a place of first choice where more people choose to live, work, study and visit, and where businesses choose to invest and create jobs”.

The following sections of the TAYplan will be of particular importance in the assessment of this proposal

Policy 1: Locational Priorities

Policy 2: Shaping Better Quality Places

Policy 4: Homes

Policy 9: Managing TAYplan’s Assets

The location of this project is in the grounds of Bamff Estate, a primary ambition of the project is to create a distinctive place which enhances the natural landscape and adds to the wide range the cultural and environmental activities of the Bamff Trust. Although formerly the site and existing buildings were occupied by the Estate gamekeeper the site is outside an existing settlement area. The reasoning for development in this location is twofold; Firstly to safeguard the long term future of the existing buildings, and secondly to achieve an appropriate level of seclusion for an artist residency programme which will focus on a direct relationship with nature and landscape. The proposed small scale of the studio spaces and associated temporary accommodation will mitigate the risk of over densification of the site and surrounding area. Efficient resource consumption will be ensured by high-quality design, the orientation of the buildings and the incorporation of appropriate waste management solutions.

7.2.2 Perth & Kinross Local Development Plan (2019)

The proposed development of the Burnished is in line with the overarching aims of the Perth and Kinross Local Development Plan to promote sustainable economic growth and sustainable development. The proposals build on the special qualities of the area and enhance it by repairing and reusing existing buildings along with new high quality studio spaces to broaden the cultural offering of Bamff Estate.

The following policies are of relevance to this project and have informed the design:

Policy 1 A&B: Placemaking

Policy 2: Design Statements

Policy 5: Infrastructure Contributions

Policy 6: Settlement Boundaries

Policy 8: Rural Business and Diversification

Policy 15: Public Access

Policy 39: Landscape

Policy 40 A&B: Forestry, Woodland and Trees

Policy 41: Biodiversity

Policy 47: River Tay Catchment Area

Policy 53B & C: Water Environment and Drainage

Policy 60B: Transport Standards and Accessibility Requirements

Policy 8 on Rural Business and Diversification is of particular relevance for this artist residency project, it states that the council will give favourable consideration to the expansion of existing businesses and the creation of new ones in rural areas. The proposals will contribute to the local economy by providing specific artist visitor accommodation and studio space through the repair and re-use of existing buildings and modestly sized new builds. This will improve the quality of the immediate built area which is currently in a state of disrepair and offer a unique tranquil location for the artist residency project. The proposals have been designed to use local sustainable materials and to be adaptable in the future to suit a wide variety of artistic production and practice.

The proposals form a small grouping of buildings arranged in the same manner as the historic cluster which previously existed on the site. The clearing is enclosed by mature beech trees and dense woodland which will help to mitigate any a visual impact on the setting. Notwithstanding, the design and density of the proposals has been carefully considered in order to harmonize with the surroundings, relating closely to what exists currently in scale, appearance, materials, finishes and colour in order to safeguard the special qualities of the location.

The proposals will not affect the Cateran Trail which runs directly to the south of the site. The new buildings are situated to the north of the site, away from the trail to reduce any visual impact to these existing views. Active travel to the site is encouraged through the use of this trail and additional bike storage has been proposed to support this. Where this is not possible, there is sufficient car parking provided within Bamff Estate walking distance away from the site.

Bamff Estate is working on numerous projects to protect and enhance the wildlife and habitats within the estate grounds. The Burnished is located next to a small river which has been shaped by the reintroduction of beavers to the estate. The elements of new build that make up the scheme are located away from the river to reduce any potential impact from the construction and inhabitation of the new and existing buildings. An ecologist has been engaged by the client to advise on how the scheme relates to the site’s biodiversity resource. Should any impact on this resource be highlighted then appropriate mitigation measures will be incorporated into the scheme. The proposals maintain and enhance the natural landscape and the design takes into consideration the locations of the existing trees avoiding the felling of any existing mature trees. Any new planting as part of this development will be with species appropriate to the local area.

7.2.3 River Tay Special Area of Conservation (SAC) (2011)

The site is located within the River Tay SAC which is designated as a Natura 2000 site, a series of internationally important wildlife sites throughout the European Union, in this case for Atlantic salmon, sea lamprey, river lamprey, brook lamprey, clear-water lochs and otters. It is also important for freshwater pearl mussel which is a protected species.

Considering the location of the proposals on the site and their scale there is unlikely to be any impact on the local landscape and watercourses, and any potential negative effects have been mitigated through the design and the water and sewage strategy.

- Staddle stone foundations minimise the building footprints and the amount of excavation required

- No new areas of hardstanding are proposed
- The site is not within an area of flooding
- Self-contained composting toilet (which will be 30m from nearest watercourse), to be used by up to 8 guests
- Private water supply for drinking and cooking.

7.2.4 Creating Places: A policy statement on architecture and place for Scotland 2013

This document sets out the vision to preserve Scotland’s rich built and natural heritage, but also to create Scotland’s future assets through good architecture, design, placemaking and planning. It encourages the development of creative places and culture-led regeneration as an effective approach to delivering sustainable, high quality environments, and also focuses on a sustainable approach to design which considers the environmental impact and carbon footprint of developments.

The proposals are for new high quality studio spaces to support the Bamff Estate as a place of cultural exchange and production and will foster positive relationships with artists, visitors and the local community in keeping with the ambition Creating Places policy statement. Careful consideration of the environmental impact of the proposals is demonstrated throughout this report.

7.2.5 Additional Policies & Guidance:

National Roads Development Guide 2014,
Perth & Kinross Council Placemaking Guide
Heads of Planning Scotland (HOPS) validation guidance
SEPA guidance note GPP4

8.0 Conclusion and Summary of Proposals

The proposals represent an appropriate and considered response to this unique site. The adjustments to the existing Burnished will enhance the appearance and quality of the existing buildings that are currently in disrepair. The proposals have been designed to mitigate any ecological impact on the site, safeguarding the long term use of the Burnished site as a constituent part of the cultural and environmental programme and activities of the Bamff Estate. The artist studios and temporary accommodation provide flexible space, suitable for use in different ways and will strengthen the connection to the local context and communities and preserve and enhance the character and appearance of the area.

We are committed to reducing environmental impact through good design practices in order to achieve the maximum benefit for both the client and the community. This will include environmentally responsible methods of construction using sustainable, healthy materials and all works will be carried out to a high-quality standard using simple and durable detailing with the potential for disassembly and re-use or recycling of materials in the future.

We have carefully considered relevant policy in order to preserve and enhance the existing building and its setting. The technical planning requirements have been followed and the proposals are in line with the TAY Strategic Development Plan, Perth & Kinross Local Development Plan, The River Tay SAC and all other relevant policy and guidance to ensure the proposal works to contribute positively to the existing character of the site.

If any additional information is required please contact Maich Swift Architects.

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Planometric view of Burnished site shown in relation to watercourses, paths and landscape features

9.0 Appendices

- 9.1 Drawing List
- 9.2 Pre-application design and response
- 9.3 Ecological Survey Report
- 9.4 SEPA email response

9.1 Drawing List

126_Bamff Estate

Drawing List

Maich Swift Architects

Drawing No.	Drawing Title	Location / Content	Scale			
					Planning Issue 14.05.21	Pre-application issue 11.09.20
Planning Drawings						
126_PL01_01	Location Plan	Bamff Estate Plan	1:10000 A1 / 1:20000 A3	A	*	
126_PL01_02	Location Plan	Burnieshed	1:1250 A1 / 1:2500 A3	A	*	
126_PL01_03	Existing Plans	Site Plan	1:200 A1 / 1:400 A3	A	*	
126_PL02_01	Existing Plans	Burnieshed	1:50 A1 / 1:100 A3	A	*	
126_PL04_01	Existing Sections	Site Sections	1:200 A1 / 1:400 A3	*		
126_PL05_01	Existing Elevations	Burnieshed	1:50 A1 / 1:100 A3	A	*	
126_PL05_02	Existing Elevations	Kennel building	1:50 A1 / 1:100 A3	A		
126_PL11_03	Proposed	Site Plan	1:200 A1 / 1:400 A3	A	*	
126_PL12_01	Proposed Plans	Burnieshed	1:50 A1 / 1:100 A3	A	*	
126_PL12_02	Existing and Proposed Plans	Kennel Studio	1:50 A1 / 1:100 A3	A	*	
126_PL14_01	Proposed Sections	Site Sections	1:200 A1 / 1:400 A3	*		
126_PL15_01	Proposed Elevations	Burnieshed	1:50 A1 / 1:100 A3	A	*	
126_PL15_02	Proposed Elevations	Kennel Studio	1:50 A1 / 1:100 A3	A	*	
126_PL15_03	Proposed Elevations and Plan	New Studio	1:50 A1 / 1:100 A3	A	*	
126_PL15_04	Proposed Elevations and Plan	Outbuilding	1:50 A1 / 1:100 A3	A	*	

9.0 Appendices

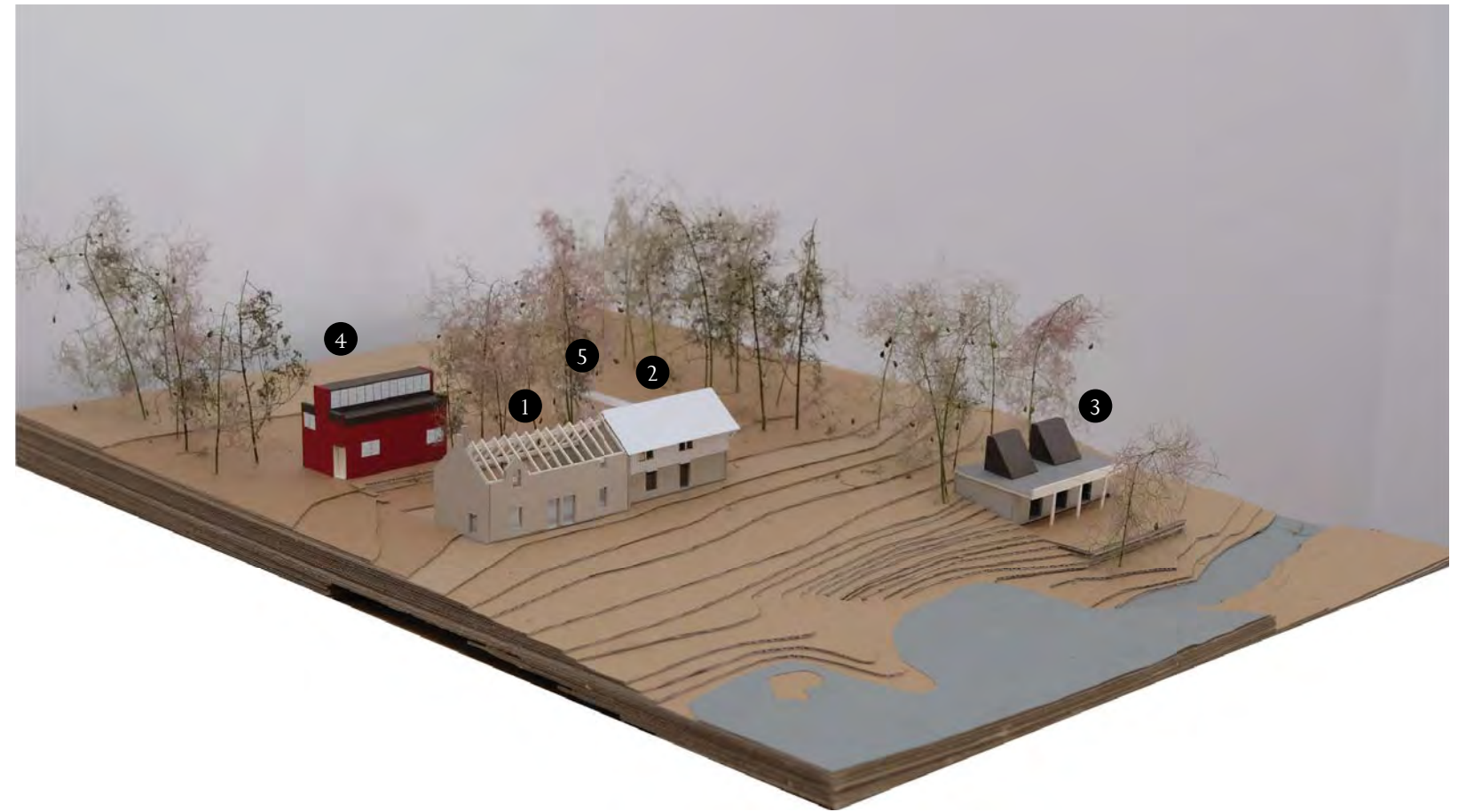
9.2 Pre-application design and response

The information submitted for the pre-application in September 2020 proposed a similar scope and scale of project. Since the pre-application and response, the proposals have been developed in detail taking into account LPA comments and a wider range of policy along with a more thorough assessment of the impact on the immediate location and the wider affects on the Bamff Estate. The main adjustments in relation to design are outlined below.

The new studio building has moved further north into the clearing and the massing and form has become more consistent with the pitched roof form of the existing Burnished building. The proposed structures now share a similar expression in material and construction and represent a more coherent grouping.

The construction methodology for re-using the existing buildings has been refined, particularly in relation to the Burnished ruin and kennel. The existing walls will no longer be relied upon for support, with standalone structures built within the existing walls. The pre-application designs proposed to use the existing stone walls to support the new interventions.

A sheet metal roof will be installed over the structure within the Burnished ruin in lieu of a glass roof to mitigate light pollution and disturbance to local biodiversity.



- | | |
|---|-----------------|
| 1 | Burnished Ruin |
| 2 | Burnished House |
| 3 | Kennels |
| 4 | New Studio |
| 5 | Outbuilding |

Site Overview
Model photograph



West Elevation
Model photograph



Planning & Development
Head of Service David Littlejohn

Pullar House
35 Kinnoull Street,
PERTH PH1 5GD

Tel 01738 475300

RefNo 20/00449/PREAPP

Date 29 September 2020

Mr George Finlay Ramsay
c/o Mr Paul Maich
Maich Swift Architects
8 Compton Terrace
London
N1 2UN

Dear Sir/Madam,

Town and Country Planning (Scotland) Act, 1997

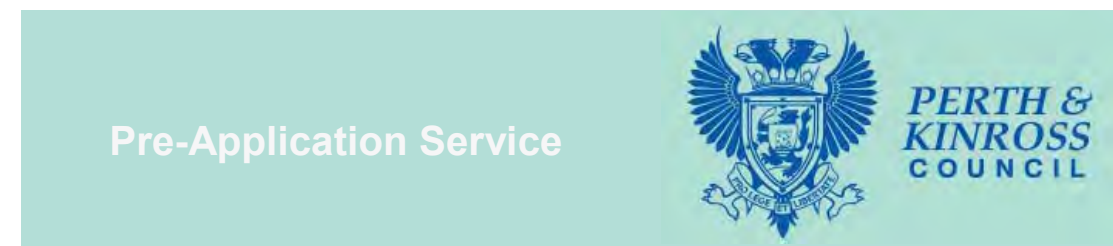
RE: Development of the existing Burnished buildings on the Bamff Estate Alyth Blairgowrie PH11 8LF

Please find attached a response to your pre application enquiry.

Yours faithfully

John Russell

Development Management Officer



NON-HOUSEHOLDER PRE-APPLICATION ADVICE

All applicants are advised that Perth & Kinross Council encourages the completion of Processing Agreements with all planning applications. The Agreement will set out timescales for the processing of the application, the submission of additional information if required and a target date for the decision or committee date.

All comments are based on the information submitted and are made without prejudice to any decision Perth & Kinross Council may make in the future. It is not usually possible for an officer to visit the site or consult on a proposal at the pre-application stage but these are part of the formal planning application process, as is public notification. Additional issues may arise as a result of detailed analysis of any submitted application, associated plans and supporting documentation.

Further discussion on a revised proposal will normally require to be the subject of a fresh pre-application enquiry (and incurring a further fee). Clarification of comments contained below can be provided by the case officer but no further discussion will be entered into at this stage as to how the policies are interpreted or applied.

CASE DETAILS	
Reference number of pre-app	20/00449/PREAPP
Site Address/location	Bamff Estate Alyth Blairgowrie PH11 8LF
Details of Proposal	Development of the existing Burnished buildings for artist studios residences.
Case Officer	John Russell
Date	29 September 2020

SITE DESIGNATIONS AND CONSTRAINTS
Site is located within Ancient Woodland
Close proximity to CATERAN TRAIL
Water course to East and South – connects to River Isla (Catchment of River Tay SAC)
Pond to South

Potential Bio-Diversity resource on site (Bats and Birds) Buildings and trees.	
RELEVANT PLANNING POLICIES AND GUIDANCE	
TAYplan2 Policies https://www.tayplan-sdpa.gov.uk/strategic_development_plan	TAYPlan sets out a vision for how the region will be in 2036 and what must occur to bring about change to achieve this vision. The vision for the area as set out in the plans states that: "By 2036 the TAYplan area will be sustainable, more attractive, competitive and vibrant without creating an unacceptable burden on our planet. The quality of life will make it a place of first choice where more people choose to live, work, study and visit, and where businesses choose to invest and create jobs" The following sections of the TAYplan 2016 will be of particular importance in the assessment of this proposal. Policy 1: Locational Priorities Policy 4: Homes Policy 6: Developer Contributions Policy 9: Managing TAYplan's Assets
Perth & Kinross Local Development Plan Policies www.pkc.gov.uk/developmentplan	The Local Development Plan 2 is the most recent statement of Council policy and is augmented by Supplementary Guidance. The principal policies are: Policy 1A: Placemaking Policy 1B: Placemaking Policy 2: Design Statements Policy 5: Infrastructure Contributions Policy 6: Settlement Boundaries Policy 8: Rural Business and Diversification Policy 9: Caravan Sites, Chalets and Timeshare Development Policy 15: Public Access Policy 40A: Forestry, Woodland and Trees: Forest and Woodland Strategy Policy 40B: Forestry, Woodland and Trees: Trees, Woodland and Development Policy 41: Biodiversity Policy 47: River Tay Catchment Area

	Policy 53B: Water Environment and Drainage: Foul Drainage Policy 53C: Water Environment and Drainage: Surface Water Drainage Policy 60B: Transport Standards and Accessibility Requirements: New Development Proposals
Other Policies and Guidance https://beta.gov.scot/policies/planning-architecture/planning-guidance/ https://www.pkc.gov.uk/ldp2guidance	National Creating Places: A policy statement on architecture and place for Scotland 2013 National Roads Development Guide 2014 Perth & Kinross Council Developer contributions PKC Placemaking Guide River Tay Catchment https://www.pkc.gov.uk/media/37577/River-Tay-SPG-Final-2016/pdf/River_Tay_SPG_Final_2016.pdf?m=636108416088970000
LIKELY CONSULTTEES	
PKC Internal	Transport Planning Environmental Health Development Negotiations Officer (Contributions) Biodiversity
External	Scottish Water Potentially Scottish Environmental Protection Agency
SUMMARY OF CONSIDERATIONS	
Planning Principle I note from our telephone discussion that the Burnished buildings and associated ancillary structures/studios are to be utilised on a short-term basis for artists and not as a principal private residence(s). Accordingly the Developer Contributions Policy will not be engaged. On this basis I consider that Policy 8: Rural Business and Diversification is of relevance in the determination of this tourist/artist related development you intend to bring forward on the site. This confirms that the Council will give favourable consideration to the expansion of existing businesses and the creation of new ones in rural areas. There is a preference that this will generally be within or adjacent to existing settlements. Sites outwith settlements may be acceptable where they offer opportunities to diversify an existing business or are related to	

an existing site- specific resource or opportunity.

From my review of the plans the Burnished buildings are an existing site specific resource out with a settlement.

With regards to the detailed criterion within Policy 8 the proposal will:-

- (a) contribute to the local economy by providing specific artist visitor accommodation and studio space and it also re-uses existing buildings.
 - (b) The proposal will not result in suburbanisation of the rural area. While the site is likely to be access by motor vehicle I consider this can be justified given the tranquillity that the accommodation seeks to offer. I also note that the site can also be accessed by the Cateran Trail, see also policy 15.
 - (c) the proposal is compatible with the surrounding land uses and will not detrimentally impact on the amenity of residential properties
 - (d) The proposal can be satisfactorily accommodated within the landscape (clarity on relationship to existing trees required with possible compensatory planting if felling required, see policy 40A and 40B.
 - (e) The proposal meets a specific need by virtue of its quality and location as detailed in you comprehensive pre-application submission.
 - (f) The new buildings, extensions/refurbishment are of a high-quality design to reflect the rural nature of the site and are in keeping with the scale of the existing buildings.
 - (g) I consider the local road network can accommodate the scale of development. Further clarity will be required on the location and specification of parking.
- Criterion (h) and (i) are not engaged.

Policy 9: Caravan Sites, Chalets and Timeshare Development, see 9C also relates to short term accommodation for tourists and provides favourable consideration to new chalet and timeshare/fractional ownership developments where it is clear these cannot be used as permanent residences. In this case I note the criterion (a) and (b) of 9C are not engaged. However, criterion (c) is applicable; this requires the development to meet a specific need for the holiday accommodation by virtue of its quality or location in relation to existing tourist facilities. This is a similar test to criterion (e) of Policy 8 and I have already provided commentary on this matter above.

Placemaking and Landscape

Your submitted supporting statement already highlights the design aspirations for the site as well as the landscape context and how it relates to the wider Bamff Estate. This should be submitted with any subsequent application as it will allow assessment against policy PM1A, PM1B (Placemaking) and Policy 39 (Landscape).

River Tay Catchment and Drainage.

Policy 47: River Tay Catchment Area are also applicable to the assessment of the application. Details on the proposed drainage design for the site will be required. You should take cognisance of the River Tay Supplementary Planning Guidance on the extent of information to submit with your application as an appropriate assessment will have to be undertaken. Please note that the requirements under Policy 47 will likely require a higher standard of treatment of foul water than Policy 53B. You should review the policies and guidance note and how this relates to your proposed composting toilet strategy.

Details of surface water disposal will be required for new areas of hardstanding, see Policy 53C.

Details of the Private Water supply will also be required to enable an assessment against Policy 53E.

Please note that drainage will need to be detailed within the redline boundary of the site and you should take cognisance of the HOPS validation guidance:- <https://hopsotland.files.wordpress.com/2013/03/hops-validation-determination-guidance-280317.pdf>

Bio-Diversity

You should engage an ecologist to advise on how your scheme relates the sites bio-diversity resource (potentially bats, birds and potentially otters). If there is an impact on this resource, then you should incorporate mitigation measures into your scheme.

Roads Access and Parking

An internal consultation with the Council's Transport Planning team will take place to assist with the assessment against Policy 60B. You should make yourself familiar with the content and requirements of the National Roads Development Guide in relation to visibility splays at the public road and the extent of car parking required. The proposal should detail the location and specification of car parking. Details of the waste collection point should also be included. I would suggest you also give some consideration to the provision of cycle storage to encourage active travel.

PLANS AND DOCUMENTS REQUIRED WITH PLANNING APPLICATION SUBMISSION

For information on what you will need to submit with your application please see our [application checklists](#) which can be found on our website at www.pk.gov.uk/planning . The document [Additional Supporting Information Guidance](#) identifies the circumstances where further information will be required to allow us and consultees to fully consider your planning application. Failure to provide this information at the time of submission may delay the consideration of your application.

PLEASE NOTE THAT THIS RESPONSE IS THE CONSIDERED OPINION OF A PLANNING OFFICER. NO FURTHER DISCUSSION WILL BE ENTERED INTO AS TO HOW THE POLICIES ARE INTERPRETED OR APPLIED.

Reviewed November 2018

Burnished

Ecological Survey

Author :	Alan Ross MCIEEM	27.4.21

Alisma Ecology Ltd, 22 Ardblair road, Blairgowrie 01250 876536

SUMMARY

It is considered that the proposed development will not have an adverse impact upon protected species.

A badger sett and beaver burrows were recorded within the survey reach, but both are > 200m from works and considered to be outwith disturbance distance, especially given the

light nature of the works. Barn owl was also suspected of nesting near the main building in an artificial nest box and there was a remote potential for bat roosting in the front panels of the main building south wall, although no roosting activity was confirmed. Precautionary mitigation measures are suggested in point 4. – Potential impacts and mitigation.

Contents

Summary..... 1

1. INTRODUCTION 2

2. Methodology 3

3. Results 3

 3.1 Nesting birds 3

 3.2 Mammals 3

 3.2.1 Beaver and Otter 3

 3.2.2 Badger 4

 3.2.3 Bats 4

 3.2.4 Water vole 4

 3.2.5 Pine marten 4

 3.3 Reptiles 4

4. Potential impact and mitigation 4

 4.1 Breeding birds 4

 4.2 Beaver and Otter 5

 4.3 Badger 5

 4.4 Bats 5

5. Conclusions 6

1. INTRODUCTION

This report outlines the findings of a protected species ecological survey carried out on the 25.4.21 on Burnished house, Bamff Estate, Alyth to inform a planning application to upgrade the existing house and kennels and construct additional buildings in the nearby vicinity.

2. METHODOLOGY

2.1 Ecological Survey

The scope of the survey was informed by examination of records currently available on the website of the National Biodiversity Network (<https://nbnatlas.org/>) and by the local knowledge and experience of the surveyor.

Species searched for included principally otter, beaver, water vole, badger and pine marten, together with breeding birds and reptiles. Signs searched for, over and above a general assessment of habitat suitability, included tracks and footprints, feeding signs (prey items, scrapes), droppings (scats latrines, spraints), shed hair, burrows (setts, holts, dens), and odour at such sites.

Structural microhabitats were assessed for evidence for bats. The upper interior / roof space of the building was also walked over to check for droppings either on the wooden floor, or the wooden support beams of the roof structure. A similar survey was also carried out in the two smaller kennel ruins in front of the house.

The extent of survey included an area within 250m of proposed works.

No constraints were experienced during the survey and all land within the study area could be accessed for survey.

3. RESULTS

3.1 Nesting birds

No nesting birds were recorded within the works footprint. There has been nesting barn owls in previous years in the main building. In order to lure the birds out of the building in preparation for the development an artificial barn owl nesting box was installed on a tree in the immediate vicinity of the site in 2018 and, barn owls have since been recorded using the box. Barn owl feathers and pellets were recorded beneath the box during the visit. No evidence of nesting in the building was observed during the visit, although monitoring is continuing.

3.2 Mammals

3.2.1 Beaver and Otter

Beaver lodges exist on the nearby watercourse, with several beaver burrows located along its stretch. The nearest occupied burrow is over 200m away and not within disturbance distance. Otter activity was also confirmed, evidenced by otter spraints on each of the beaver dams. No holts were found within the survey reach.

3.2.2 Badger

An active badger sett is located approximately 200m NE of the nearest proposed construction. The sett is situated within deciduous woodland and surrounded by an understorey of dense tree regeneration, effectively screening it from most angles.

3.2.3 Bats

No evidence of bat roosting was found within any of the ruins. No droppings were found in the upper void of the main building under the roof section. There is however limited potential for temporary roosting under the south facing wooden panels along the bottom and, for this reason mitigation measures have been suggested – see point 4.4

3.2.4 Water vole

No evidence of water vole was found, although the habitat created by beaver activity is considered optimal habitat.

3.2.5 Pine marten

No pine marten den sites were found within the survey area, although marten scats were found along the watercourse and in the nearby woodlands on the far side of the watercourse.

3.3 Reptiles

No reptiles were found during the survey. The habitat is considered to be sub optimal for reptiles due to the shading of the nearby woodland.

4. POTENTIAL IMPACT AND MITIGATION

4.1 Breeding birds

Potential impact : Disturbance to breeding barn owls

No disturbance to breeding barn owls is anticipated, however the following mitigation measures are suggested as additional precaution.

- Construction lighting should not illuminate the barn owl nesting box location. Permanent or on/off security lighting should not be installed on the east facing wall facing the nesting box, in order to reduce potential disturbance of nesting owls. It should be noted that barn owls use their breeding sites throughout the year, not just for breeding purposes.
- Construction works in the immediate outside vicinity should cease one hour before dusk and resume not earlier than one hour after sun rise during the breeding season - usually Spring to Autumn.

- Temporary protection measures such as rope and canes should be placed around the front of the nest tree to prevent workers from entering the nesting site and causing accidental disturbance.
- All site workers should be made aware of the owls presence and requested to avoid the location during day to day activities.

4.2 Beaver and Otter

Potential impact : Disturbance to otters and beavers

No disturbance to otter and beaver is anticipated from the works, although the following mitigation measures are suggested as additional precaution.

- Lighting at night should not illuminate the watercourse.

4.3 Badger

Potential impact : Disturbance to badgers

No disturbance to the badger sett is anticipated from works. The set is well protected within woodland and outside of any potential disturbance distance. Additionally, the local badgers are already desensitised to human activities in the immediate vicinity.

4.4 Bats

Potential impact : Disturbance to roosting bats

No disturbance to bats is anticipated from the works, although a precautionary approach is recommended. If the front panel shown in the image below is to be removed and replaced with like for like, then the following mitigation measures are suggested.

- The panel should be removed over winter months – November to early March.
- A compensatory bat box should be installed in the nearby vicinity over the summer of 2021 to offset any potential loss of roosting from the old panel. There are several rocket boxes installed on the estate which have proved to be highly attractive to several species of bats for roosting, breeding and over wintering. This type of box is recommended. Alternatively a few of the smaller woodcrete type boxes would suffice.



5. CONCLUSIONS

No disturbance to protected species is anticipated from the proposed works.

9.0 Appendix

9.3 SEPA Email Response

Paul Maich

Subject: FW: Composting Toilet - Burnished buildings at Bamff Estate
Attachments: 126_Project Summary 210429.pdf

From: Jardine, Andrew <andrew.jardine@sepa.org.uk>
Sent: 10 May 2021 10:52
To: Charlie Hurley <charlie@maichswift.com>
Cc: Ross, Graham <Graham.Ross@SEPA.org.uk>
Subject: Composting Toilet - Burnished buildings at Bamff Estate

OFFICIAL – BUSINESS

Hi Charlie,

Composting Toilet - Burnished buildings at Bamff Estate

Thanks for the additional information. SEPA understand that composting toilets can provide an alternative to traditional foul drainage options in remote places. As the compost toilet is a self-contained unit, there are no effluent emissions therefore there is no requirement for any formal SEPA effluent disposal permission, therefore the key is that the compost waste is managed in accordance with the waste management duty of care as referenced in GPP 4: <https://www.netregs.org.uk/media/1471/gpp4-20171114-online-v2.pdf>. (ref 31-34 page 28). The waste management duty of care refers to the Paragraph 8 waste exemption for the use of the sludge: <https://www.sepa.org.uk/media/105222/the-storage-and-spreading-of-sludge-technical-guidance-note-for-paragraph-8-exemptions.pdf>

So provided the end users of the composting toilet can comply with the waste management duty of care then the local SEPA team have no further representation to make regarding the development. If the waste management exemption cannot be satisfied on site by the end user of the composting toilet, the waste should be removed and disposed of by a licenced carrier and taken to a licenced facility capable of managing the waste.

Hope that helps. If the council planners need to speak to me please provide them my contact details and you can use this email as part of your planning documents.

[Paragraph 8 Exemption: Storage and use of sewage sludge](#)
Technical Guidance Note Paragraph 8 Exemption: Storage and use of sewage sludge WMX-TG8 v2 January 2020 Page 3 of 7 single notifications for multiple farms where the farms neighbour one another and are managed as one unit and which are, as a result of amalgamation of farm
www.sepa.org.uk

kind regards

Andrew Jardine
Environment Protection Officer
Compliance and Beyond
Unit 17
Lindsay Street
Arbroath
DD11 1RP

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