

TON CRESCENT SWIX 8RX

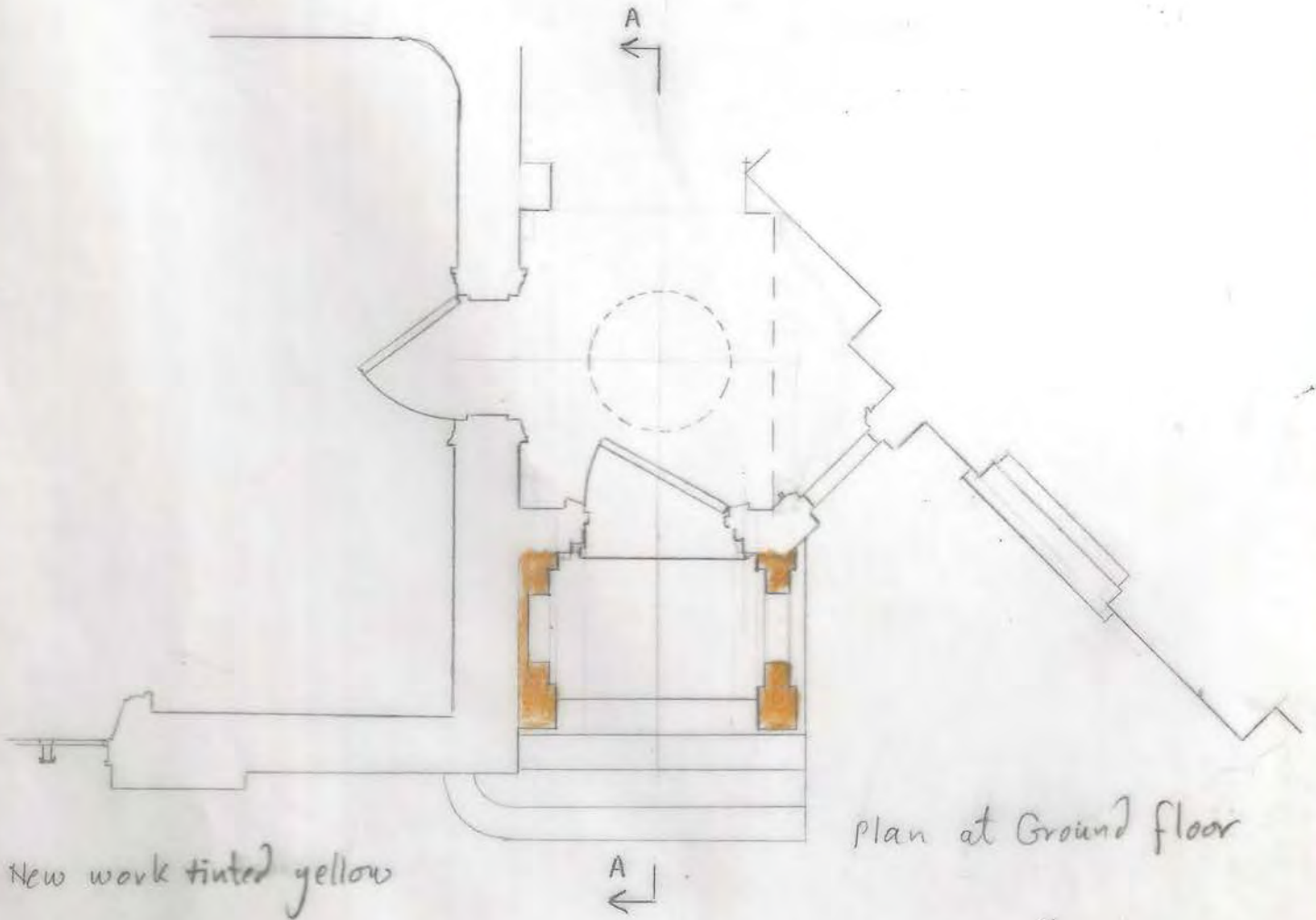
FOR INFORMATION ONLY - AS PREVIOUSLY
APPROVED UNDER APPLICATIONS 19/07687/
FULL & 19/07732/LBC



LOWING PROPOSED NEW PORTICO
terpowlesland.com

scale 1/50
Drawing WCP 001

FOR INFORMATION ONLY - AS PREVIOUSLY
APPROVED UNDER APPLICATIONS 19/07687/
FULL & 19/07732/LBC



Proposed new Portico

22.iii.2016

31, Wilton Crescent, SW1X 8RX

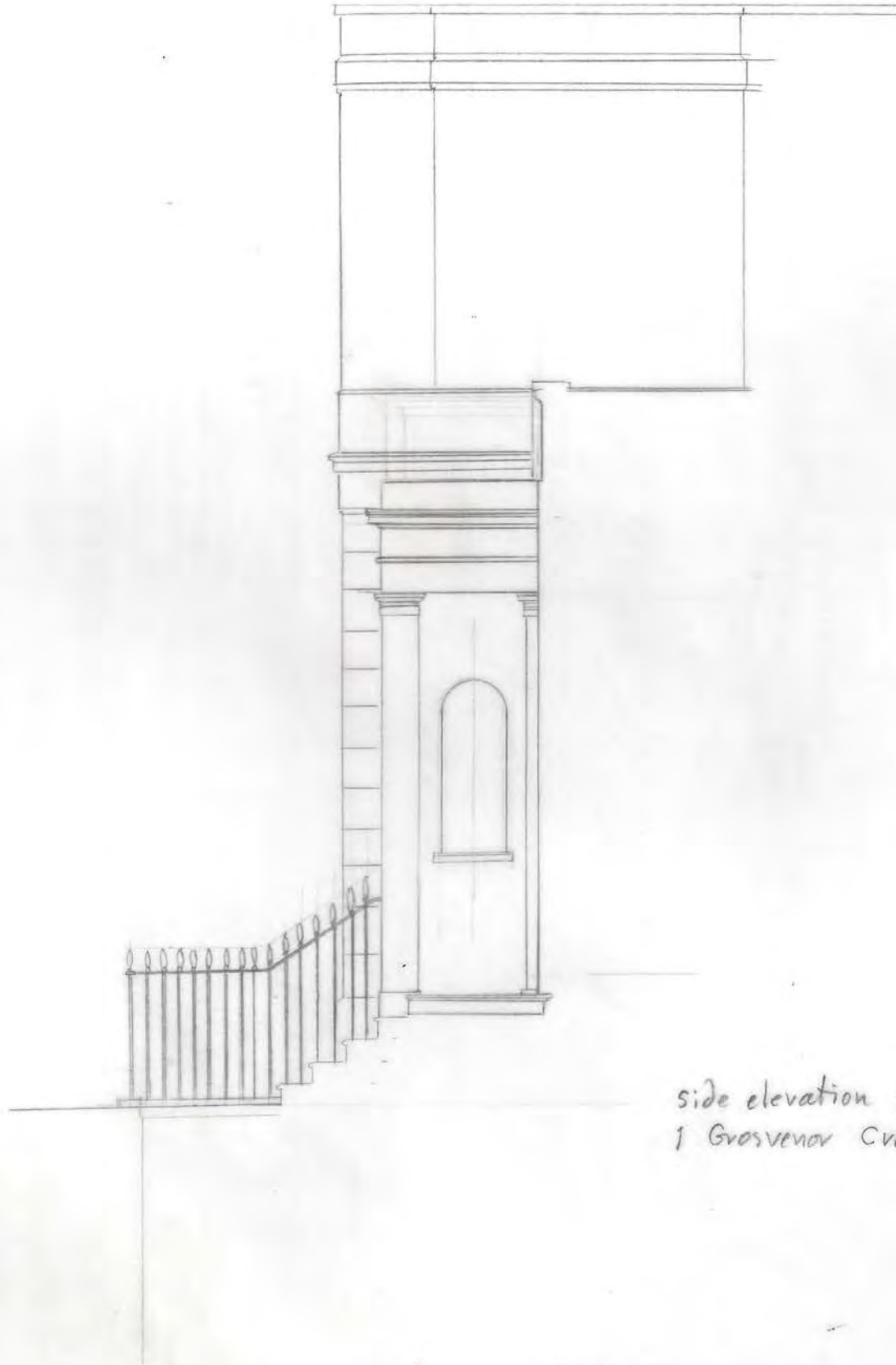
Peter Powles

peter@peterpowlesland.com

scale 1/50

Drawing WCP 002

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APPROVED UNDER APPLICATIONS 19/07687/
FULL & 19/07732/LBC



side elevation facing
1 Grosvenor Crescent.

22. III. 2016

Proposed new Portico
31 Wilton Crescent, SW1X 8RX

Peter Powlesland

peter@peterpowlesland.com

scale 1/50
Drawing WCP 003



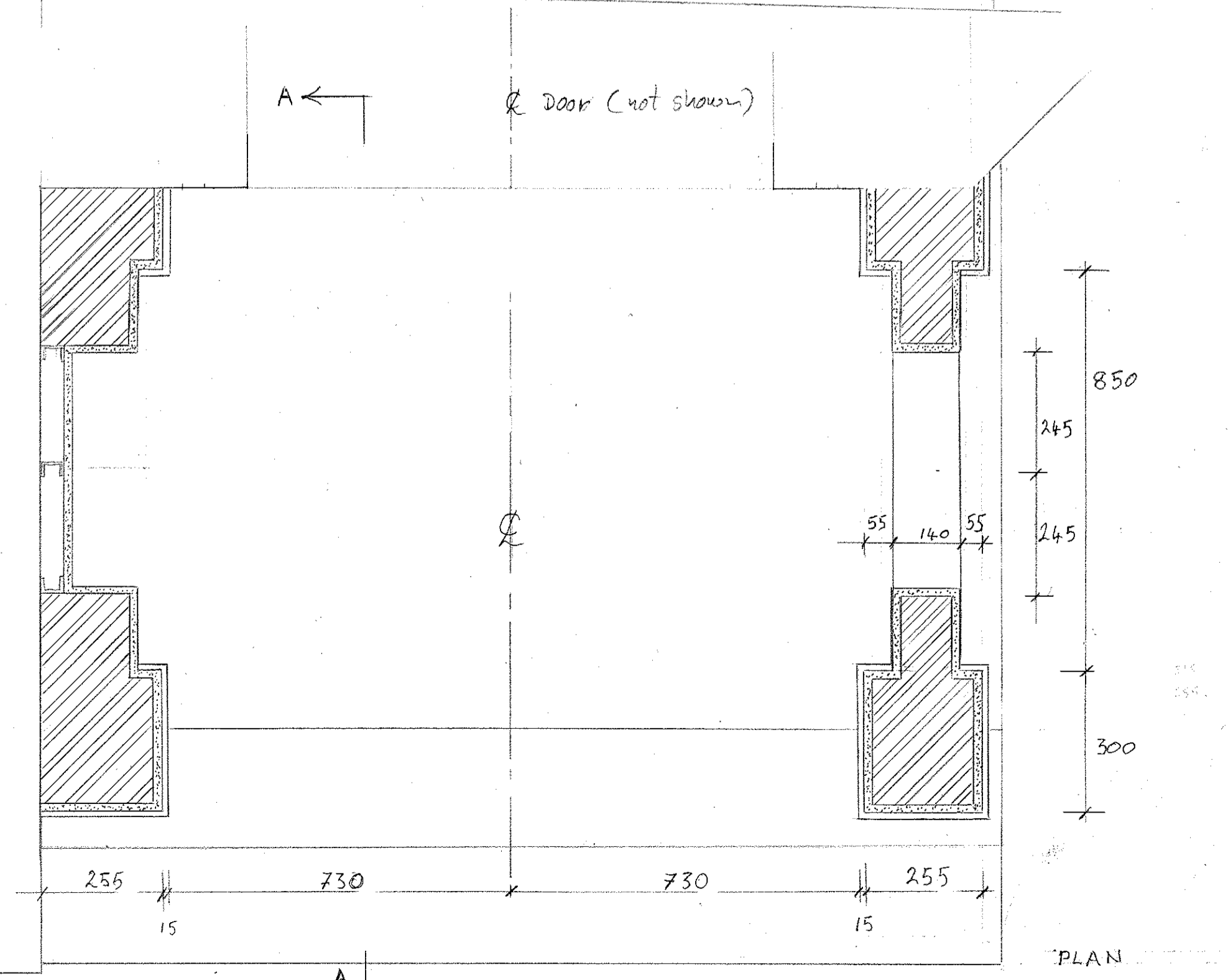
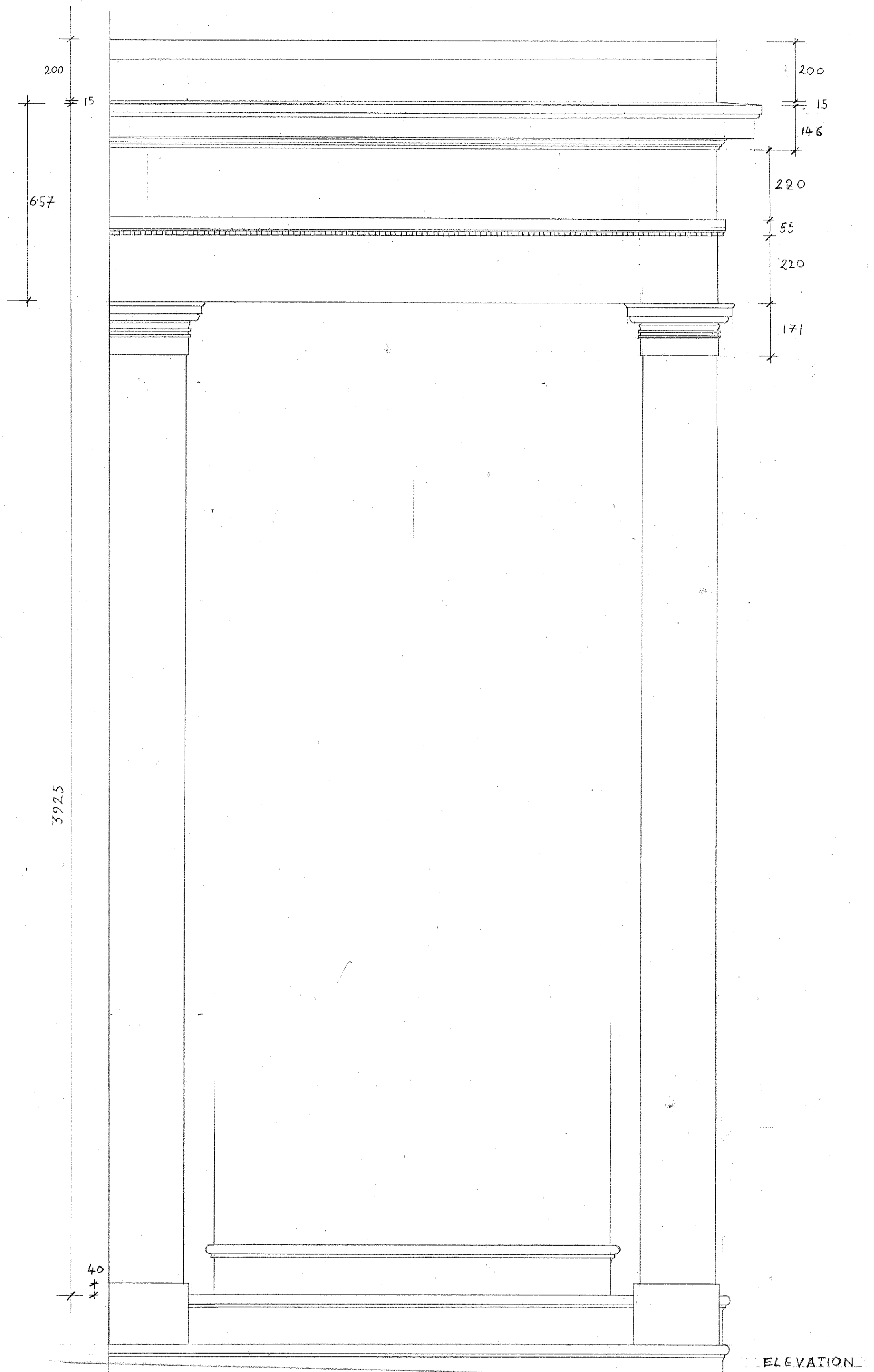
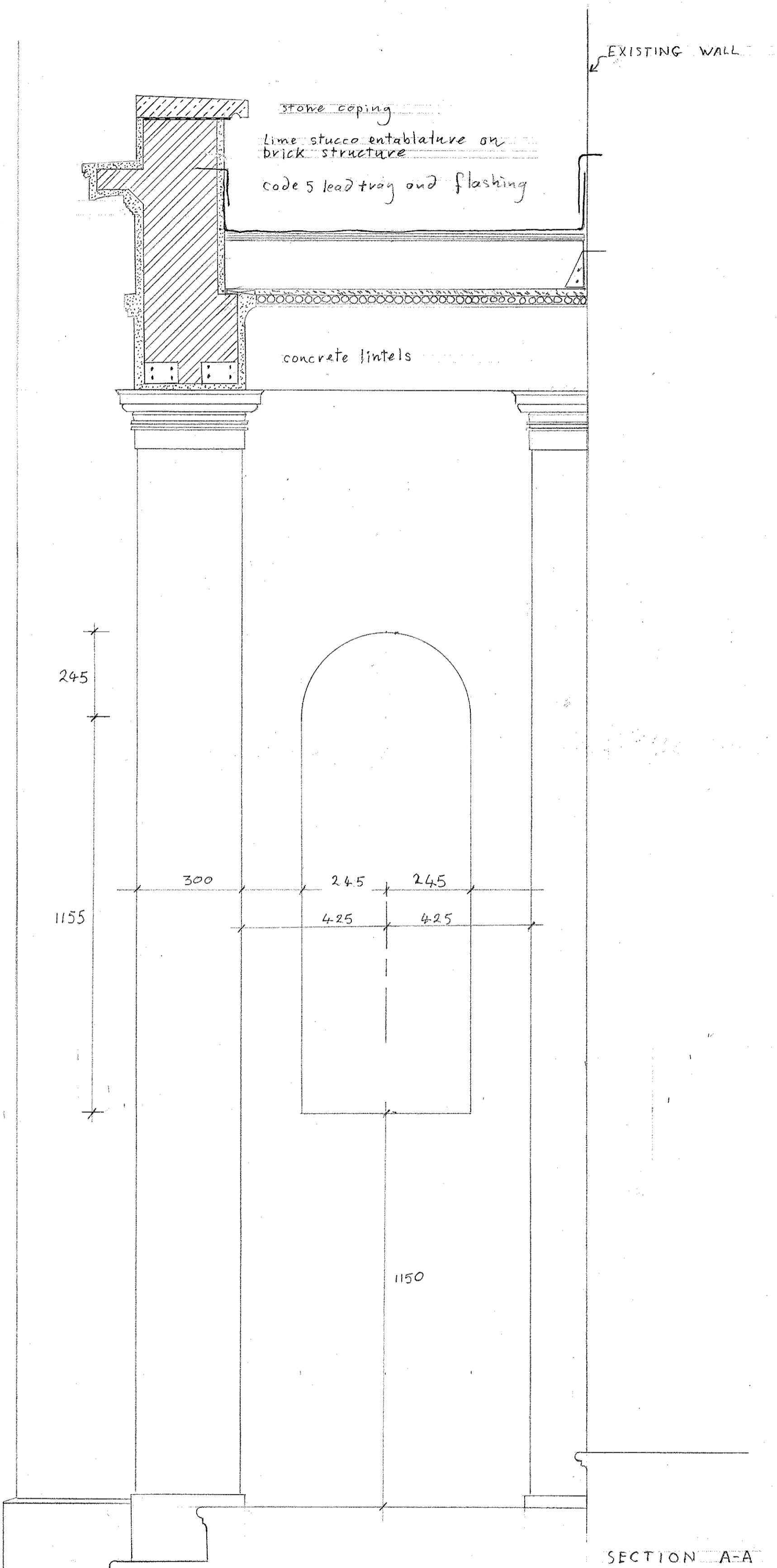
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APPROVED UNDER APPLICATIONS 19/07687/
FULL & 19/07732/LBC

22. III. 2016

Peter Paul

Proposed Portico at
31, Wilton Crescent, SW1X

REV. A 29.4.16
Drawing WCP 005A

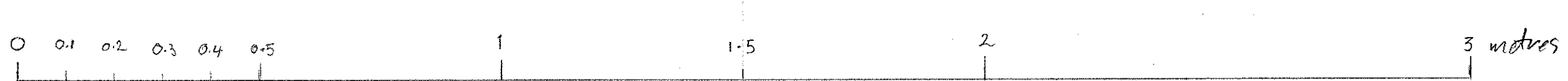


FOR INFORMATION ONLY - AS PREVIOUSLY APPROVED UNDER APPLICATIONS 19/07687/ FULL & 19/07732/LBC

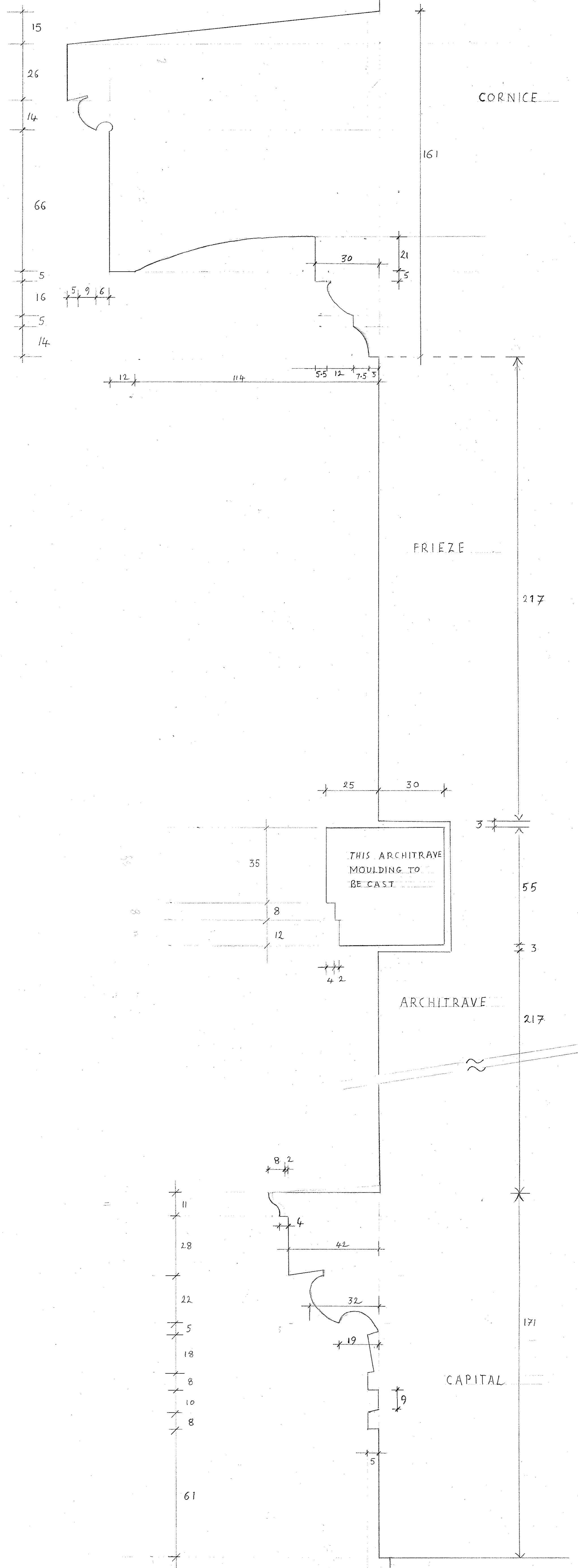
PROPOSED PORTICO AT 31, WILTON CRESCENT, SW1X 8RX

peter@peterpoulesland.com

6. VI. 2017
Peter Poulesland



Rev. "A" 28.6.2017
SCALE 1/10
DRAWING WCP_006A



FOR INFORMATION ONLY - AS PREVIOUSLY APPROVED UNDER APPLICATIONS 19/07687/ FULL & 19/07732/LBC

FULL-SIZE PROFILES FOR CAPITAL, ARCHITRAVE, FRIEZE AND CORNICE

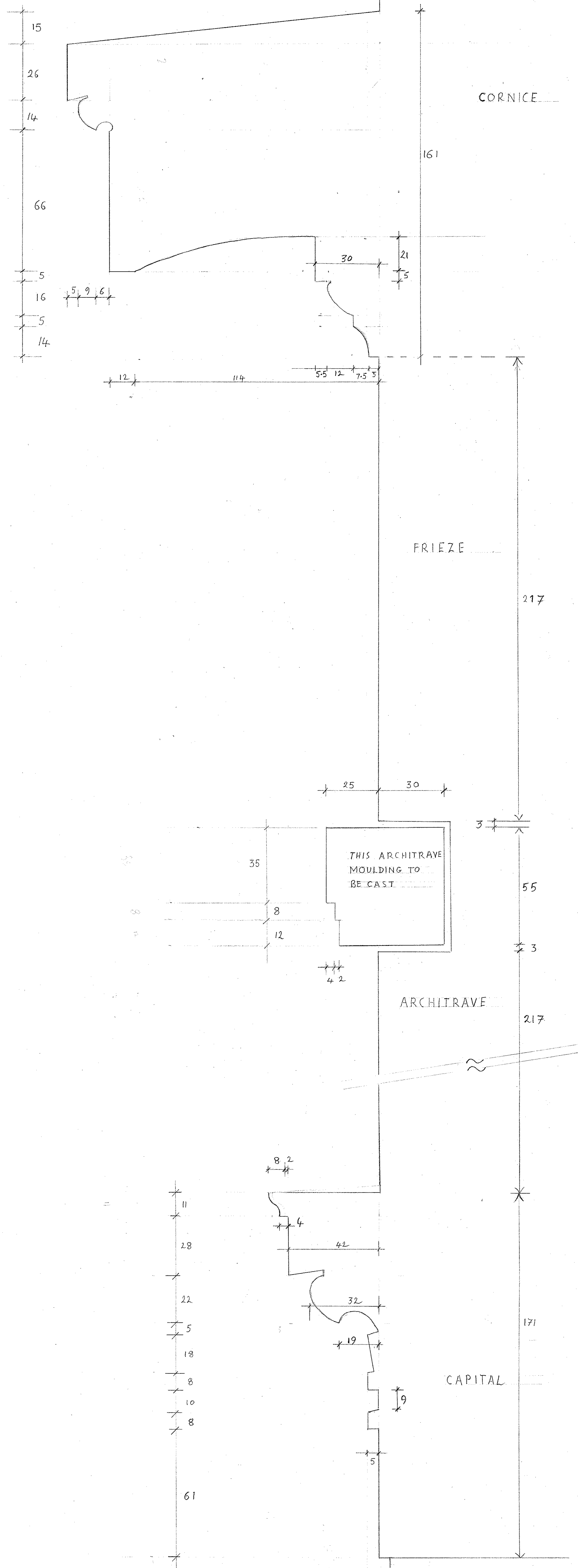
PROPOSED PORTICO AT 31, WILTON CRESCENT, SW1

peter@peterpowlesland.com

REV 'A' 28.6.2017

SCALE FULL-SIZE
DRAWING NUMBER WCP 007A

6.VI.2017
Peter Powlesland



FULL-SIZE PROFILES FOR CAPITAL, ARCHITRAVE, FRIEZE AND CORNICE

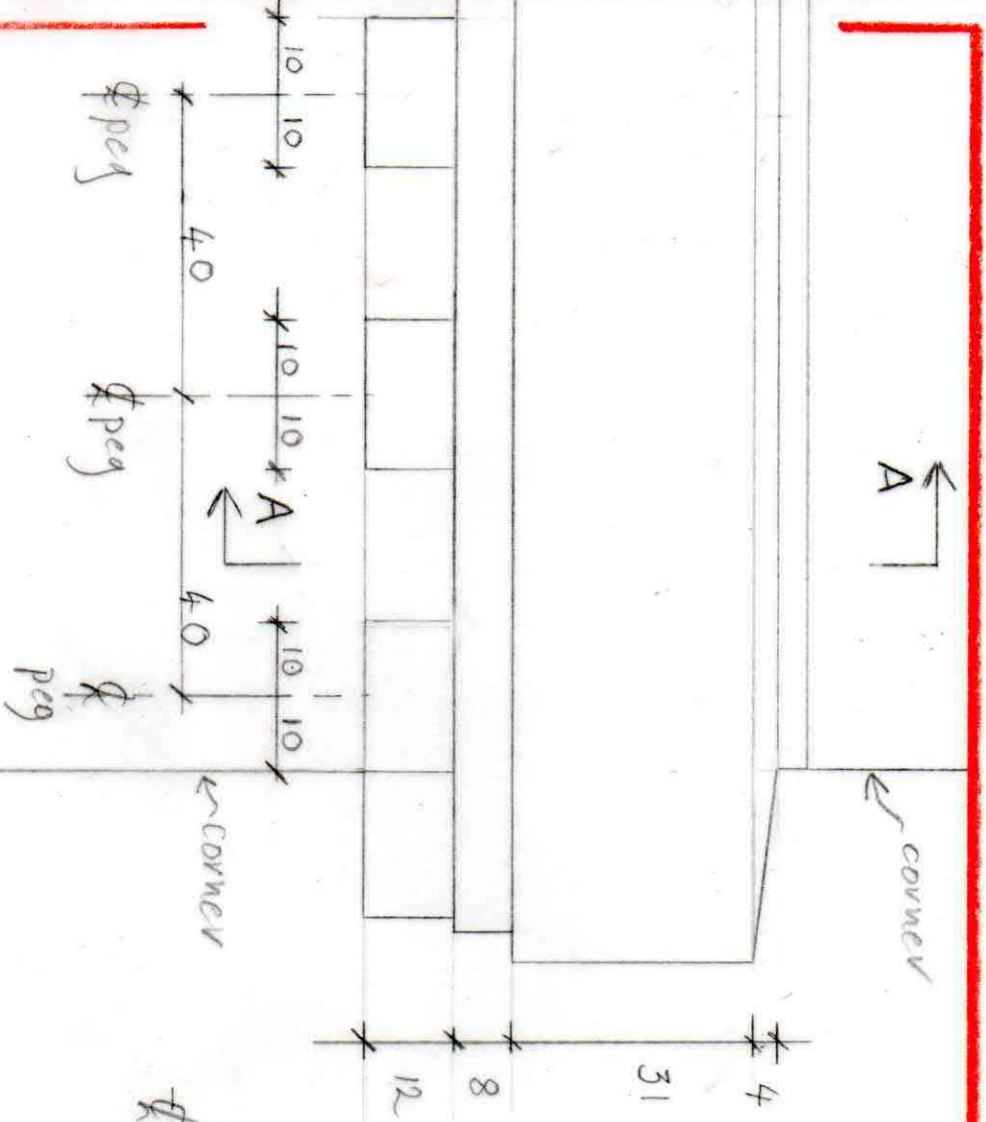
PROPOSED PORTICO AT 31, WILTON CRESCENT, SW1

peter@peterpowlesland.com

REV 'A' 28.6.2017

SCALE FULL-SIZE
DRAWING NUMBER WCP007A

6.VI.2017
Peter Powlesland

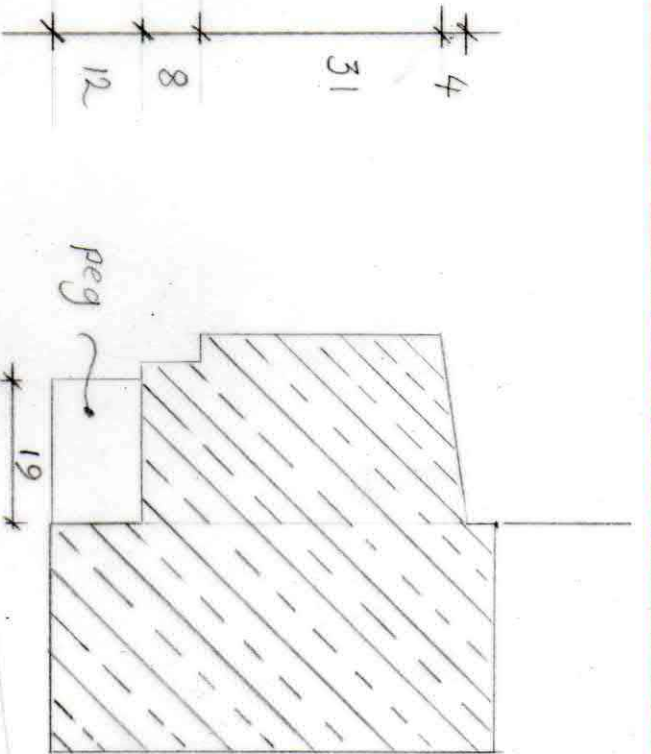


PART FRONT ELEVATION
SHOWING CORNER

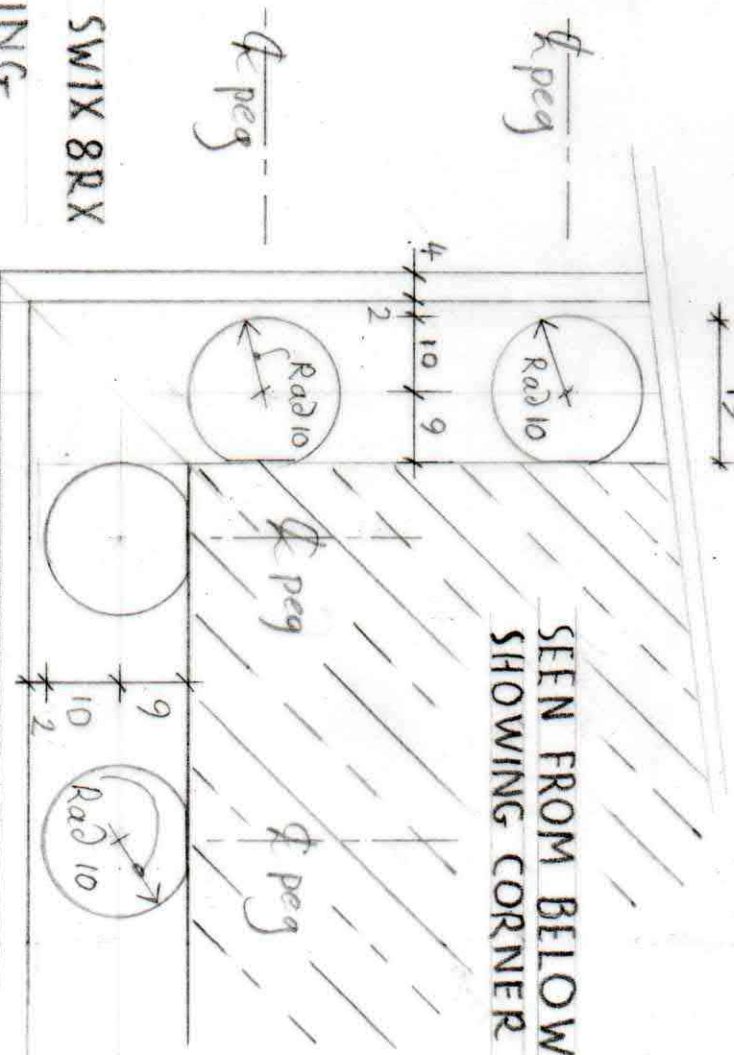
PROPOSED PORTICO AT 31 WILTON CRESCENT SWIX 8RX
FULL-SIZE DETAIL OF ARCHITRAVE MOULDING

12.11.2021

Peter Powlesland



SECTION A-A



SEEN FROM BELOW
SHOWING CORNER

peter@peterpowlesland.com

Scale: Full-size
Drawing WCP 008

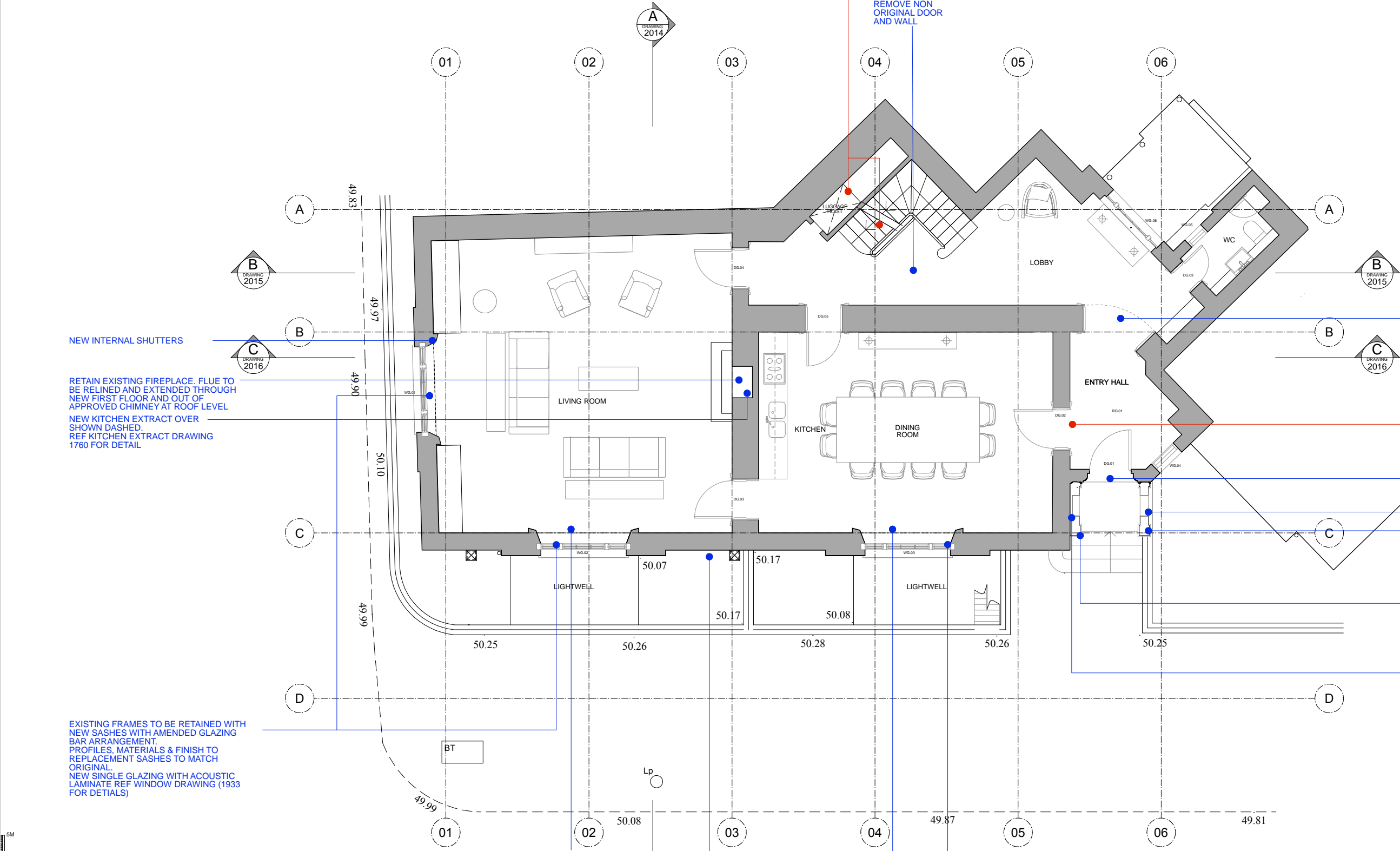
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NOTES
 NEW DOORS, SKIRTINGS + CORNICES TO FIRST FLOOR & LOWER GROUND FLOOR
 NEW WINDOWS AND GLAZED DOORS ARE TO MATCH THE STYLE OF THE EXISTING WINDOWS. ALL EXTERNAL WINDOWS AND GLAZED DOORS WILL BE FITTED WITH ACOUSTIC SINGLE GLAZING (REFER TO DRAWINGS 2033 AND 2034 AND SPECIFICATION)
 NEW DOORS THROUGHOUT ALL SKIRTING AND ARCHITRAVES TO REMAIN AS EXISTING AT GROUND FLOOR LIVING ROOM, DINING ROOM, KITCHEN WITH NEW DOOR LEAFS, NEW ARCHITRAVES TO MATCH EXISTING WHERE NECESSARY ON GROUND FLOOR.
 NEW FLOOR FINISHES ON ALL FLOORS BUT EXISTING LEVELS MAINTAINED UNLESS OTHERWISE NOTED.

PLANNING LEGEND:
 ANNOTATIONS IN BLUE DENOTE ITEMS OF SCHEME ALREADY APPROVED UNDER 18/07896/FULL & 18/07897/LBC
 ANNOTATIONS IN RED DENOTE NEW / ALTERED ITEMS FOR CONSIDERATION IN THIS APPLICATION

NEW STAIR LAYOUT IN PREVIOUSLY APPROVED LOCATION TO INCLUDED RECLOSED LUGGAGE HOIST OUT OF THE PRINCIPLE ROOMS TO A MORE SUITABLE AND DISCRETE LOCATION, AS APPROVED IN APPLICATION 19/06052/LBC

REMOVE NON ORIGINAL DOOR AND WALL



NEW INTERNAL SHUTTERS

RETAIN EXISTING FIREPLACE. FLUE TO BE RELINED AND EXTENDED THROUGH NEW FIRST FLOOR AND OUT OF APPROVED CHIMNEY AT ROOF LEVEL
 NEW KITCHEN EXTRACT OVER SHOWN DASHED. REF KITCHEN EXTRACT DRAWING 1760 FOR DETAIL

EXISTING FRAMES TO BE RETAINED WITH NEW SASHES WITH AMENDED GLAZING BAR ARRANGEMENT. PROFILES, MATERIALS & FINISH TO REPLACEMENT SASHES TO MATCH ORIGINAL.
 NEW SINGLE GLAZING WITH ACOUSTIC LAMINATE REF WINDOW DRAWING (1933 FOR DETAILS)

NEW INTERNAL SHUTTERS

REPLACE EXISTING CORNICE WITH NEW CORNICE TO MATCH ORIGINAL DETAIL (AS SEEN ON 1-2 GROSVENOR CRESENT) SHOWN DASHED OVER.

NEW INTERNAL SHUTTERS

EXISTING FRAMES TO BE RETAINED WITH NEW SASHES WITH AMENDED GLAZING BAR ARRANGEMENT. PROFILES, MATERIALS & FINISH TO REPLACEMENT SASHES TO MATCH ORIGINAL.
 NEW SINGLE GLAZING WITH ACOUSTIC LAMINATE REF WINDOW DRAWING (1933 FOR DETAILS)

OPEN UP ENTRANCE SIMILAR TO WHAT WOULD HAVE BEEN ORIGINAL (REFER TO SECTION 1709 SHOWING OPENING)

EXISTING DOOR TO BE RETAINED

FRONT DOOR TO MATCH EXISTING WITH NEW FANLIGHT ABOVE - REFER TO ARCHITECTURAL ELEVATIONS AND HERITAGE STATEMENT

PROPOSED OPENING TO PORTICO WALL
 PAINTED STONE FINISH TO MATCH EXISTING STYLE. PAINTED RENDER FINISH TO SIDE WALL OF PORTICO TO MATCH EXISTING STYLE

PORTICO DETAILING TO MATCH APPROPRIATE STYLE OF CONSENTED SCHEME - REFER TO ARCHITECTURAL ELEVATIONS, HERITAGE AND PLANNING STATEMENTS FOR FURTHER INFORMATION

NICHE OPENING IN PROPOSED WALL

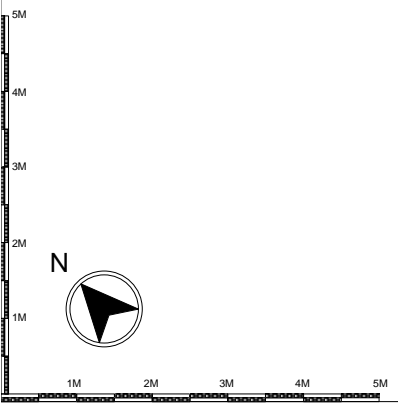
APPROVED GROUND FLOOR PLAN
 SCALE 1.50 @ A1, 1:100 @ A3

FOR INFORMATION ONLY - AS PREVIOUSLY APPROVED UNDER APPLICATIONS 19/07687/FULL & 19/07732/LBC

NO PROPOSED EXTERNAL CHANGES TO PREVIOUSLY APPROVED APPLICATION REF: 18/07896/FULL + 18/07897/LBC

P2.	02.10.19.	FOR PLANNING [NL]
P1	31.08.18	FOR PLANNING [JR]

REV	DATE	NOTES
moreno:masey architects+interiors		
t +44 20 3142 6554 www.morenomasey.com		
PROJECT 31 WILTON CRESCENT		
CLIENT LONDON REALTY		
DRAWING TITLE APPROVED GROUND FLOOR PLAN		
SCALE 1:50 @A1,1:100 @A3	DATE DEC 17	DRAWN MR
PROJECT NO. 14028	DWG NO. 1911	CHECK SM
		REVISION P2



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GENERAL NOTES
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 REVISION DATES MARKED ON THE DRAWING ARE STATED IN THE FOLLOWING ORDER: YEAR, MONTH, DAY (YY.MM.DD).
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NOTES
 NEW DOORS, SKIRTINGS + CORNICES TO FIRST FLOOR & LOWER GROUND FLOOR
 NEW WINDOWS AND GLAZED DOORS ARE TO MATCH THE STYLE OF THE EXISTING WINDOWS. ALL EXTERNAL WINDOWS AND GLAZED DOORS WILL BE FITTED WITH ACOUSTIC SINGLE GLAZING (REFER TO DRAWINGS 2033 AND 2034 AND SPECIFICATION)
 NEW DOORS THROUGHOUT ALL SKIRTING AND ARCHITRAVES TO REMAIN AS EXISTING AT GROUND FLOOR LIVING ROOM, DINING ROOM, KITCHEN WITH NEW DOOR LEAFS, NEW ARCHITRAVES TO MATCH EXISTING WHERE NECESSARY ON GROUND FLOOR.
 NEW FLOOR FINISHES ON ALL FLOORS BUT EXISTING LEVELS MAINTAINED UNLESS OTHERWISE NOTED.

PLANNING LEGEND:
 ANNOTATIONS IN BLUE DENOTE ITEMS OF SCHEME ALREADY APPROVED UNDER 18/07896/FULL & 18/07897/LBC
 ANNOTATIONS IN RED DENOTE NEW / ALTERED ITEMS FOR CONSIDERATION IN THIS APPLICATION

2X AC CONDENSER UNITS. PROPOSED STRENGTHENING OF EXISTING ROOF STRUCTURE UNDER UNITS AS REQUIRED BY STRUCTURAL ENGINEER.
 NEW ACOUSTIC LOUVRE ENCLOSURE TO ACOUSTIC CONSULTANTS SPECIFICATION
 MAINTENANCE ACCESS LADDER RUNGS FIXED ON WALL AS PREVIOUSLY APPROVED APPROXIMATE DIMENSIONS 200MM X 350MM. RELOCATED FROM PREVIOUS APPROVAL.
 PREVIOUSLY PROPOSED ROOFLIGHT NOW OMITTED
 NEW SPLAYED WALL (REFER TO DRAWING ELEVATION 3 1719) AMENDED TO ADDRESS NEIGHBOURS CONCERNS.
 REVISED BATHROOM LAYOUT

NEW STAIR LAYOUT IN PREVIOUSLY APPROVED LOCATION TO INCLUDED RELOCATED LUGGAGE HOIST OUT OF THE PRINCIPLE ROOMS TO A MORE SUITABLE AND DISCRETE LOCATION, AS APPROVED IN APPLICATION 19/06052/LBC
 EXTERNAL FIRST FLOOR EXTENSION REDUCED IN SIZE AND SHAPE AMENDED TO ADDRESS NEIGHBOUR'S CONCERNS

NEW FLAT CONSERVATIVE STYLE ROOFLIGHT IN PREVIOUSLY APPROVED LOCATION. SHAPE AMENDED TO RECTANGLE TO SUIT AMENDED STAIR BELOW. DIMENSIONS TO MATCH PREVIOUSLY APPROVED DUAL ROOFLIGHT

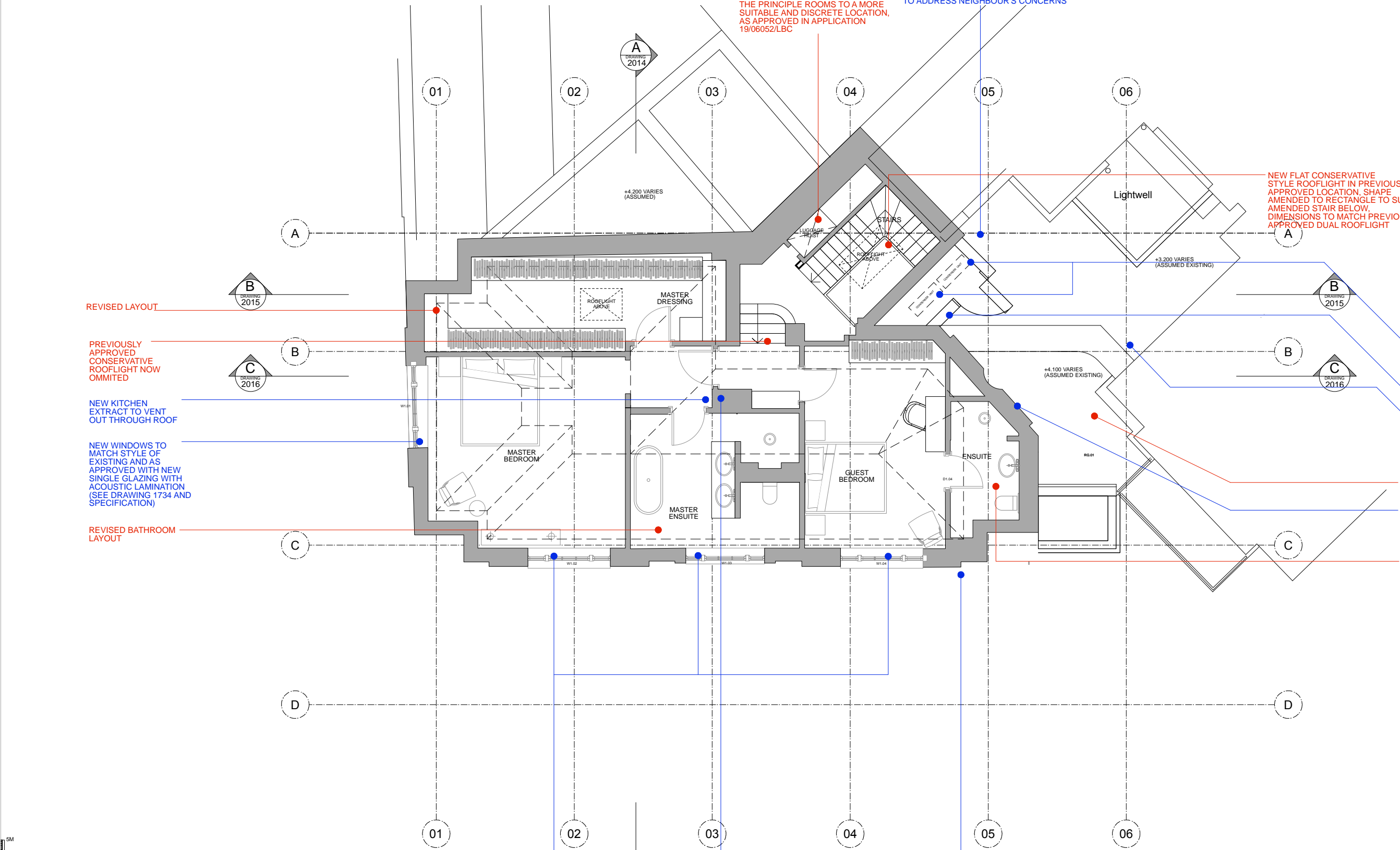
REVISED LAYOUT

PREVIOUSLY APPROVED CONSERVATIVE ROOFLIGHT NOW OMITTED

NEW KITCHEN EXTRACT TO VENT OUT THROUGH ROOF

NEW WINDOWS TO MATCH STYLE OF EXISTING AND AS APPROVED WITH NEW SINGLE GLAZING WITH ACOUSTIC LAMINATION (SEE DRAWING 1734 AND SPECIFICATION)

REVISED BATHROOM LAYOUT



APPROVED FIRST FLOOR PLAN
 SCALE 1.50 @ A1, 1:100 @ A3

FOR INFORMATION ONLY - AS PREVIOUSLY APPROVED UNDER APPLICATIONS 19/07687/FULL & 19/07732/LBC

NEW WINDOWS TO MATCH STYLE OF EXISTING AND AS APPROVED WITH NEW SINGLE GLAZING WITH ACOUSTIC LAMINATION (SEE DRAWING 1734 AND SPECIFICATION)
 NEW FLUE EXTENSION AND LINING FROM EXISTING FIREPLACE ON GROUND FLOOR TO EXTEND INTO PREVIOUSLY APPROVED CHIMNEY AT ROOF LEVEL.
 REPLACE EXISTING CORNICE WITH NEW CORNICE TO MATCH ORIGINAL DETAIL (AS SEEN ON 1-2 GROSVENOR CRESENT)

P2.	02.10.19	FOR PLANNING [NL]
P1	31.08.18	FOR PLANNING [JR]

REV	DATE	NOTES
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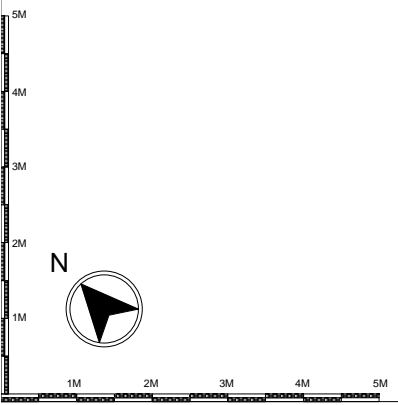
PROJECT
 31 WILTON CRESCENT

CLIENT
 LONDON REALTY

DRAWING TITLE
 APPROVED FIRST FLOOR PLAN

SCALE 1:50 @A1,1:100 @A3	DATE DEC 17	DRAWN JR	CHECK MR
PROJECT NO. 14028	DWG NO. 1912	REVISION P2	

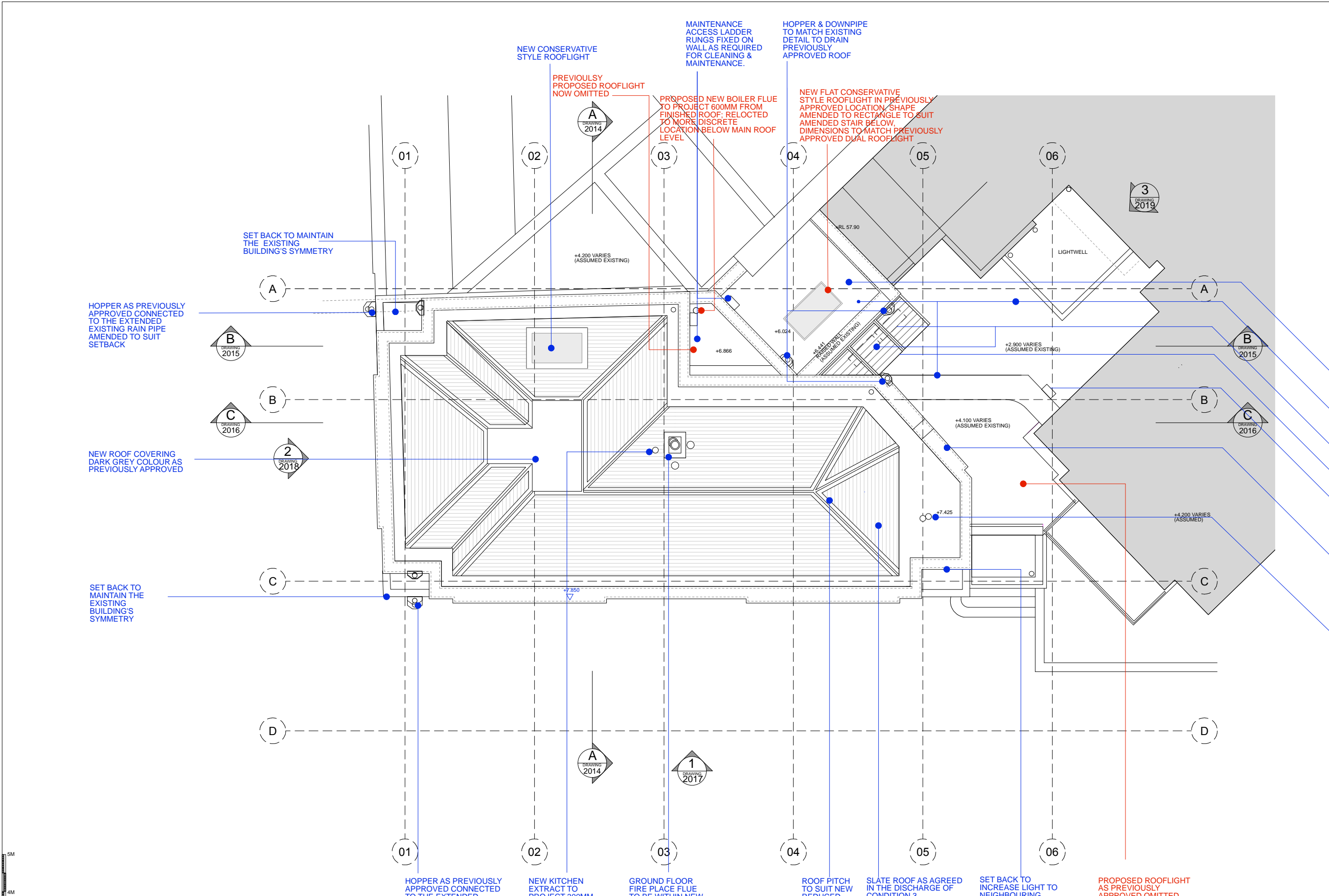
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NOTES
 NEW DOORS, SKIRTINGS + CORNICES TO FIRST FLOOR & LOWER GROUND FLOOR
 NEW WINDOWS AND GLAZED DOORS ARE TO MATCH THE STYLE OF THE EXISTING WINDOWS. ALL EXTERNAL WINDOWS AND GLAZED DOORS WILL BE FITTED WITH ACOUSTIC SINGLE GLAZING (REFER TO DRAWINGS 2033 AND 2034 AND SPECIFICATION)
 NEW DOORS THROUGHOUT ALL SKIRTING AND ARCHITRAVES TO REMAIN AS EXISTING AT GROUND FLOOR LIVING ROOM, DINING ROOM, KITCHEN WITH NEW DOOR LEAFS, NEW ARCHITRAVES TO MATCH EXISTING WHERE NECESSARY ON GROUND FLOOR.
 NEW FLOOR FINISHES ON ALL FLOORS BUT EXISTING LEVELS MAINTAINED UNLESS OTHERWISE NOTED.

PLANNING LEGEND:
 ANNOTATIONS IN BLUE DENOTE ITEMS OF SCHEME ALREADY APPROVED UNDER 18/07896/FULL & 18/07897/LBC
 ANNOTATIONS IN RED DENOTE NEW / ALTERED ITEMS FOR CONSIDERATION IN THIS APPLICATION



NEW FLAT ROOF COVERING AS PREVIOUSLY APPROVED DARK GREY COLOUR TO NEW ROOF PROFILE
 MANSAFE ON BACK OF PARAPET AROUND THE PERIMETER, AS PREVIOUSLY APPROVED
 2X AC CONDENSER UNITS WITHIN ACOUSTIC ENCLOSURE SHOWN DASHED UNDER
 NEW ACOUSTIC LOUVRE ENCLOSURE TO ACOUSTIC CONSULTANT'S SPECIFICATION
 MAINTENANCE ACCESS LADDER RUNGS FIXED ON WALL AS PREVIOUSLY APPROVED APPROXIMATE DIMENSIONS 200MM X 350MM. RELOCATED FROM PREVIOUS APPROVAL.
 NEW SPLAYED WALL (REFER TO DRAWING ELEVATION 3 1719) AMENDED TO ADDRESS NEIGHBOURS CONCERNS.
 NEW EXTRACT TO PROJECT 300MM FROM FINISHED ROOF

APPROVED ROOF PLAN
 SCALE 1:50 @ A1, 1:100 @ A3

FOR INFORMATION ONLY - AS PREVIOUSLY APPROVED UNDER APPLICATIONS 19/07687/FULL & 19/07732/LBC

P2	02.10.19	FOR PLANNING [NL]
P1	31.08.18	FOR PLANNING [JR]
REV	DATE	NOTES

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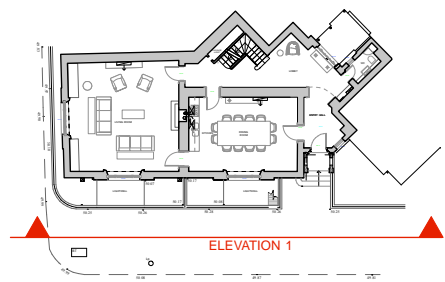
PROJECT
 31 WILTON CRESCENT

CLIENT
 LONDON REALTY

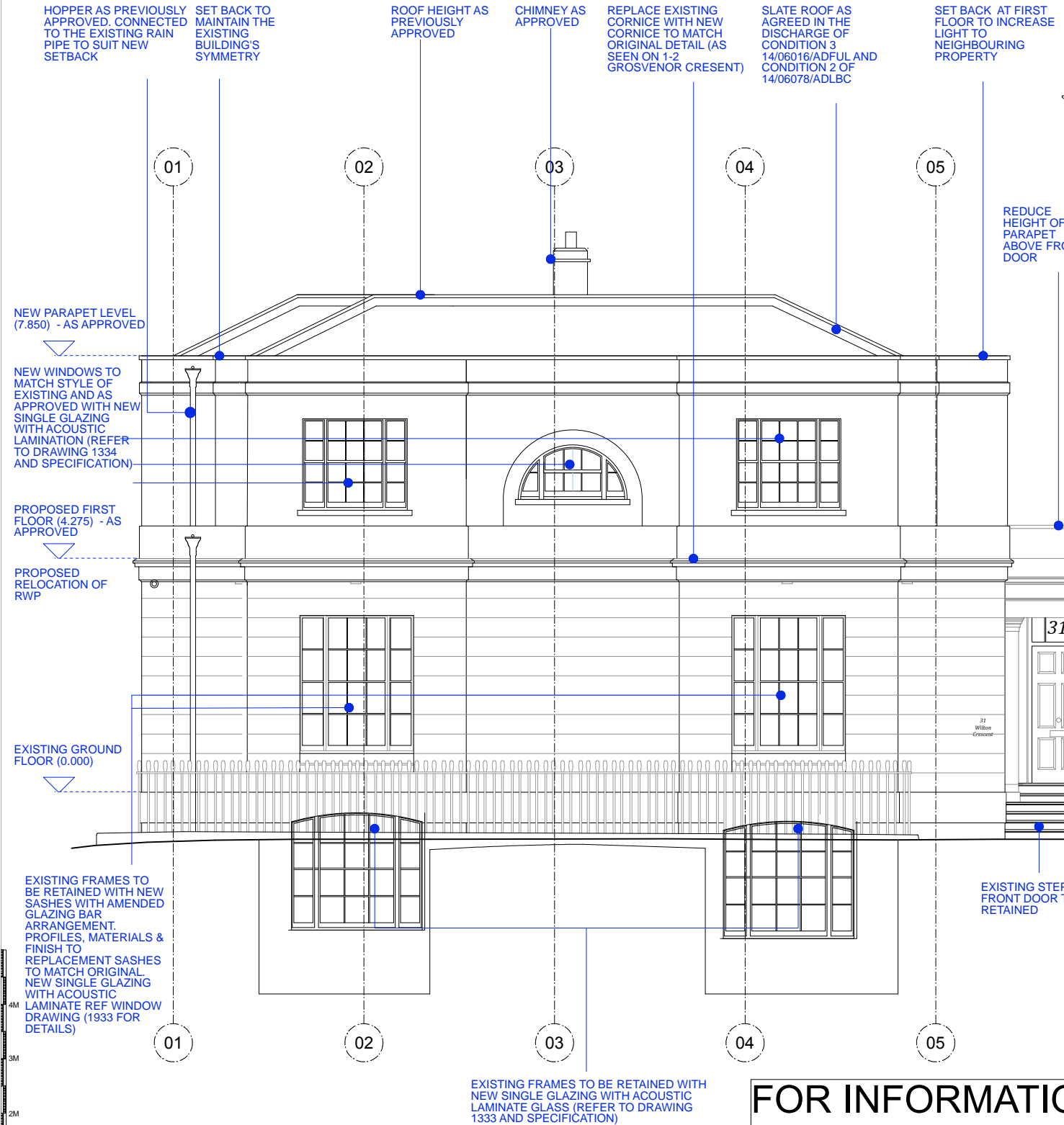
DRAWING TITLE
 APPROVED ROOF PLAN

SCALE 1:50 @A1,1:100 @A3	DATE DEC 17	DRAWN JR	CHECK MR
PROJECT NO. 14028	DWG NO. 1913	REVISION P2	

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GROUND KEY PLAN
SCALE 1.250 @ A1, 1:500 @ A3



APPROVED ELEVATION 1
SCALE 1.50 @ A1, 1:100 @ A3

FOR INFORMATION ONLY - AS PREVIOUSLY APPROVED UNDER APPLICATIONS 19/07687/FULL & 19/07732/LBC

NO PROPOSED EXTERNAL CHANGES TO PREVIOUSLY APPROVED APPLICATION REF: 18/07896/FULL + 18/07897/LBC

GENERAL NOTES
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NOTES
NEW DOORS, SKIRTINGS + CORNICES TO FIRST FLOOR & LOWER GROUND FLOOR
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NEW DOORS THROUGHOUT ALL SKIRTING AND ARCHITRAVES TO REMAIN AS EXISTING AT GROUND FLOOR LIVING ROOM, DINING ROOM, KITCHEN WITH NEW DOOR LEAFS, NEW ARCHITRAVES TO MATCH EXISTING WHERE NECESSARY ON GROUND FLOOR.
NEW FLOOR FINISHES ON ALL FLOORS BUT EXISTING LEVELS MAINTAINED UNLESS OTHERWISE NOTED.

PLANNING LEGEND:
ANNOTATIONS IN BLUE DENOTE ITEMS OF SCHEME ALREADY APPROVED UNDER 18/07896/FULL & 18/07897/LBC
ANNOTATIONS IN RED DENOTE NEW / ALTERED ITEMS FOR CONSIDERATION IN THIS APPLICATION

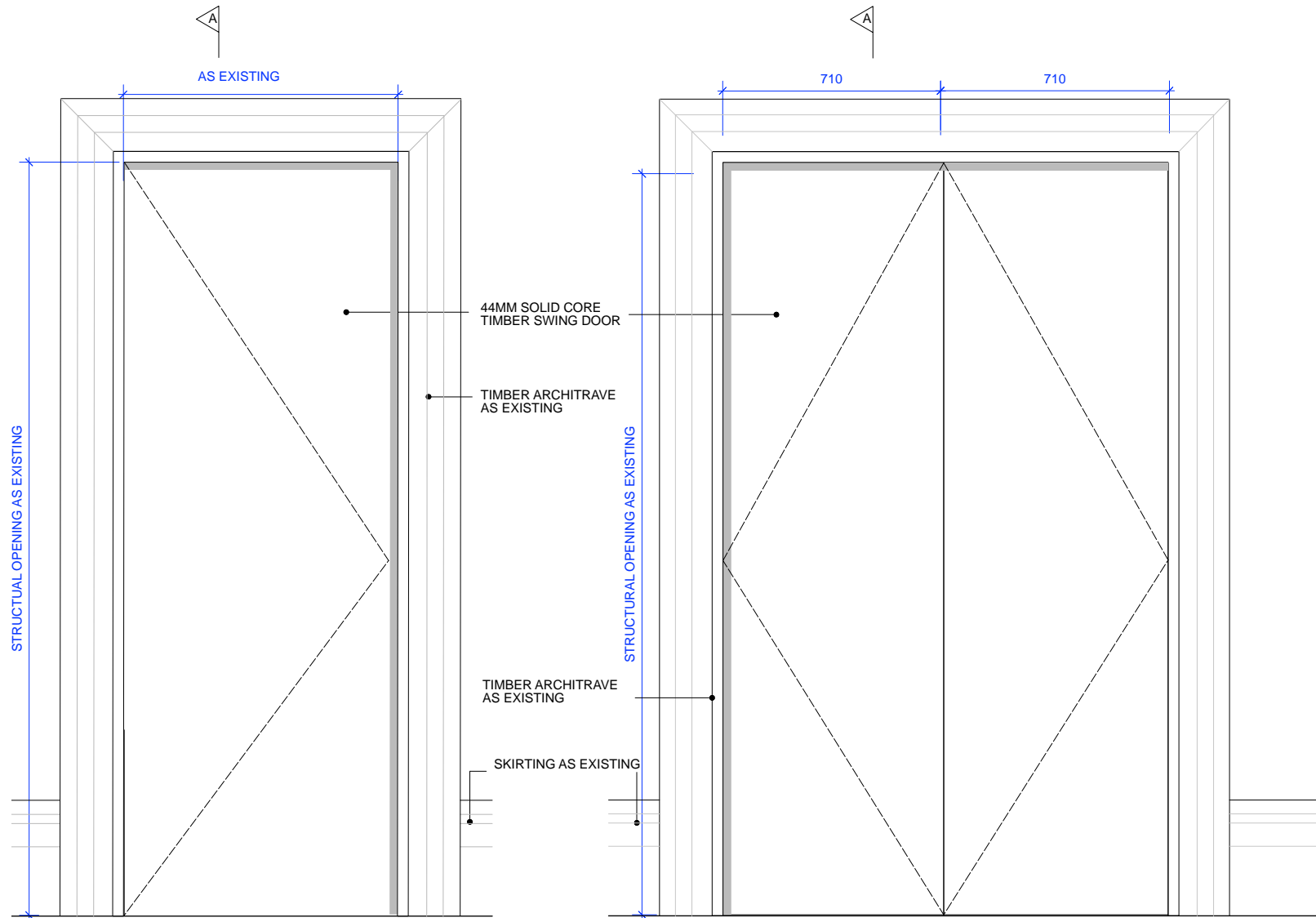
P2	02.10.19	FOR PLANNING [NL]
P1	31.08.18	FOR PLANNING [JR]

REV DATE NOTES

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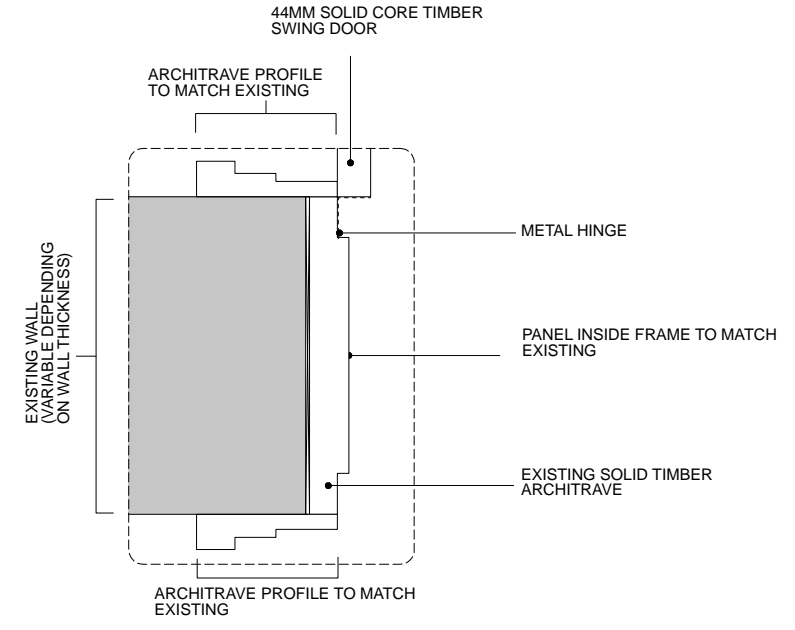
PROJECT 31 WILTON CRESCENT		CLIENT LONDON REALTY	
DRAWING TITLE APPROVED ELEVATION 1			
SCALE 1:50 @A1,1:100 @A3	DATE DEC 17	DRAWN JR	CHECK MR
PROJECT NO. 14028	DWG NO. 1917	REVISION P2	

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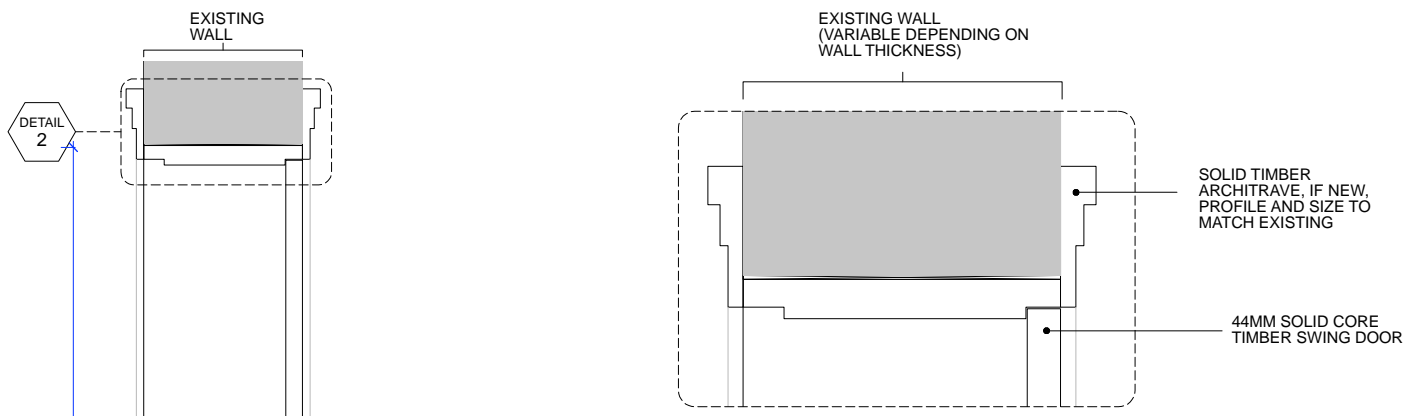


INTERNAL ELEVATION
SINGLE SWING DOOR
SCALE 1.10 AT A1, 1:20 AT A3

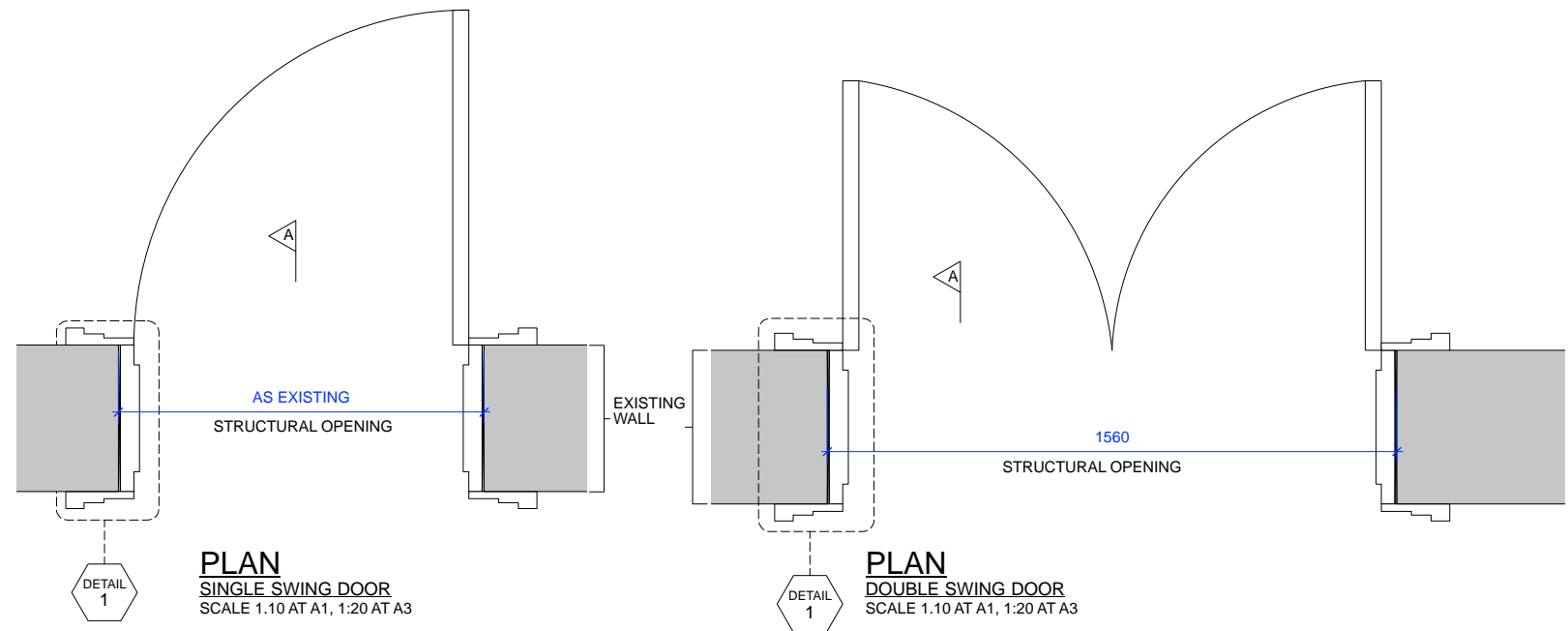
INTERNAL ELEVATION
DOUBLE SWING DOOR
SCALE 1.10 AT A1, 1:20 AT A3



PLAN DETAIL 1
DOOR JAMB
SCALE 1.5 AT A1, 1:5 AT A3

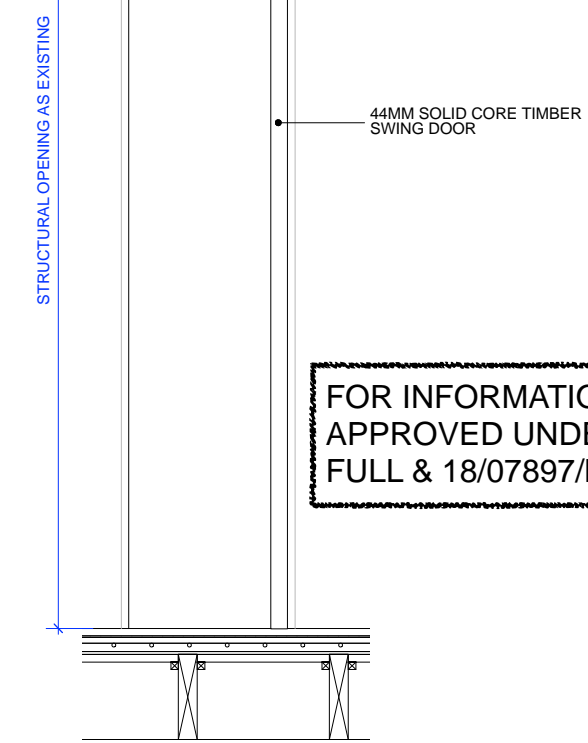


SECTION DETAIL 2
DOOR HEAD
SCALE 1.5 AT A1, 1:10 AT A3



PLAN
SINGLE SWING DOOR
SCALE 1.10 AT A1, 1:20 AT A3

PLAN
DOUBLE SWING DOOR
SCALE 1.10 AT A1, 1:20 AT A3



SECTION AA
DOUBLE SWING DOOR
SCALE 1.10 AT A1, 1:20 AT A3

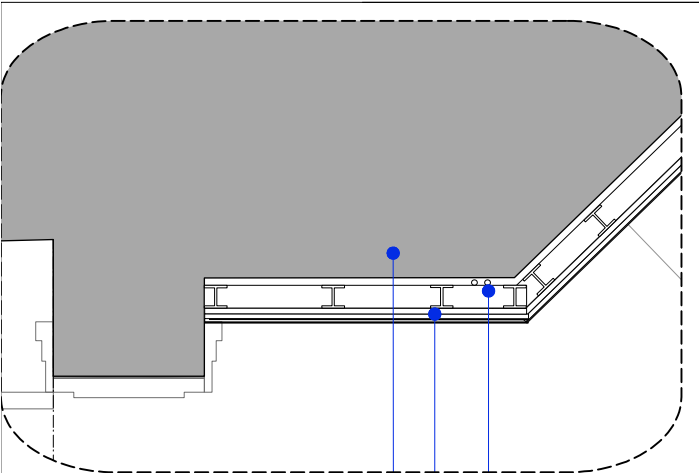
FOR INFORMATION ONLY - AS PREVIOUSLY APPROVED UNDER APPLICATIONS 18/07896/FULL & 18/07897/LBC

NOTES
NEW DOORS, SKIRTINGS + CORNICES TO FIRST FLOOR & LOWER GROUND FLOOR
NEW WINDOWS AND GLAZED DOORS ARE TO MATCH THE STYLE OF THE EXISTING WINDOWS. ALL EXTERNAL WINDOWS AND GLAZED DOORS WILL BE FITTED WITH ACOUSTIC SINGLE GLAZING (REFER TO DRAWINGS 1933 AND 1934 AND SPECIFICATION)
DRAWINGS 1938-1941 IDENTIFIES NEW APPROVED WINDOWS AND EXISTING APPROVED WINDOWS
NEW DOORS THROUGHOUT ALL SKIRTING AND ARCHITRAVES TO REMAIN AS EXISTING AT GROUND FLOOR LIVING ROOM, DINING ROOM, KITCHEN + ENTRY HALL WITH NEW DOOR LEAFS. NEW ARCHITRAVES TO MATCH EXISTING WHERE NECESSARY ON GROUND FLOOR.
NEW FLOOR FINISHES ON ALL FLOORS BUT EXISTING LEVELS MAINTAINED UNLESS OTHERWISE NOTED.

PLANNING LEGEND:
ANNOTATIONS IN BLUE DENOTE ITEMS OF SCHEME ALREADY APPROVED UNDER 17/11074/FULL+17/11075/LBC
ANNOTATIONS IN GREEN DENOTE NEW / ALTERED ITEMS TO BE APPLIED FOR IN THIS APPLICATION.

P1	31.08.18	FOR PLANNING [JR]
REV	DATE	NOTES
moreno:masey architects+interiors t +44 20 3142 6554 www.morenomasey.com		
PROJECT WILTON CRESCENT		
CLIENT LONDON REALTY		
DRAWING TITLE TYPICAL SWING DOOR DETAILS ARCHITRAVE		
SCALE AS STATED	DATE DEC 17	DRAWN JR
PROJECT NO. 14028	DWG NO. 1936	CHECK MR
		REVISION P1

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DETAIL 1
SCALE 1.10 @ A1, 1:20 @ A3

EXISTING WALL TO BE RETAINED
NEW INDEPENDENT STUD LINING
PIPEWORK FROM LOW LEVEL GROUND FLOOR TO HIGH LEVEL GROUND FLOOR TO BE CONCEALED WITHIN NEW WALL LINING.

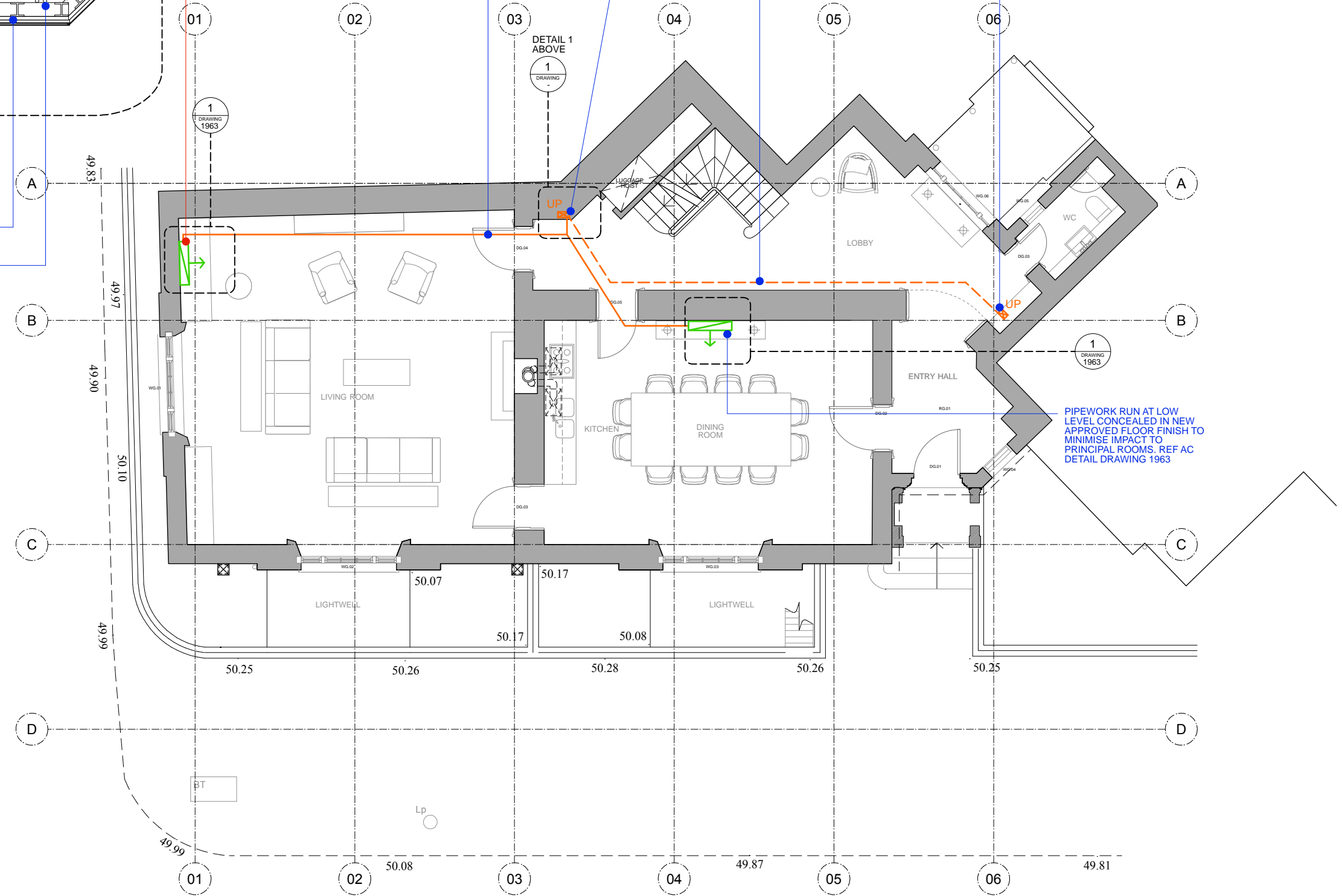
PREVIOUSLY APPROVED FCU RELOCATED TO LOW LEVEL JOINERY. FCUS + GRILLE WITHIN JOINERY AT LOW LEVEL. REF FCU DETAIL DRAWING 1963

PIPEWORK RUN AT LOW LEVEL CONCEALED IN NEW FLOOR FINISH (AS PREVIOUSLY APPROVED) TO MINIMISE IMPACT TO PRINCIPAL ROOMS. REF AC DETAIL DRAWING 1963

PIPEWORK RISER FROM LOW LEVEL GROUND FLOOR TO HIGH LEVEL GROUND FLOOR CONCEALED WITHIN NEW WALL LINING.

PIPEWORK RUN AT HIGH LEVEL CONCEALED WITHIN NEW DROPPED CEILING.

PIPEWORK RISER FROM LOWER GROUND FLOOR THROUGH TO ROOF ABOVE TO CONNECT TO CONDENSER UNITS



APPROVED GROUND FLOOR PLAN
SCALE 1.50 @ A1, 1:100 @ A3

FOR INFORMATION ONLY - AS PREVIOUSLY APPROVED UNDER APPLICATIONS 19/07687/FULL & 19/07732/LBC

GENERAL NOTES
DO NOT SCALE FROM DRAWINGS. ALL DIMENSIONS TO BE CHECKED ON SITE. REPORT OMISSIONS AND DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
REVISION DATES MARKED ON THE DRAWING ARE STATED IN THE FOLLOWING ORDER: YEAR, MONTH, DAY (YY.MM.DD).

AC NOTES:
ROUTES HAVE BEEN SELECTED TO AVOID EXISTING JOISTS AND WALLS WHERE POSSIBLE, UNLESS NOTED ON DRAWINGS. TO MINIMISE IMPACT ON EXISTING BUILDING. PIPEWORK ROUTES SHOWN ARE SCHEMATIC.

PLANNING LEGEND:
ANNOTATIONS IN BLUE DENOTE ITEMS OF SCHEME ALREADY APPROVED UNDER 18/07896/FULL & 18/07897/LBC
ANNOTATIONS IN RED DENOTE NEW / ALTERED ITEMS FOR CONSIDERATION IN THIS APPLICATION

KEY:

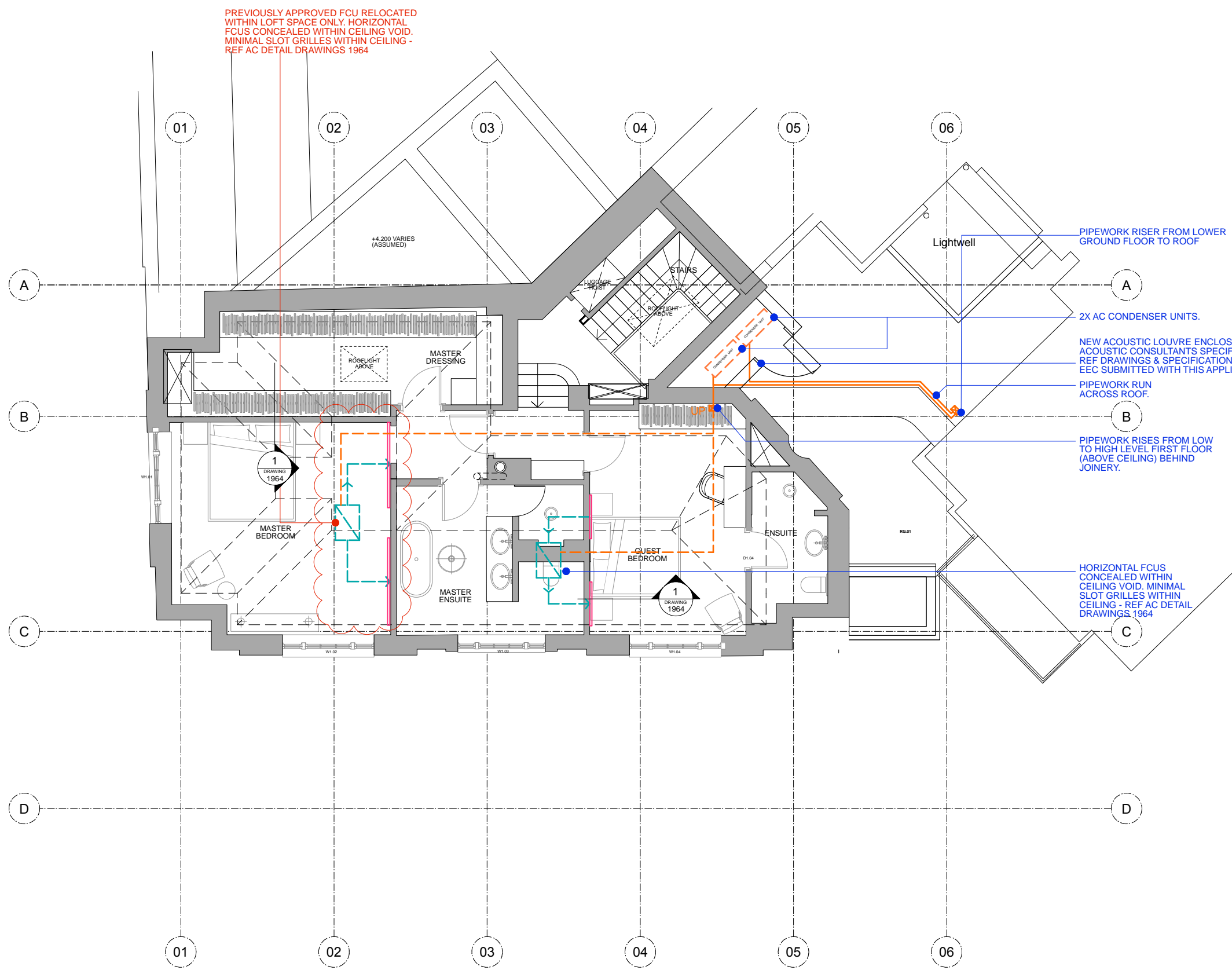
- VERTICAL FAN COIL UNIT
- HORIZONTAL FAN COIL UNIT (HIGH LEVEL)
- LOCATION OF GRILLE AT HIGH LEVEL IN CEILING
- PIPEWORK RUN AT HIGH LEVEL IN CEILING
- PIPEWORK RUN AT LOW LEVEL UNDER FINISH FLOOR
- PIPEWORK RISER LOCATION
- EXTERNAL AC UNIT CONDENSERS

P2.	02.10.19.	FOR PLANNING [NL]
P1	31.08.18	FOR PLANNING

moreno:masey
architects+interiors
t +44 20 3142 6554
www.morenomasey.com

PROJECT 31 WILTON CRESCENT			
CLIENT LONDON REALTY			
DRAWING TITLE APPROVED GROUND FLOOR AIR CONDITIONING PLAN			
SCALE 1:50 @A1,1:100 @A3	DATE JAN 18	DRAWN JR	CHECK MR
PROJECT NO. 14028	DWG NO. 1951	REVISION P2	

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GENERAL NOTES
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 ANNOTATIONS IN RED DENOTE NEW / ALTERED ITEMS FOR CONSIDERATION IN THIS APPLICATION

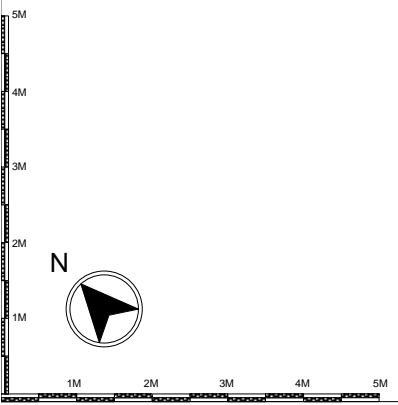
KEY:

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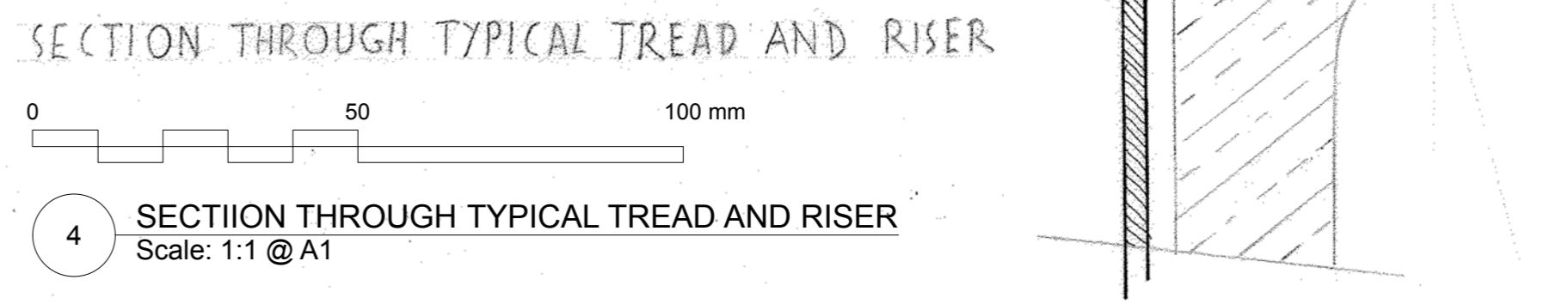
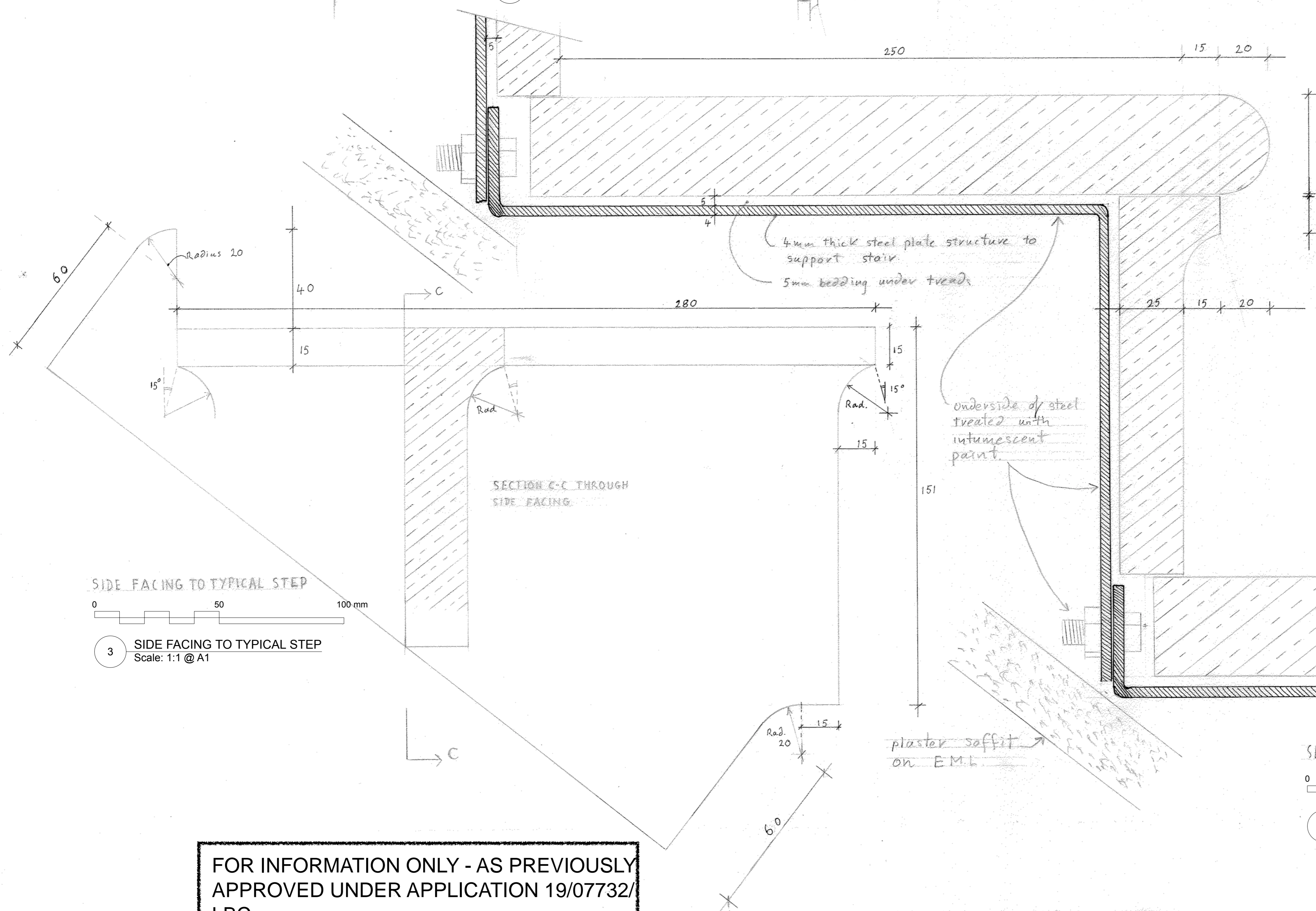
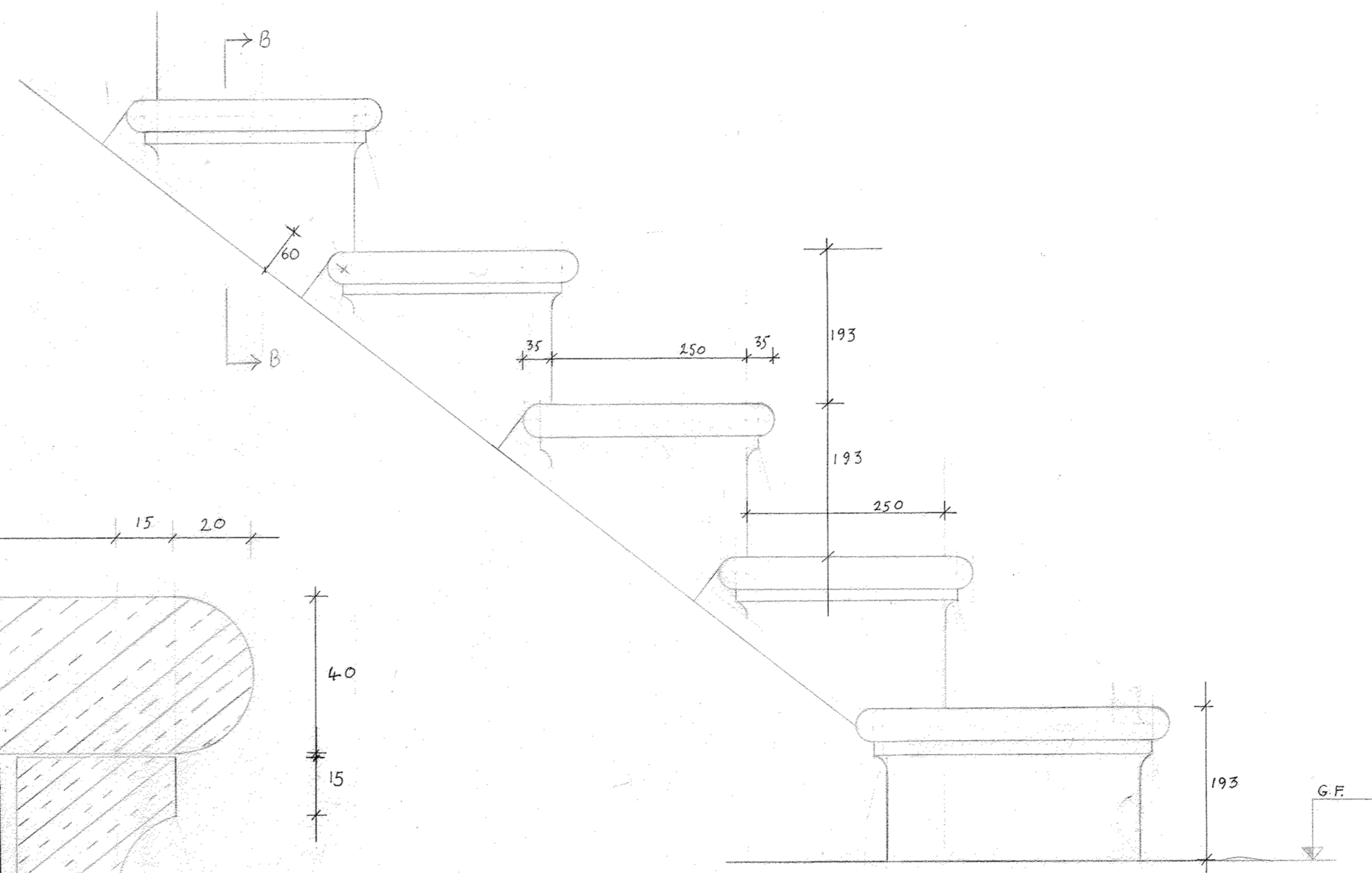
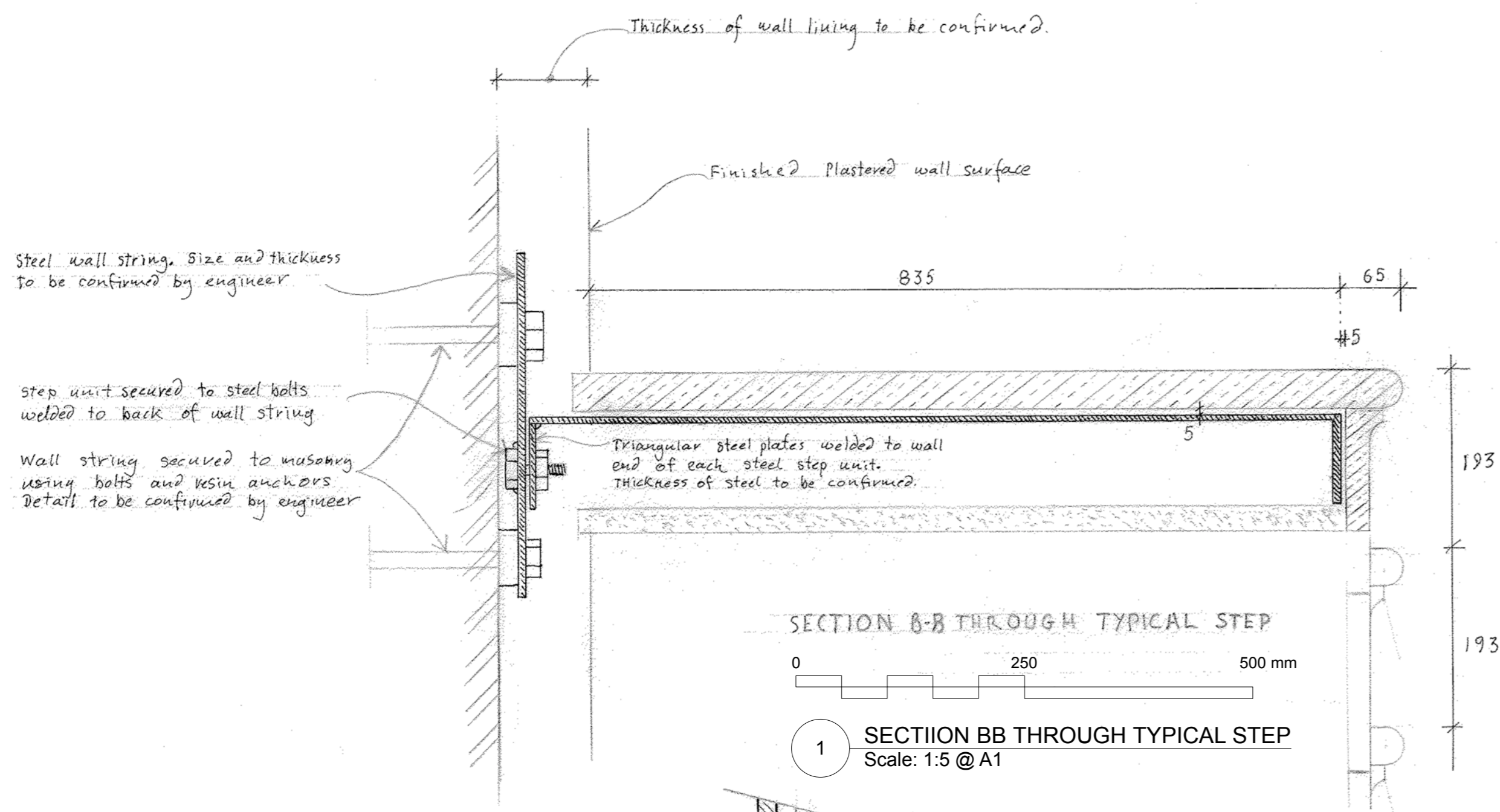
P2 REVISION
 INTERNAL LAYOUT CHANGED - REFER TO GA

PROPOSED FIRST FLOOR PLAN
 SCALE 1.50 @ A1, 1:100 @ A3

FOR INFORMATION ONLY - AS PREVIOUSLY APPROVED UNDER APPLICATIONS 19/07687/ FULL & 19/07732/LBC



P2.	02.10.19.	FOR PLANNING [NL]
P1	31.08.18	FOR PLANNING
REV	DATE	NOTES
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ARCHITECTS + INTERIORS		
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PROJECT 31 WILTON CRESCENT		
CLIENT LONDON REALTY		
DRAWING TITLE FIRST FLOOR AIR CONDITIONING PLAN		
SCALE 1:50 @A1, 1:100 @A3	DATE JAN 18	DRAWN JR
PROJECT NO. 14028	DWG NO. 1952	CHECK MR
		REVISION P2
DO NOT SCALE FROM DRAWING. ALL DIMS TO BE CHECKED ON SITE. REPORT OMISSIONS AND DISCREPANCIES TO ARCHITECT IMMEDIATELY. MORENO MASEY LTD		

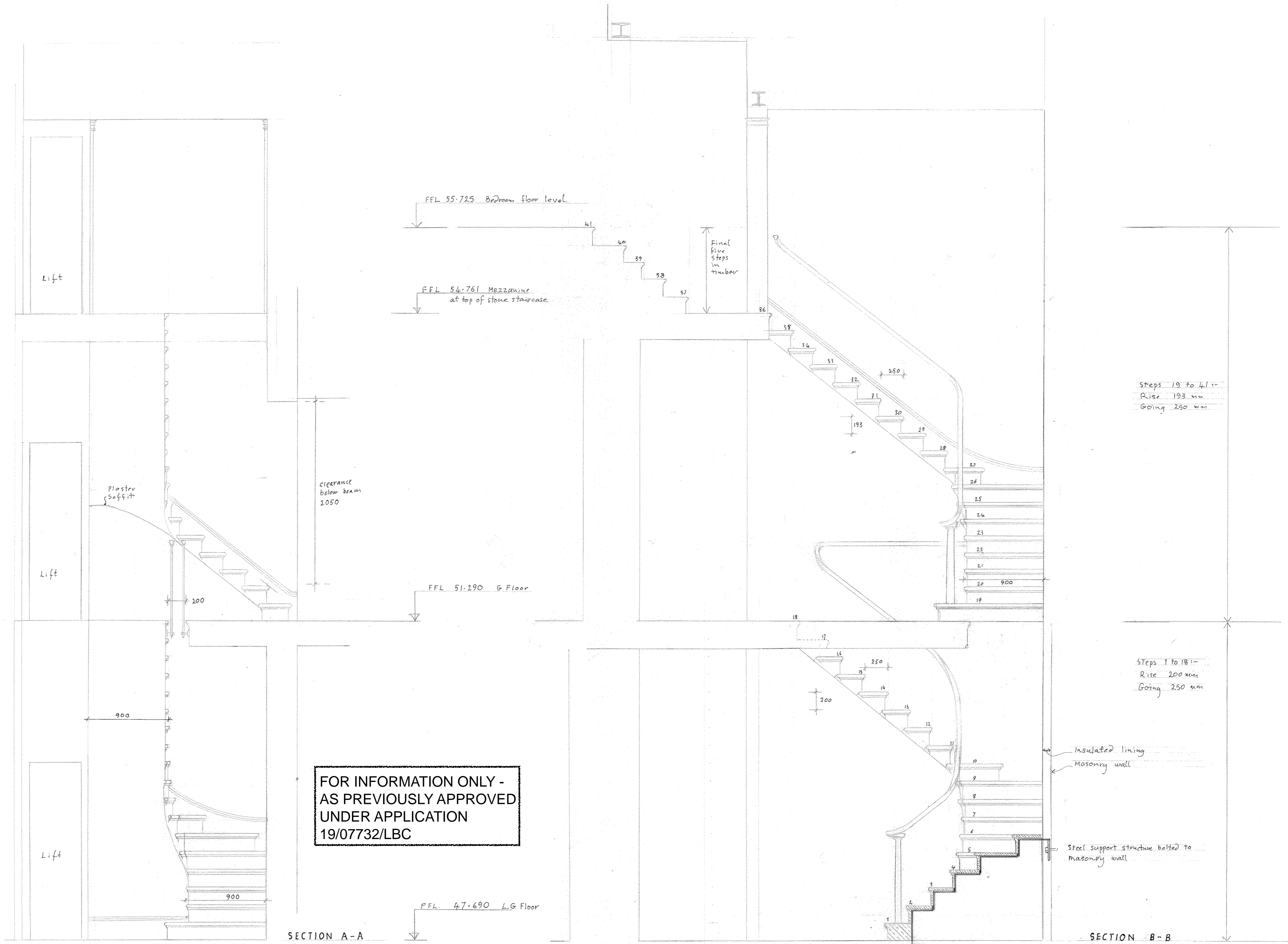


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PROPOSED STAIR: TYPICAL DETAILS
31 WILTON CRESCENT
SWIX 8RX
 peter@peterpoulesland.com

Rev. '8' 3.VI.2019 steel wall string shown. Plaster soffit increased.
 Rev. 'A' 10.V.2009 Bolted connections shown.
 SCALES: 1/5, F.5.
 DRAWING NUMBER: 819.100B

15.IV.2019
 Peter Poulesland



FFL 55.725 Bedroom floor level

FFL 54.761 Mezzanine at top of stone staircase

Final five steps in timber

FFL 51.290 G Floor

FFL 47.690 L.G. Floor

Lift

Lift

Lift

Plaster soffit

clearance below beam 2050

Steps 19 to 41:-
Rise 193 mm
Going 250 mm

Steps 1 to 18:-
Rise 200 mm
Going 250 mm

Insulated lining
Masonry wall

Steel support structure bolted to masonry wall

FOR INFORMATION ONLY -
AS PREVIOUSLY APPROVED
UNDER APPLICATION
19/07732/LBC

SECTION A-A

SECTION B-B