

High Trees
(Old) Shire Lane
Chalfont St Peters,
Gerrards Cross
Buckinghamshire SL9 0QY
Heritage Statement
May 2021



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Table of Contents

1.0	INTRODUCTION.....	1
2.0	UNDERSTANDING.....	3
3.0	SIGNIFICANCE	22
4.0	LEGISLATION AND POLICY	25
5.0	ASSESSMENT	28
6.0	SUMMARY AND CONCLUSION	40
7.0	APPENDICIES	43
	Bibliography	48

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**Built Heritage
Consultancy**

1.0 INTRODUCTION

1.1 Background

This Heritage Statement has been produced by Built Heritage Consultancy to support applications for the 'Retention of internal alterations' to High Trees, (Old) Shire Lane, Chalfont St Peters (the 'Site'), a Grade II listed house. It has been brought to the owner's attention that alterations that have been carried out to the house, are likely to have required the benefit of listed building consent.

We have been appointed as Heritage Consultants to advise on the heritage issues and assess the impact of these alterations to the listed building on the significance of the listed building.

The current restrictions have meant that we were unable to visit the planning department to view the whole planning history, and we have therefore written our Heritage Statement and given our advice based on a desk-based assessment, a site visit and our knowledge and experience of similar listed building alterations. We have advised the owner to submit a retrospective application seeking 'retention of alterations.'

As per paragraph 189 of the National Planning Policy Framework (2019) a full heritage assessment of the building is required for planning and listed building purposes to set out the significant aspects of the building, as well as those features of less significance or those which are neutral or negative features.

This report briefly assesses the development of the house, the significance, and the impact of the potentially unauthorised alterations on that significance. This report should be read in conjunction with the submitted plans and application form.

1.2 The site

The Site is a Grade II listed building first designated on 16 July 1975 and amended on 3 October 1985. The statutory address of the house is given as Hornhill House, Old Shire Lane, although the house is now called High Trees, as it was previously once known.

The list description is as follows:

*RICKMANSWORTH OLD SHIRE LANE TQ 09 SW (East side) Horn Hill, Chalfont St. Peter 8/212
Hornhill House 16.7.75 (formerly listed as High Trees iii the civil parish of' Chalfont St Peter)
II*

Large house. 1883. Red brick with stone and timber dressings. Tiled roof. Neo-Georgian Style. 2 storeys and attic. 5 window front, central 3 bays projecting slightly. Hexastyle Roman Ionic stone portico: segmental cornice with broken pulvinated frieze and architrave to centre, quadrant curves back to coupled outer columns. Fielded panelled door with a rectangular fanlight lugged architrave with key block. First floor 3 tall sashes, architrave

flush frames, 8 panes. Moulded band at sill level, gauged brick flat arched heads, louvred shutters. Modillioned timber eaves to triangular pediment with stone cartouche in tympanum. Outer bays have ground floor tall sashes with stone key blocks, recessed aprons with moulded bases. Hipped roof. Right return is garden front: symmetrical 5 bays with full height bows at ends. Ground floor timber veranda to central 3 bays, pseudo-Ionic colonnade, coupled outer columns, bracketed entablature. First floor sashes with louvred shutters. 3 sashes on each floor on bows, ground floor key blocks. Plinth, moulded band at first floor sill level, modillioned eaves cornice. 4 light central dormers with cornice and segmental pediment. 2 ridge stacks between outer bays with moulded oversailing caps. To rear: 2 bays with shuttered sashes and a stack. Left return from front: 3 storeys with segmental headed, stained glass stair window. Set back to left is 2 storey service range, sashes, hipped roofs. Interior not inspected. A pioneering work in the Georgian Style.

Listing NGR: TQ0178192984

The Site is located in a rural location and is not located in any designated conservation area, nor are there any other designated or non-designated heritage assets in the vicinity which could have been affected by the proposals as the alterations which have taken place are largely internal. In addition it is not considered that the setting of the listed building has been affected either.

2.0 UNDERSTANDING

2.1 History of High Trees

High Trees was built in 1904 by the architect Claude W Ferrier (1879-1935) for his father, Sir David Ferrier (1843-1928). The house was one of the earliest projects for Claude Ferrier who had only recently started his own architectural practice after spending time as an apprentice in the office of Aston Webb. Ferrier would later setup a practice with William Binnie from 1927 and together they designed several notable buildings including the East and West Stands of Arsenal Stadium.

Sir David Ferrier was a pioneering neurologist and psychologist who was a founding member of the National Society for the Employment of Epileptics (now known as the Epilepsy Society) in 1892. The Society decided to build a 'colony' where they might help sufferers of severe epilepsy to find employment. Thus, in 1894 The Colony was founded in Chalfont St Peter at Skippings Farm. 'Inmates' of the Colony were used in the laying out of the grounds for High Trees and the Epilepsy Society even includes a photo of the colonists at work on their website.



Colonists at work at High Trees. 'The History of the Epilepsy Society', *Epilepsy Society*, <https://epilepsysociety.org.uk/what-we-do/about-epilepsy-society/history-epilepsy-society>

Later High Trees was inhabited by Alexander Cadogan, the youngest son of the 5th Earl Cadogan from c. 1930 to c.1950s.

Pevsner, Nikolaus, and Williamson, Elizabeth, *The Buildings of England: Buckinghamshire* (Yale University Press, 1994), p. 222 describes the house as follows:

"At Horn Hill, ½ m. E of Chalfont Common, Horn Hill House stands above Shire Lane. Queen Anne style of c.1870 for Lord Cadogan. Two full-height canted bays with a lead-roofed veranda between, and a characteristic dormer in the hipped roof."

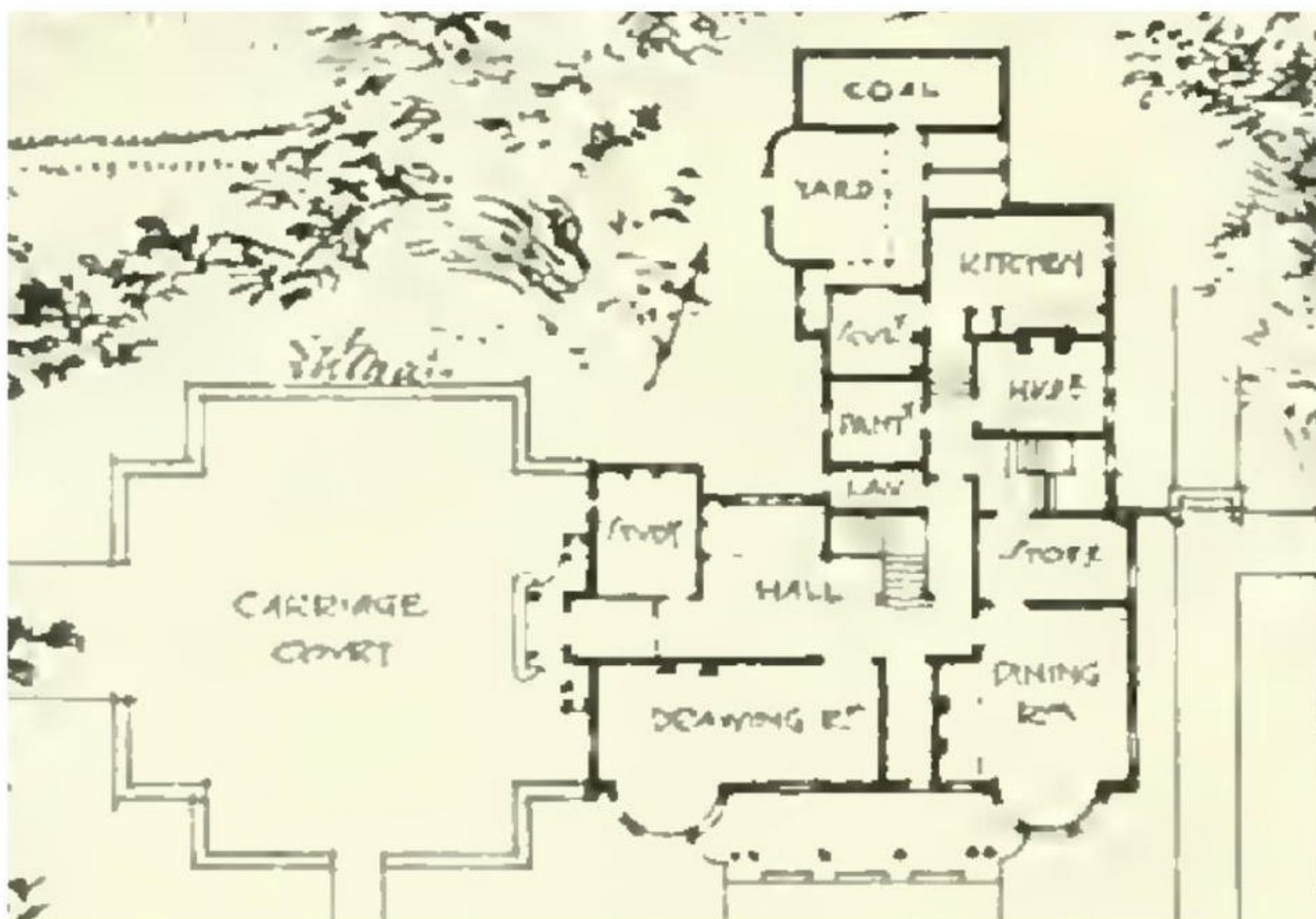
However, *The Building News and Engineering Journal*, Vol. 87 (26 Aug. 1904), p. 287 noted:

This house, which is now approaching completion, stands on the southern slope of the Chiltern Hills, and commands extensive views of the Colne Valley. The walls are faced with Lawrence's brown bricks with red dressings, the roofs are covered with dark red sand faced tiles, and a sparing use has been made of Monk's Park stone. The veranda on the south front is wood with a lead-covered roof. The general contract is in the hands of Mr. Henry Fincher, of Tring, and Mr. Herber Clements is the clerk of works. Inmates of the Chalfont Colony of the National Society for the Employment of Epileptics are laying out the gardens to the designs of the architect, Mr. Claude W. Ferrier of Waterloo place.

This description was accompanied by an artist's impression of the house in its garden.



"High Trees", Hornhill, Herts', *The Building News and Engineering Journal*, Vol. 87 (26 Aug. 1904).



Detail of "High Trees", Hornhill, Herts', *The Building News and Engineering Journal*, Vol. 87 (26 Aug. 1904) indicating the proposed ground floor plan at the time of building.

Development of High Trees

There is some confusion as to the exact date of construction of the High Trees. The list description dates the house as c. 1883 but Pevsner dates the house as 1870s, however the 'Building News and Engineering Journal' plan is dated 1904. The accompanying text in this journal talks of the house being near completion at that time, and the photograph above of it being built can date to no earlier than the mid 1890s. So it appears that the house is early 20th century rather than late 19th century in date.

Pevsner and the list description also refer to the house as 'Horn Hill/Hornhill House', but it is not clear when the house was known by this name as it is now called High Trees. This confusion over the name may explain some of the discrepancies in dating the house.

The 1904 plans largely show the layout and plan form of the house largely as it exists today, with the main part of the house containing the principal rooms facing the gardens and a service wing to the rear. However there are some discrepancies. The service wing on the plan above shows the kitchen and a range of storage rooms including a coal storage and a yard area.

The planning application plans dated 1995 (see in appendix 1) indicates there was also a breakfast room beyond the kitchen. This could have been added at the time of construction or added soon

after the house was built, as the external appearance of the service wing does not show any indication of an early extension to the wing.

In addition, there was an additional small room or corridor shown separating the dining room and drawing room, which does not exist. It is possible that there were alterations to the planned layout of the house at the time of construction.

(NB as the building was not added to the statutory list until 1975, alterations could have been carried out without the requirement for listed building consent.)

The most significant alteration to the original form of the house has been the addition of a large two storey extension to the north side (which was granted planning permission and listed building consent in 1995) which provides additional accommodation as well as an indoor swimming pool complex.

The modern addition has almost doubled the footprint of the original house. The extension has been sympathetically designed to link to the rear elevation of the service wing of the original house via a recessed lightweight glazed extension. The form, detailing and materials of the main extension match those of the original building with a two storey brick section, linking into a orangery type single storey extension for the pool.

Unfortunately, there are no existing floor plans from these applications, just the proposed plans. It has been assumed that there were no internal alterations proposed to the main house.

2.2 Map Regression



Figure 2.2.1: OS 25 inch, revised 1897, published 1899. High Trees is yet to be built, which indicates that both the listing date and the date Pevsner gives for the house are inaccurate. The approximate location is circled.



Figure 2.2.2: OS 25 inch, revised 1913, published 1914. The first map on which High Trees appears. The footprint of the building appears to correspond with the 1904 plan. T

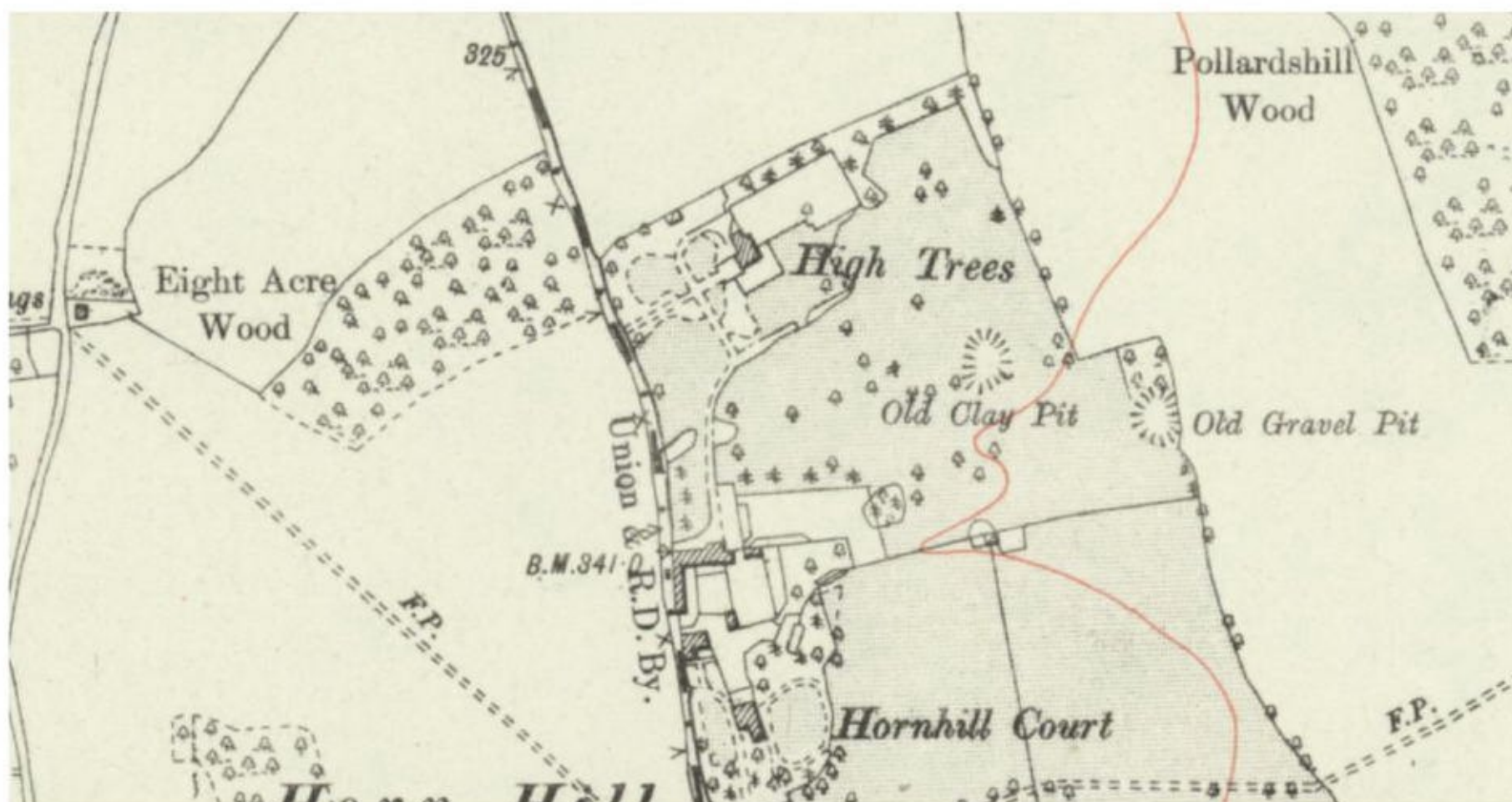


Figure 2.2.3: OS 6 inch, revised 1923, published 1926.

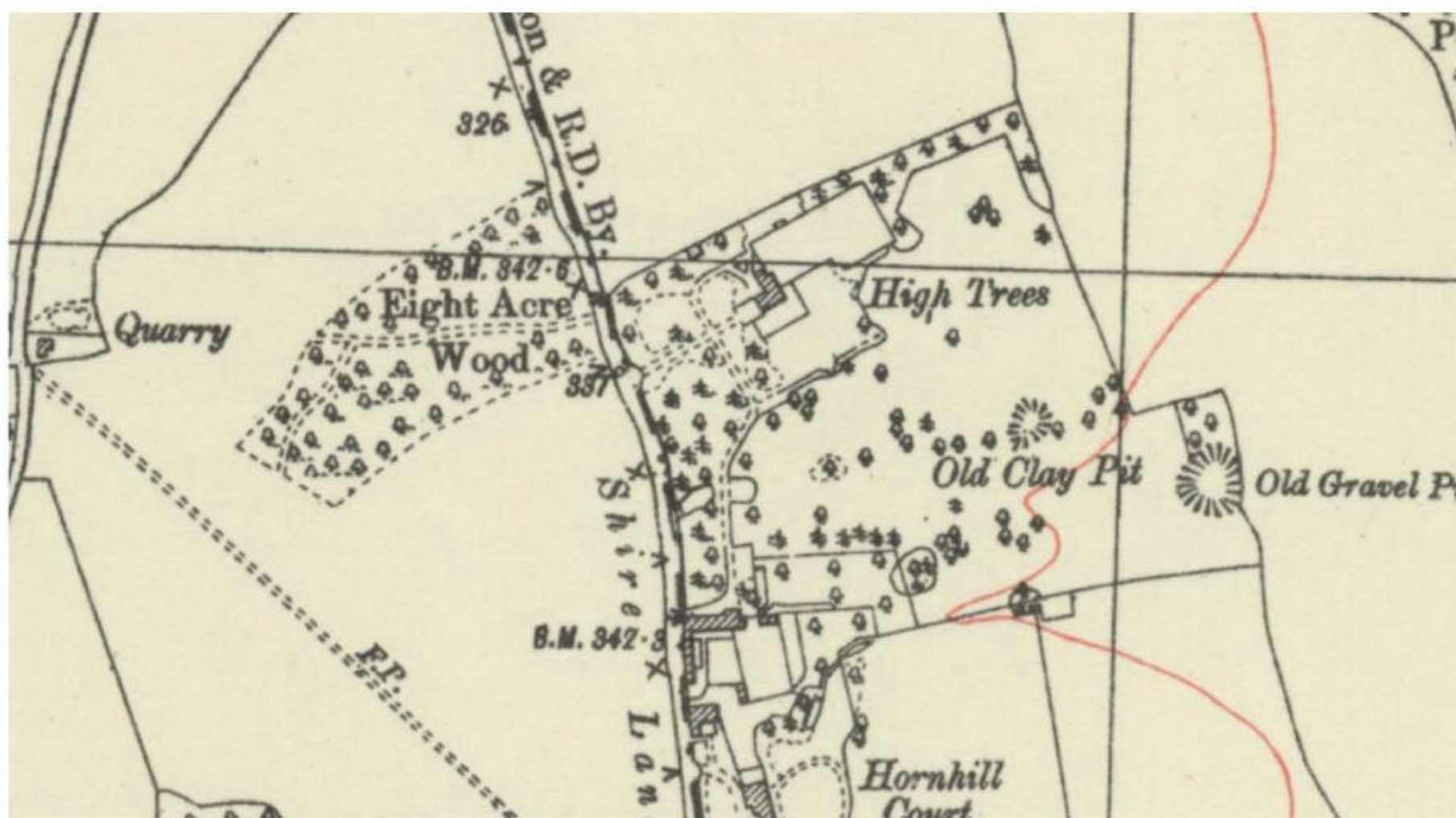


Figure 2.2.4: OS 6 inch, revised 1938, published 1944.

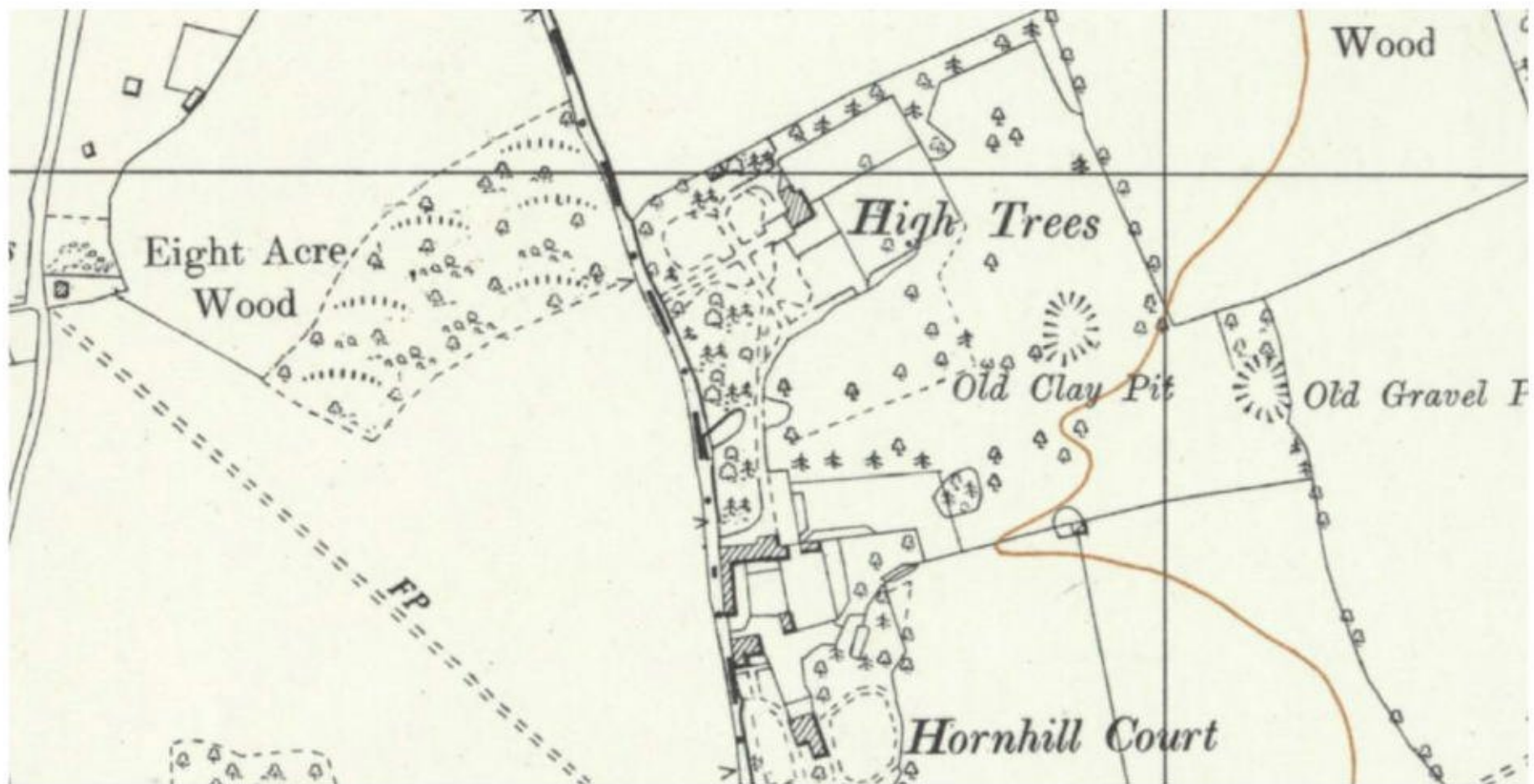


Figure 2.2.5: OS 1:10,000, surveyed pre-1930 to 1959, published 1960.



Figure 2.2.6: Aerial Photography of Horn Hill, 1945. Google Earth Historic Photography. High Trees circled



Figure 2.2.7: Aerial Photography, 1987. National Collection of Aerial Photography. High Trees circled.



Figure 2.2.8: Historic Aerial Photography, 2003. Google Earth. The house has been extended significantly by this point.

2.3 Photographic description



Photo 1. Front elevation of High Trees with Roman Ionic stone portico and triangular pediment with stone cartouche in tympanum.



Photo 2. Garden elevation, symmetrical 5 bays with full height bow windows, timber veranda.



Photo 3. Entrance to the house with plainer service wing to the north side.



Figure 4. Side or return elevation. The modern extension beyond the original service wing is highlighted.



Photo 5. Rear elevation of the main house linking into the rear wing.



Photo 6. East elevation, showing main part of the house, the service wing and the extension which was approved in 1995 highlighted in red.



Photo 7. Modern extension where garage door has been replaced with brickwork.



Photo 8. Garage block.



Photo 9. Panelled entrance hall, looking towards the front door.



Photo 10. Panelled entrance hall with main staircase to the left of the image and entrance to dining room in the middle of the image.



Photo 11. Drawing room.



Photo 12. Dining room bay windows.



Photo 13. Study.



Photo 14. First floor landing.

2.4 Historic England Archives

Below are images of the house from the archives dated 1915. (Prior to the building being added to the statutory list as a Grade II listed building in 1975.)



Image 1. Front entrance elevation.



Image 2. Garden elevation.



Image 3. Garden elevation and part of the side return elevation



Image 4. Another view of garden and side return elevations.



Image 3. Drawing room.



Image 4. Dining room.



Image 5. Entrance hall with panelling, looking towards the dining room.

2.5 Relevant Planning History

The planning history in relation to High Trees is as follows:

- [Erection of two pairs of wrought iron gates.](#)
Ref. No: 94/322/8
Allowed at appeal.
- [Two storey extension internal alterations tennis court and rebuilding of garage block](#)
Ref. No: 95/0203 | Status: Application Permitted
- [Two storey extension internal alterations tennis court and rebuilding of garage block](#)
Ref. No: 95/0205 | Status: FPC
- [Erection of greenhouse](#)
Ref. No: 97/0294 | Status: FPC

3.0 SIGNIFICANCE

High Trees is a good example of an early 20th century small country house built in a Queen Anne / Georgian Style set in extensive gardens and grounds. Whilst there is some confusion as to the date it was built, the evidence suggests that the house is early 1900s rather than late 19th century that the list description and Pevsner seemed to suggest. This date is supported by the map regression.

Exterior

The significance of the house can be attributed first and foremost to its architectural quality, with high quality facades of red brickwork, with stone and timber dressings and a pitched tiled roof. The front entrance is particularly attractive with hexastyle portico and modillioned timber eaves to a triangular pediment, which encloses a stone cartouche in a tympanum. The sash windows have architrave flush frames, gauged brick flat arched heads and louvered shutters.

This elevation is of high significance. Similarly, the elevation fronting the garden has symmetrical full height bays, tall sash windows with key blocks and a ground floor timber veranda with colonnade. The steep pitched roof has a central 4 light dormer with cornice and segmental pediment. The original chimney stacks are also retained. This elevation is similarly of high significance.

The side return elevation fronting the greenhouse also retains its original form, window openings, windows, etc. To the rear of the service wing a large modern extension has been added which almost doubles the footprint of the house. This extension links into the main house with a subservient glazed link. The service wing is of more moderate significance and the extension is neutral in terms of its contribution to the overall significance of the house.

The return elevation from the front entrance has a three storey section which contains original / historic stained glass windows to the staircase. The service range is set back behind this. The service wing and rear elevation are also of more moderate significance.

Interior

Internally the house retains much of the layout shown in the plan of 1904. The principal rooms to the ground floor, the panelled entrance hall, dining room and drawing room and small study adjacent to the front door retain much of their original fabric as well as the historic plan form. These parts of the house retain architectural detailing in the form of the original staircase, doors, cornice, architraves and fireplaces – although the Historic England images of 1915 indicate that some of the more decorative ceiling to the drawing room has been replaced with a plain plastered ceiling but retaining the cornice. These rooms in the ground floor main part of the house are also of moderate to high significance and remain remarkably unaltered from when the house was built.

Moving towards the service wing a butlers pantry with inbuilt cupboards is retained as well as a secondary staircase and WC and laundry room as indicated on the 1904 plan. These service spaces are also of more modest significance.

The kitchen at the end of the service wing has been altered internally although the ancillary spaces and external servants' courtyard are largely retained. The coal storage area and adjacent stores as indicated on the 1904 have been amalgamated into other stores and a plant room.

These parts of the house make a lower contribution to the overall significance of the house.

The second floor also retains much of its original architectural detailing as well as a historic possibly original plan form, with the exception of minor alterations to allow for the modern adaptation of the house.

Setting and grounds

The location of High Trees at the end of a long drive with carriage turning circle, as well as both the formal grounds and the wider landscaped parkland type garden, also make an important contribution to the character and appearance of the house and its significance. The formal gardens to the front of the garden elevation are of particular importance.

There has been a suggestion that Gertrude Jekyll was involved in the garden design but unfortunately we could not find any such link to her, although the style of the gardens is undoubtedly similar to other gardens attributed to her.

Summary of Significance

High significance

- Front elevation
- Garden elevation
- Roof form
- Ground floor principal rooms to the main house
- Main staircase compartment

Moderate significance

- Elevations to the service wing
- Garden return elevation facing the greenhouse
- First floor rooms in the main house
- Service wing rooms at ground floor
- Secondary staircase

Low Significance

- Store rooms and boiler room in the service wing

Second floor attic rooms

No significance

Modern extension

4.0 LEGISLATION AND POLICY

The application principally raises design issues and previous proposals have been assessed against the following relevant policy and guidance.

National Planning Policy Framework (NPPF) adopted March 2012 Revised 2019

The NPPF does not change the statutory status of the development plan as the starting point for decision making. At the heart of the NPPF is a 'presumption in favour of sustainable development'.

Section 16 of the NPPF seeks to conserve and enhance the historic environment recognising that heritage assets are an irreplaceable resource and should be conserved in a manner appropriate to their significance. The following paragraphs are of particular relevance:

193. When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.

194. Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification. Substantial harm to or loss of:

- a) grade II listed buildings, or grade II registered parks or gardens, should be exceptional.*
- b) assets of the highest significance, notably scheduled monuments, protected wreck sites, registered battlefields, grade I and II* listed buildings, grade I and II* registered parks and gardens, and World Heritage Sites, should be wholly exceptional.*

195. Where a proposed development will lead to substantial harm to (or total loss of significance of) a designated heritage asset, local planning authorities should refuse consent, unless it can be demonstrated that the substantial harm or total loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all of the following apply:

- a) the nature of the heritage asset prevents all reasonable uses of the site; and*
- b) no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation; and*
- c) conservation by grant-funding or some form of not for profit, charitable or public ownership is demonstrably not possible; and*
- d) the harm or loss is outweighed by the benefit of bringing the site back into use.*

196. Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.

Three Rivers Local Plan

For Three Rivers the Local Plan consists of a number of Local Development Documents (LDDs) including:

- The Core Strategy: provides the over-arching strategy and policies and the long-term vision for Three Rivers.
- Development Management Policies: sets out the policies against which planning applications will be assessed.

The relevant policies in relation to listed buildings are contained within the 'Development Management Policies and Local Development Document' Adopted July 2013

Policy Approach

Listed Buildings

5.10 The Government's List of Buildings of Special Architectural or Historic Interests contains over 352 entries relating to buildings within Three Rivers which form an integral part of the District's historic landscape. These buildings/structures are nationally listed and include historic homes such as Moor Park Mansion and Hunton Park, public houses, ecclesiastical buildings, and structures such as telephone kiosks, statues and bridges including the railway bridge in Railway Terrace, Kings Langley designed by Robert Stephenson for the London and Birmingham Railway Company.

5.11 Listed Building Consent is required for demolition or for any alteration or extension to a Listed Building which could affect its character (interiors as well as exteriors) and for works to any fixtures and to buildings or structures within the curtilage of the building. Control over changes to Listed Buildings is not intended to prevent all alterations but to protect the buildings from unnecessary demolition and from unsuitable alterations which would be detrimental to the historical significance of the building.

5.12 The demolition of a Listed Building will only be permitted in wholly exceptional circumstances.

Policy DM3 The Historic Built Environment

a) When assessing applications for development, there will be a presumption in favour of the retention and enhancement of heritage assets and to putting heritage assets to viable and appropriate uses to secure their future protection. Applications will only be supported where they sustain, conserve and where appropriate enhance the significance, character and setting of the asset itself and the surrounding historic environment.

b) Listed Buildings

The Council will preserve the District's Listed Buildings and will only support applications where:

i) The extension/alteration would not adversely affect its character as a building of special architectural or historic interest both internally or externally or its wider setting

ii) Any change of use would preserve its character as a building of special architectural or historic interest and ensure its continued use/viability.

Applications involving the demolition of a Listed Building will only be granted in wholly exceptional circumstances.

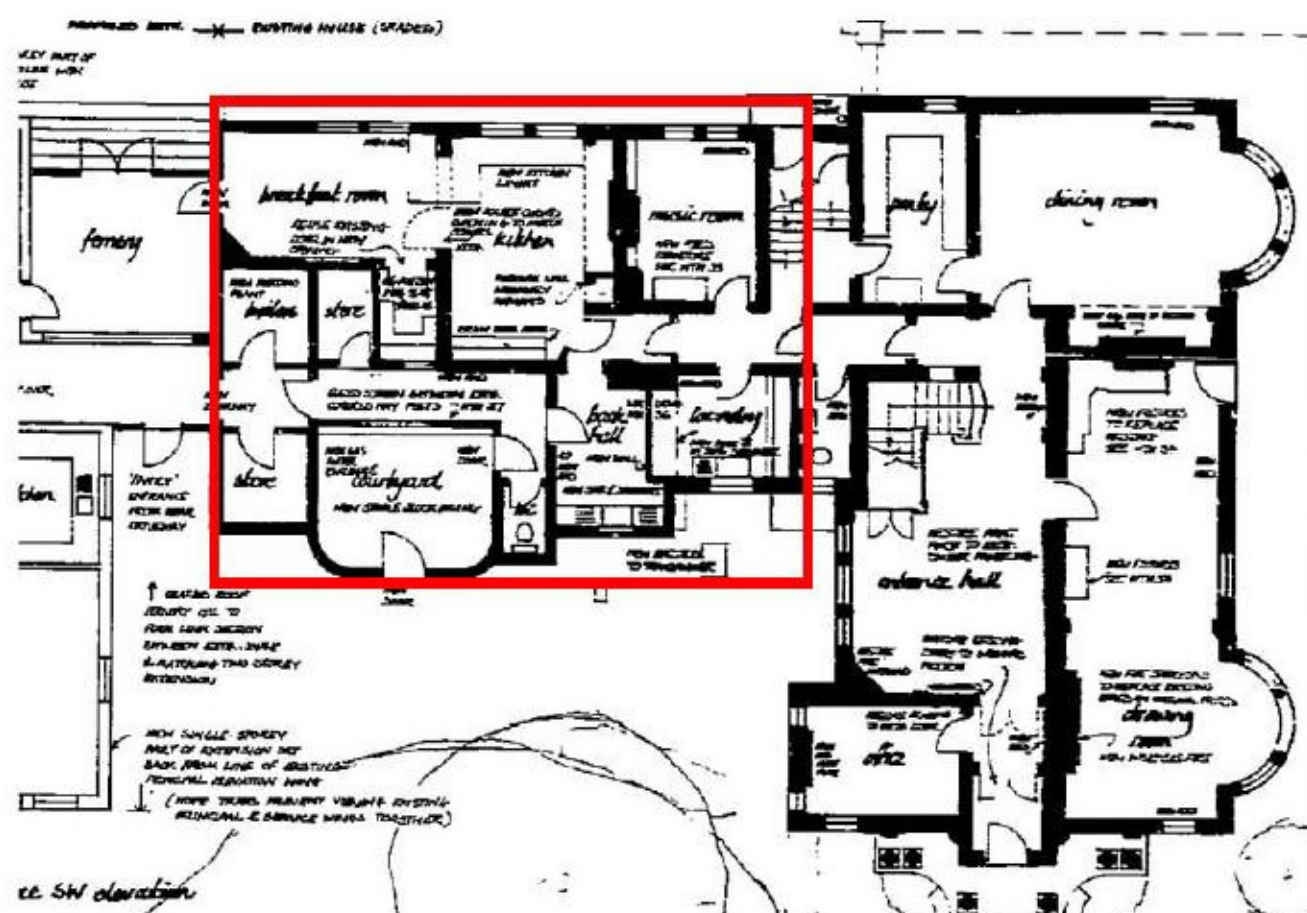
Protection of the District's heritage is an important function of the Council, particularly through the determination of planning applications. Policy DM3 seeks to reflect national policy and includes clarification on what characteristics will be considered when determining development within the historic environment of Three Rivers. This approach will contribute directly to Core Strategy Objective 10: protecting and enhancing the historic environment and unique character of the District.

5.0 ASSESSMENT

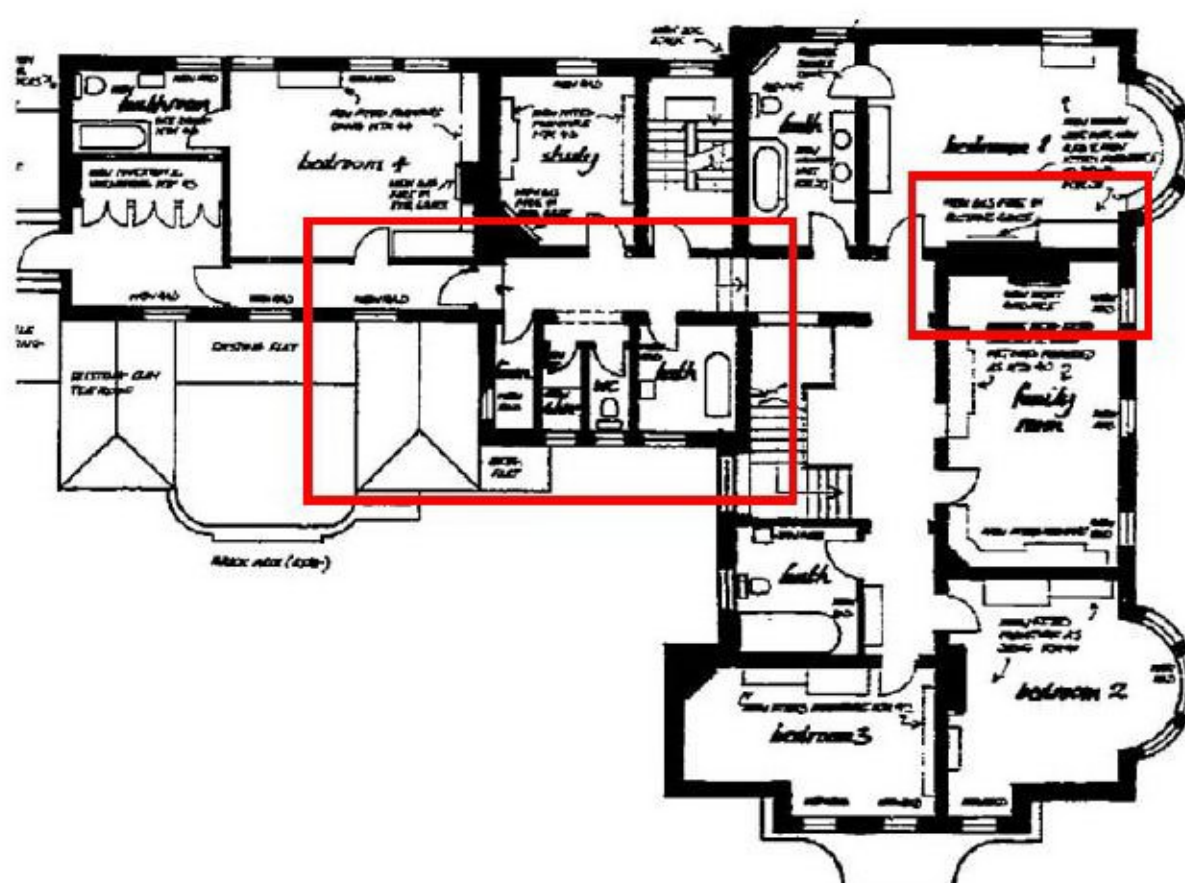
The alterations discussed below have been highlighted by a potential purchaser of the house as works which do not have the benefit of explicit listed building consent and might therefore be considered as unauthorised.

The locations of these alterations are indicated on the proposed 1995 plans of the 95/0203 and 95/0205 applications as follows:

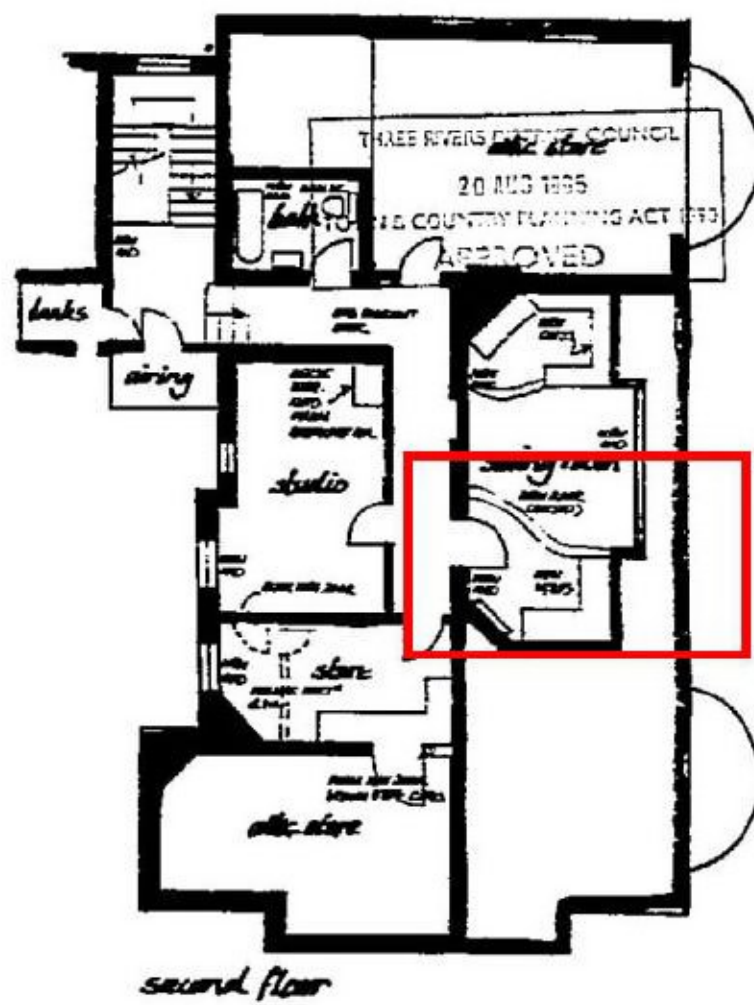
- a. Ground floor - The kitchen and breakfast room



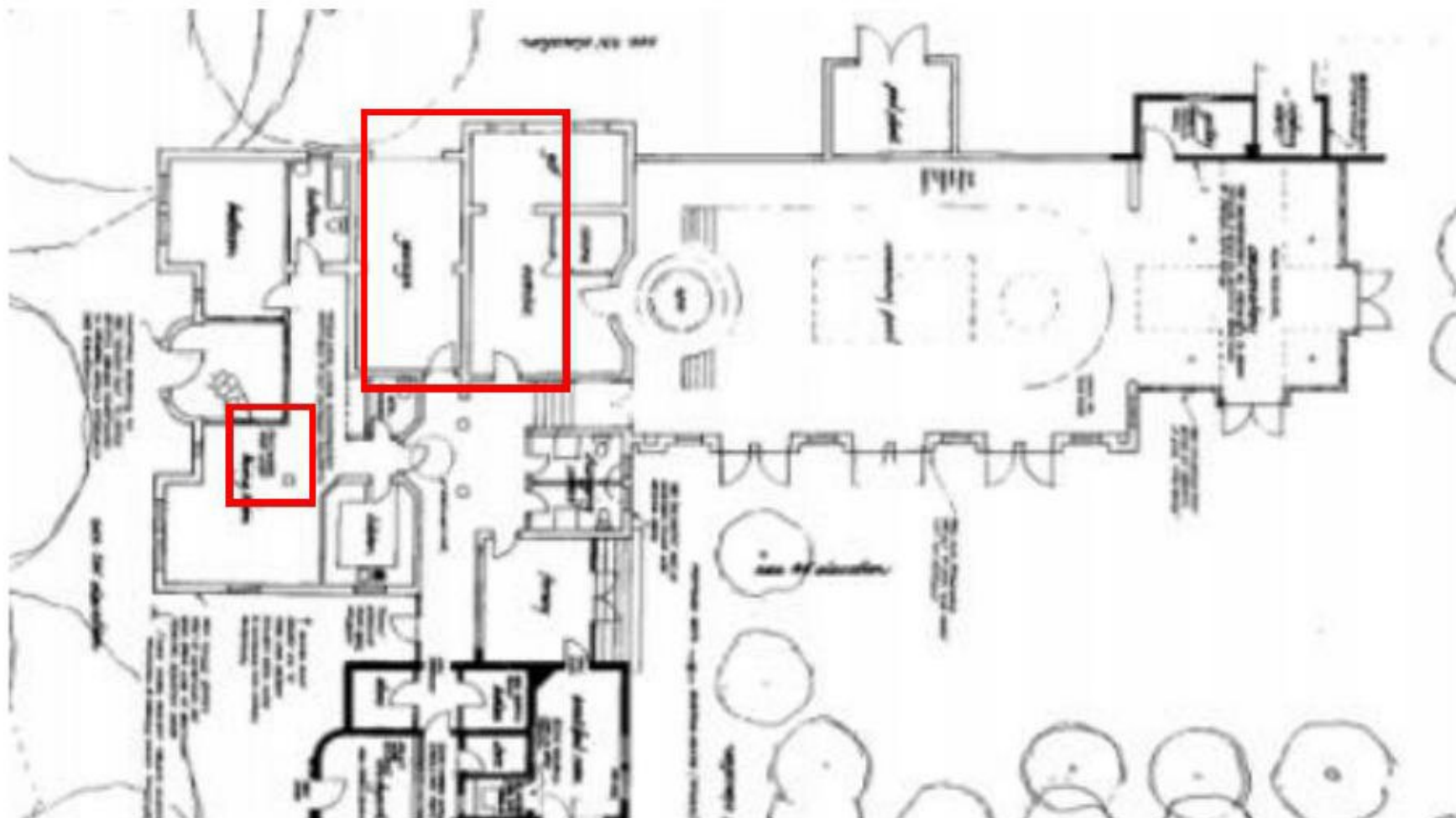
- b. First floor - The master bedroom and family bathroom



c. The second floor – sewing room



d. Extension – former garage and location of wood burner



Our assessment of these works and their impact on the significance of the listed building is as follows:

a.) Ground floor - alterations to the kitchen and breakfast room

The kitchen and breakfast room are located in the rear service wing of the house. Alterations involving loss of some walls have opened up these former service spaces to create a large family kitchen/breakfast room and a larger opening between the existing house and the 1990s extension. A boiler room and associated store rooms have been removed as these functions have been relocated into the new extension when the services were overhauled.

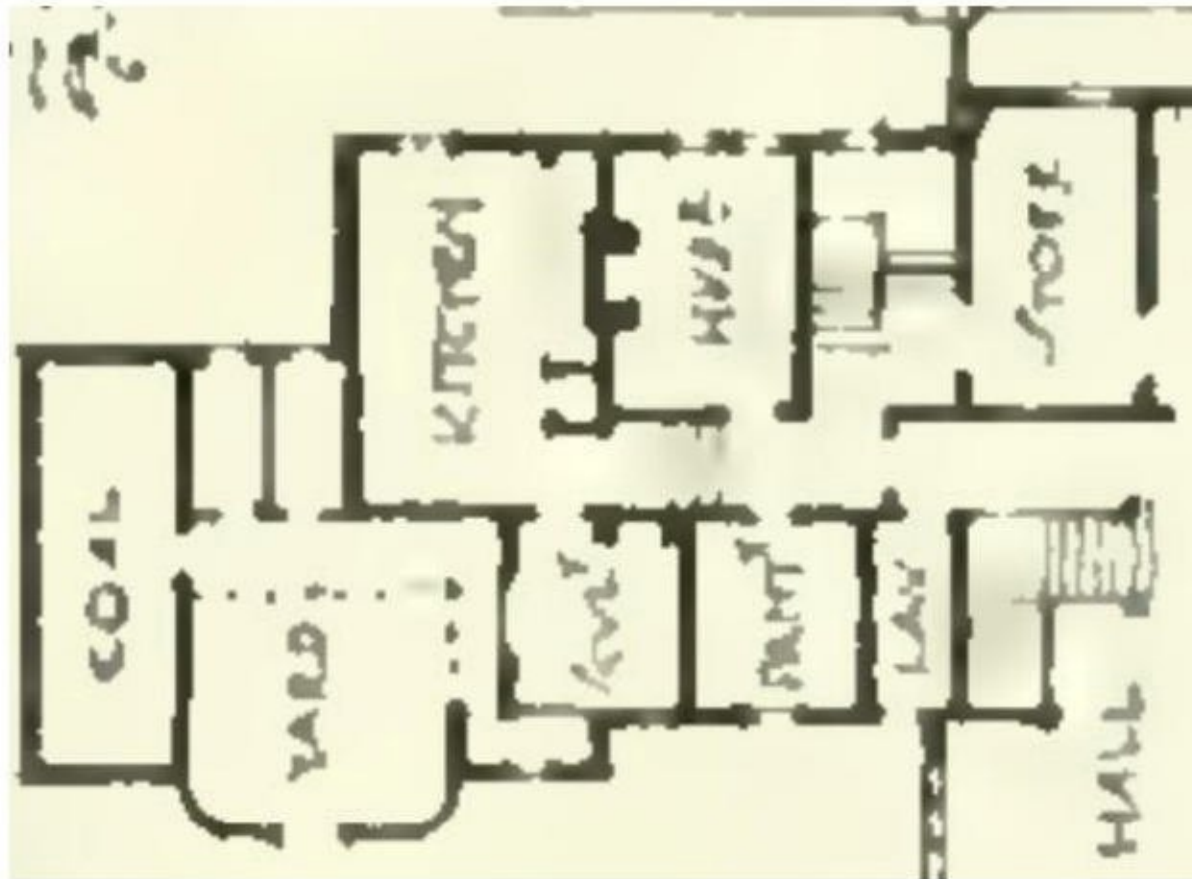
The plans below show the proposed original plan of 1904, the 1995 plan as shown in the approved planning applications and the plan as existing.

The 1995 plan shows that there was already a relatively large opening between the breakfast room and the kitchen. The further opening up of this space, but retaining down stands marking the original location of the walls has preserved the discernibility of the original/ historic plan form but allowed for the creation of a larger eating area.

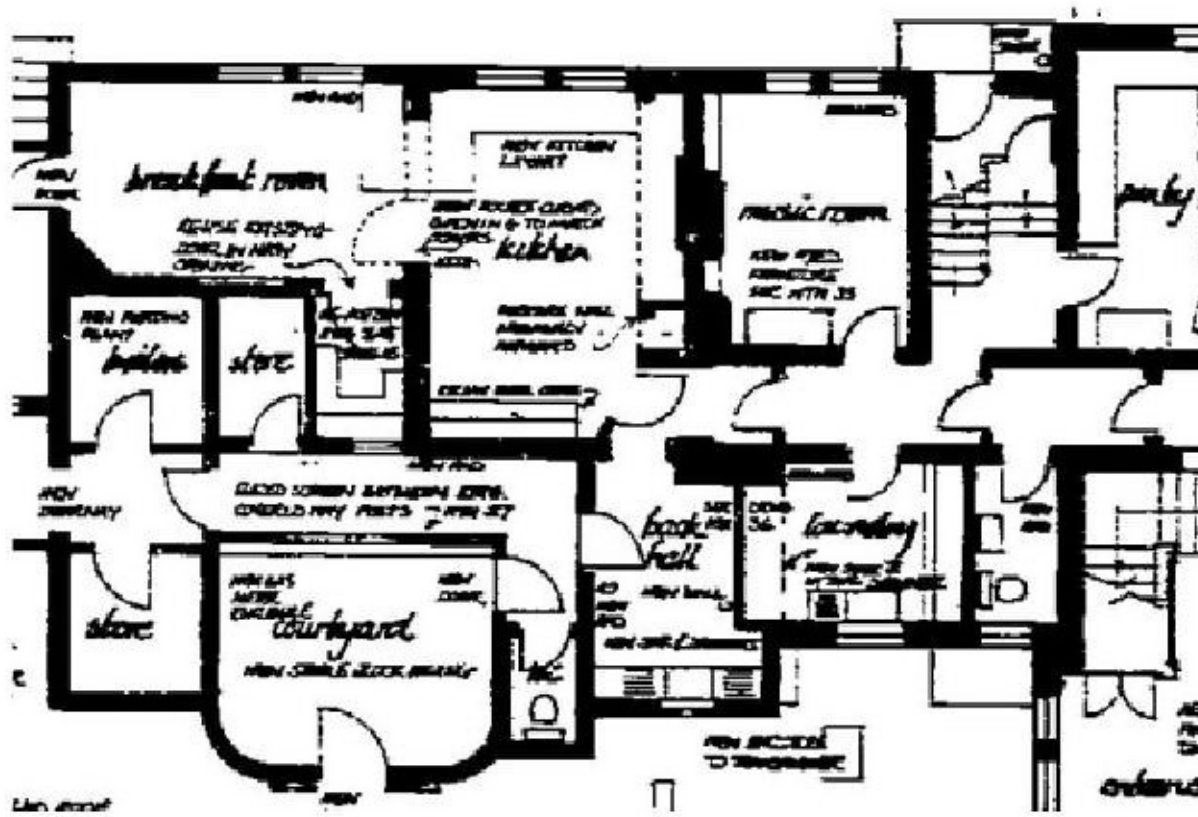
The larger opening in the rear wall of the service wing has also been created. It is not clear whether this is in the original rear wall of the house or the breakfast room was added at a later date. As part of the extension scheme, a single door opening from the breakfast room and a doorway from the back corridor leading from the back hall, were permitted. The principle of an opening had therefore already been established and the creation of a larger opening now has resulted in the loss of some historic fabric and had a minor impact on the historic plan form. However the retention of downstands and nibs within this rear wall has meant that the historic plan form is still discernible.

A wood burning stove has been added into what was previously the breakfast room. The stove is relatively large and of a different character to the space generally, however such an addition has not resulted in the loss of historic fabric and the wood burner could be easily removed and any damage made good.

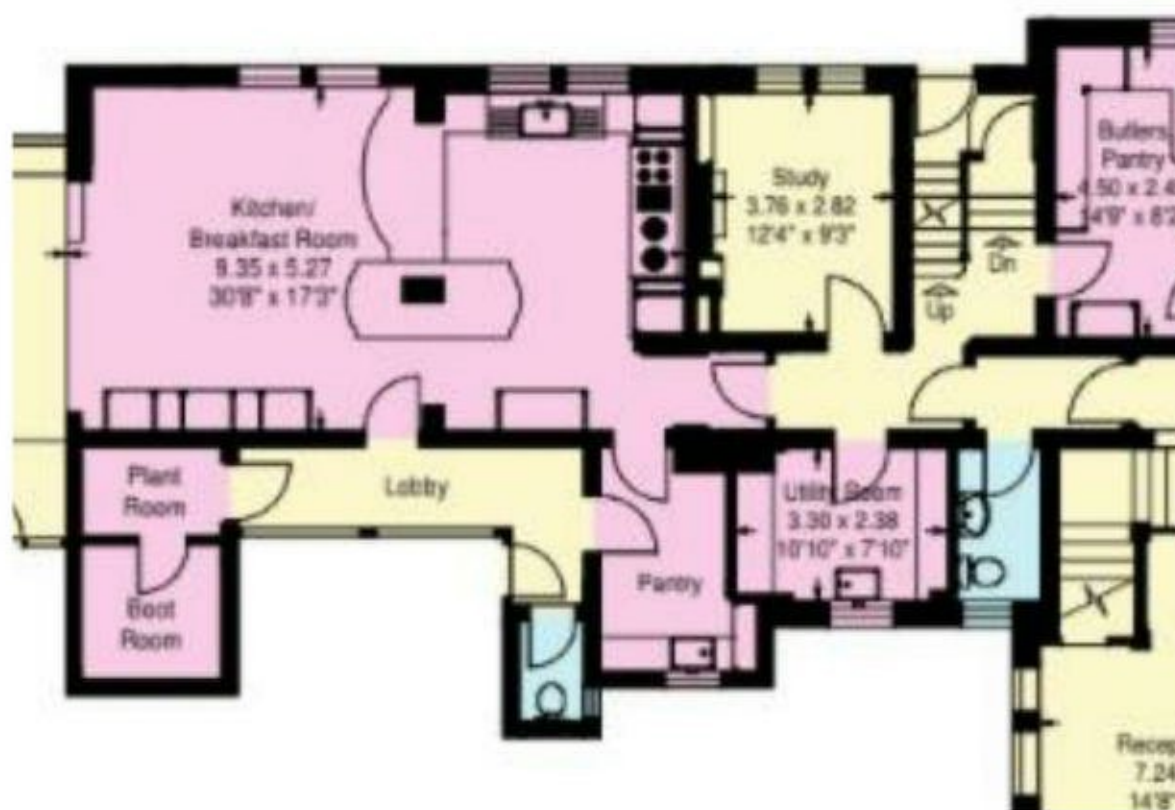
As a service wing, the area is of secondary importance and makes a more modest contribution to the significance of the listed building. It also retains little or no historic fittings. As a result this part of the building can be regarded as more adaptable to change. The alterations which have taken place have had only a minor impact on the overall significance of the listed building. This harm is at the low end of 'less than substantial' and could be outweighed by the public benefit of creating a larger kitchen / breakfast room allowing for the modern adaptation of the house for family living without the harm to the more significant parts of the listed building.



1904 plan



1995 plan



Existing plan



Existing kitchen, showing retained downstands where walls have previously been removed.



The large opening in the rear wall, linking into the modern extension.



View looking backtowards the kitchen from the extension.

b.) First floor

(i) Creation of doorway between master bedroom and dressing room

A doorway has been added linking the master bedroom into a second bedroom so that it can be used as a dressing room.

The creation of a doorway linking a bedroom to a dressing room has resulted in the loss of some historic fabric and a minor alteration to the historic plan form. The existing door to what is now a dressing room is retained. The new door location is discreet and is symmetrically located with the main bedroom door on the other side of the fireplace. The proportions and detailing of the new door and architrave match that of the existing original doors.

The approved plans from 1995 show that listed building consent was previously granted for built-in wardrobes in this room, particularly in this corner. The creation of a doorway into the next room has a more minimal impact on the appearance of the room than the built-in wardrobe although there would be some minor loss of historic fabric.

The impact on the appearance of the room has been minimal and is not harmful. The impact on the overall significance of the whole listed building is negligible.

In addition the 'dressing room' appears possibly to have been subdivided previously. A cupboard has been built into a recess on the landing, which was clearly once a doorway. (see photo below)



Master bedroom



Door into dressing room.



Landing cupboard in a recess which was clearly once an additional doorway into what is now the dressing room.
The existing door is to the right of the photo

- (ii) Removal of partitions between separate WC, shower room and bathroom to create family bathroom.

Alterations have taken place to the main family bathroom on the first floor in the rear, service wing. This area was formerly subdivided into separate rooms with a WC, bathroom and shower room. These rooms have been amalgamated to form one large bathroom. The blocking-up of the original door openings have had a fairly low impact on the overall significance of the listed building, but there has been some minor loss of historic fabric contained within the partition walls and the doors to the separate parts of this space and a minor impact on the historic plan form. The original windows have been retained unaltered which is beneficial (see below.) The alterations to the plan form at this level would have a very minor impact on the overall significance of the listed building.



First floor bathroom



First floor bathroom windows.

c.) Second Floor – Addition of partitions in ‘sewing room’.

The second floor is located within the attic space of the house and is only accessed by the secondary, back staircase.

The sewing room has had a partition wall added to divide the room into two. The partition aligns with the mullion of the existing window. The window has not been altered.

The additional doorway into the room has been created from what appears to have been an internal window, but which suggests that this may well have once been a doorway. Therefore, the loss of historic fabric is likely to have been negligible and the historic plan form is clearly discernible.

In addition listed building consent was previously granted for the removal of the partition walls in the studio as an amendment to the 1995 permission, which indicates that the principle of alterations to this part of the house is acceptable in listed building terms given the much more modest significance of this part of the house.



Second floor sewing room

e.) Modern extension

(i) Bricking up of garage door and conversion to cinema room

The most recently approved scheme included a garage incorporated into the modern extension. This garage has now been converted to a cinema and the previously existing garage door replaced with brickwork to match the adjacent brickwork.

Permission has been granted for the reconstruction of the garage block away from the main building and this is shown in approved plans.

The loss of the garage and replacement of the garage door with brickwork to match the adjacent brickwork, has had no impact on the significance or the special interest or appearance of the listed building. There has in fact been some enhancement of this modern elevation, where previously a garage door would have looked incongruous.

(ii) Addition of wood burning stove and flue within modern extension

Whilst a wood burner has been added into the modern extension, in this location there has been no impact on the special architectural or historic interest of the listed building as it is located in the modern extension. The addition of a small external flue is de minimis in our opinion with no impact on the external appearance or significance of the listed building.



Wood burner in modern extension

6.0 SUMMARY AND CONCLUSION

This Heritage Statement has been produced by the Built Heritage Consultancy on behalf of the owner of High Trees, Old Shire Lane (the 'Site').

It has researched the history and development of the site, evaluated the significance of the building and assessed the impact of certain alterations on the overall significance of the listed building, in proportionate detail.

In brief we would draw the following conclusions:

- It is accepted that listed building consent is required for all works of demolition, alteration or extension to a listed building that affects its character as a building of special architectural or historic interest. The requirement applies to all types of works and to all parts of those buildings covered by the listing protection (possibly including attached and curtilage buildings or other structures) provided the works affect the character of the listed building as a building of special interest.
- Alterations have taken place which have affected the special interest and character of this listed building and would have required listed building consent prior to works starting on site.
- The building is a very attractive Neo-Georgian country house, most likely built in 1904 by the architect Claude W Ferrier FRIBA (1879 – 1935). The house appears to be largely unaltered from when it was originally built and much of the original plan form remains as does an abundance of architectural detailing and fabric. The only significant previous alteration is the addition of a two storey 1990s extension to the north side of the house which has almost doubled the footprint of the building. Whilst attractive and well designed so as not to detract from the original listed building, this part of the building has no special interest and is therefore of no significance.
- The significance of the building can be attributed to its high architectural quality. The areas of highest significance of the main house are the main front and garden elevations which are richly detailed and, it appears, unaltered from the time the house was built.
- The east elevation facing the green house is also of moderate to high significance, although it appears that the service wing has been extended in the past as indicated by the architect's 1904 plan and the 1913 map. The existing plans which formed part of the 1995 application show that the plan form where the breakfast room now is has been extended at some time.
- The interior of the house retains much of its original character, historic fabric and architectural detailing, particularly the ground floor principal rooms. The original staircase and panelled hall are also preserved as well as much of the original architectural detailing

in terms of doors, fireplaces, architraves, cornice, windows. There have been some very minor alterations to the plan form of the drawing room, but the original main historic plan form is still clearly discernible. These ground floor rooms are also of high significance.

- The rear wing of the house which is beyond the back staircase and to the north of the building is of less significance. This was clearly designed as a secondary, service part of the house and as such contained various rooms associated with the running and maintenance of a large house. The spaces in this part of the house whilst retaining some modest architectural detailing are very clearly designed as the less public parts of the house and are therefore more restrained in their design.
- The opening up of the breakfast room and kitchen room to create a larger family kitchen and the creation of a larger opening from the breakfast room to the extension has resulted in the loss of some historic fabric but the historic / original plan form is still discernible as down stands and nibs are retained.
- It is unclear where the original rear wall of the house originally was or may have been. The plans of 1904 do not indicate a breakfast room, but the existing plans submitted for the 1995 application show it. This may well have been an early, addition to the original house or was added at the time of construction. On balance the works to this part of the house have had a very minor impact on the significance of the house, and this small amount of harm is justified by the upgrading of this part of the house for modern family living and the continued viability of the house.
- The works to the first floor are to parts of the house of less significance. The creation of a doorway between the master bedroom and a second room to create a dressing room, is a discreet alteration and has been carried out in an appropriate manner using detailing to match adjacent original work. The works to create a modern family bathroom could be accepted to allow for the modern adaptation of the house for its continued residential use; any loss of historic fabric in this location would not be harmful and the plan form is of limited interest at this level. These works have had a negligible impact on the overall significance of the listed building.
- The second floor is of the least significance internally in the listed building. The addition of a partition had had a negligible impact on the significance of the listed building. The alterations have not impacted on the elevations.
- The alterations in the modern extension have had no impact on the special interest of the listed building at all.

In conclusion having assessed the overall significance of the listed building, the alterations have affected areas of lesser significance and the overall impact on the significance of the listed building is towards the lowest end of 'less than substantial harm'. This very minor amount of harm is outweighed by the public benefit to allow the continued use of the house for modern family living. The alterations have not adversely affected the house's character as a building of special

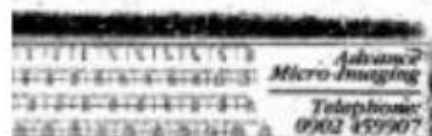
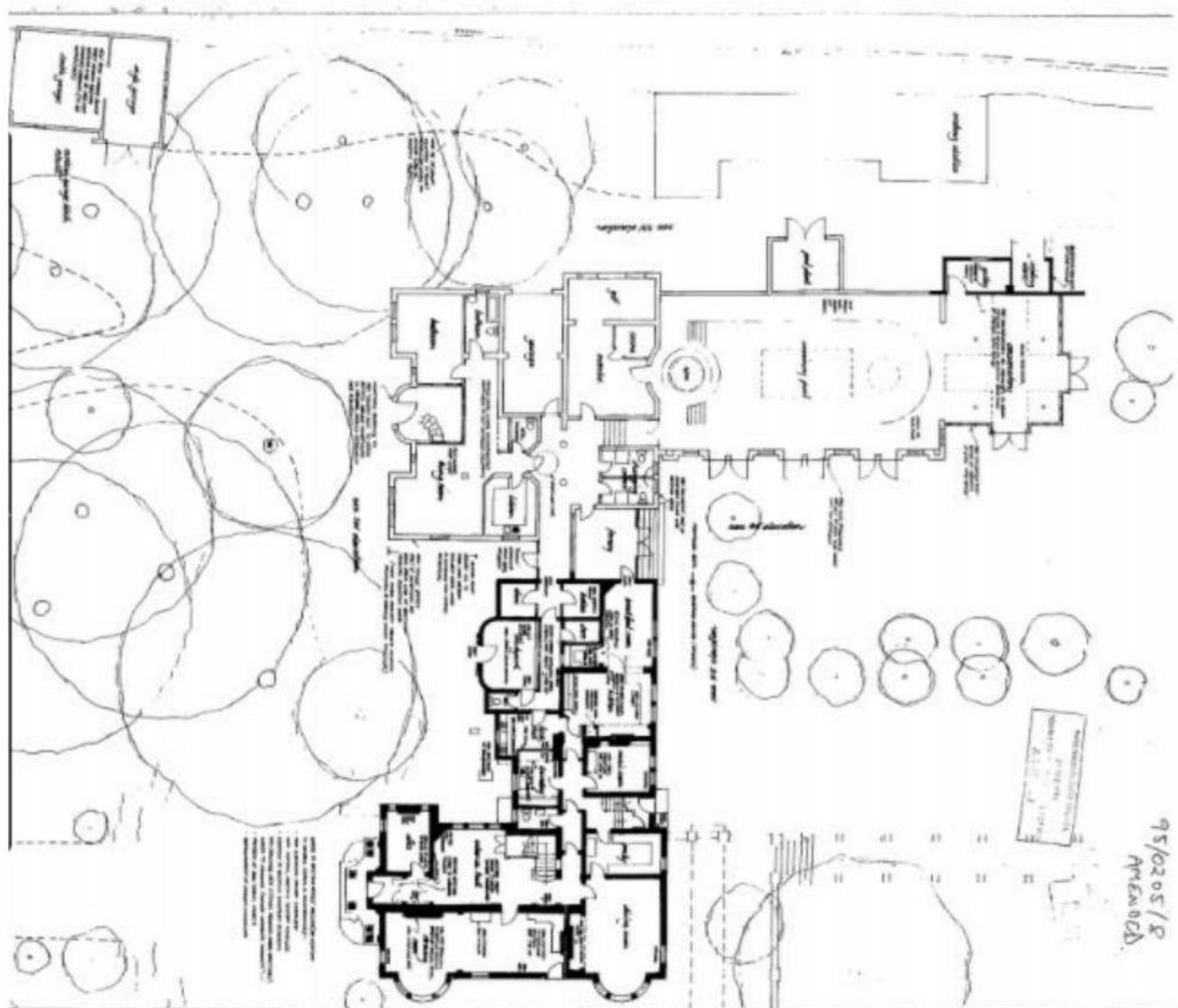
architectural or historic interest, either internally or externally, and its setting is preserved. The overall significance of the listed building has therefore been preserved.

We would therefore consider that the alterations comply with local policy and national policy and guidance on listed buildings.

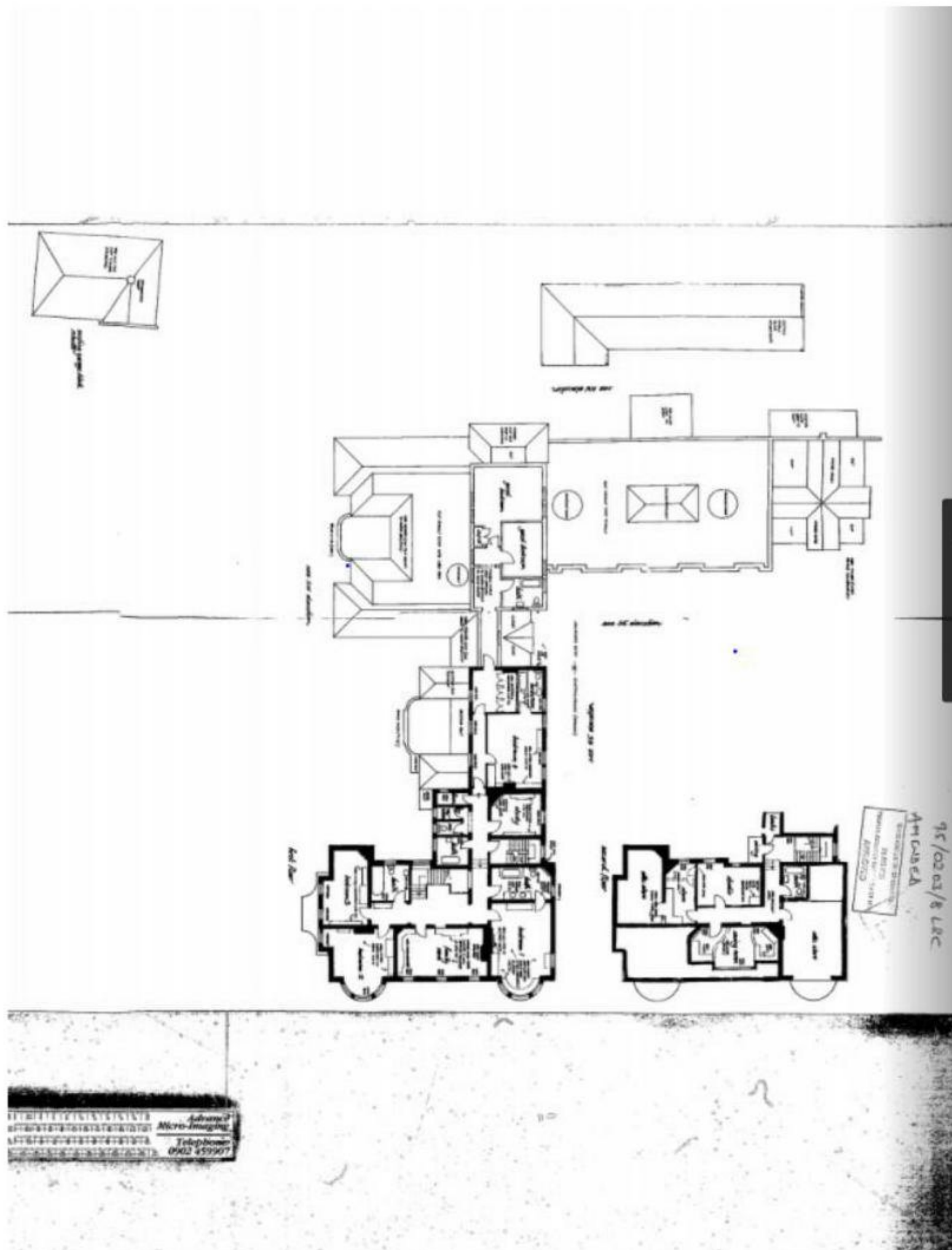
7.0 APPENDICIES

Planning and listed building application ref 95/0205 and 95.0203

Ground floor plan



First floor plan



MINOR AMENDMENT
95/203/8LBC

store 3

sewing
SEE DRAWING WITH 46

studio

store 5

bath

back stair

airing

tanks

W61, W62, W63, W64, W53, W58, W60

D52, D53, D54, D55, D56, D57, D58, D60, D61, D62

RE-USE D52 FRAME (FLOOR/CEILING)

REMOVE PARTITION & DOORS

REMOVE PARTITIONS

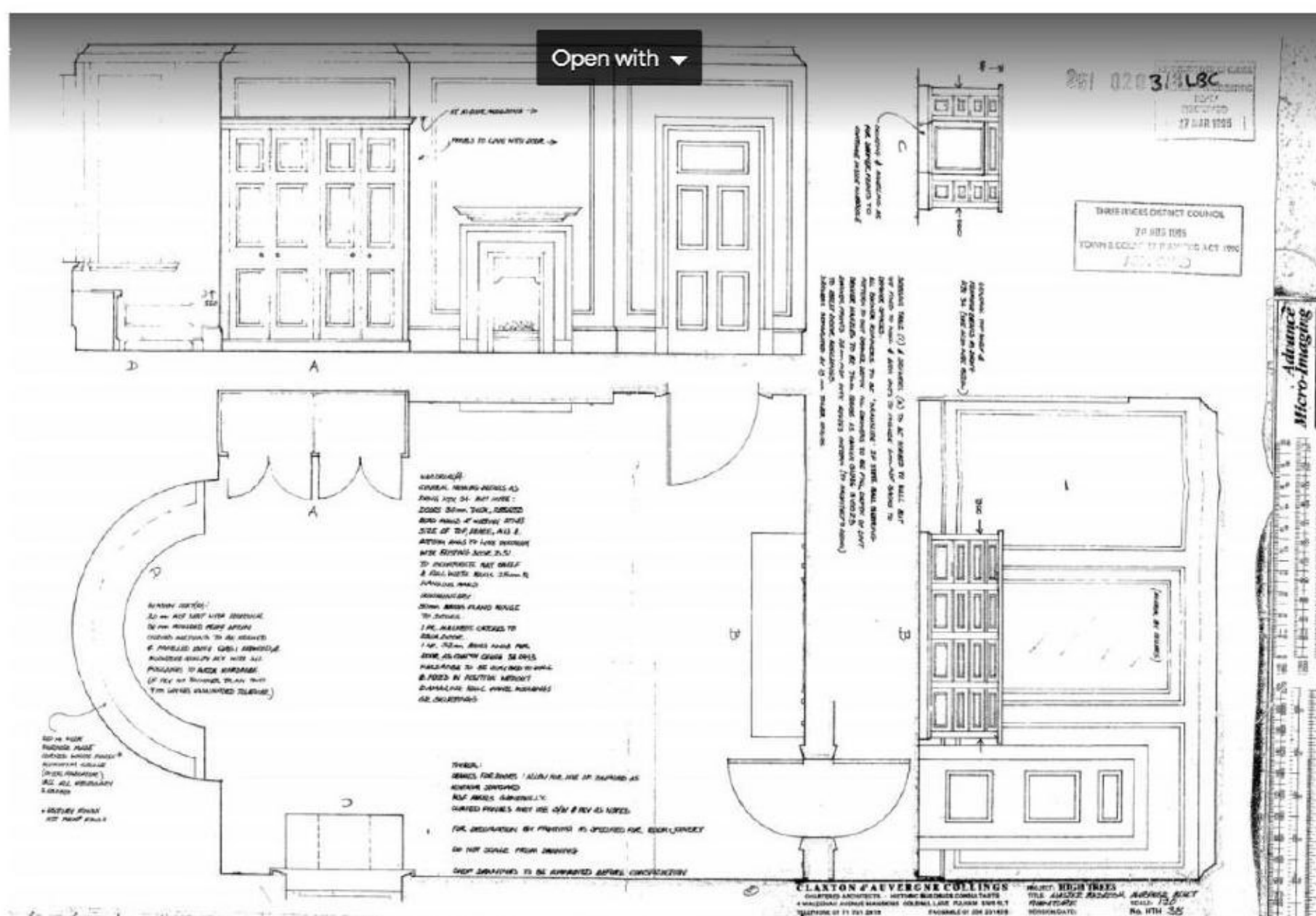
RE-USE D54 LENS

REPAIRS TO DOOR IN HALL

NEW SPRING (REMOVING CLIPS IN STORE 5)

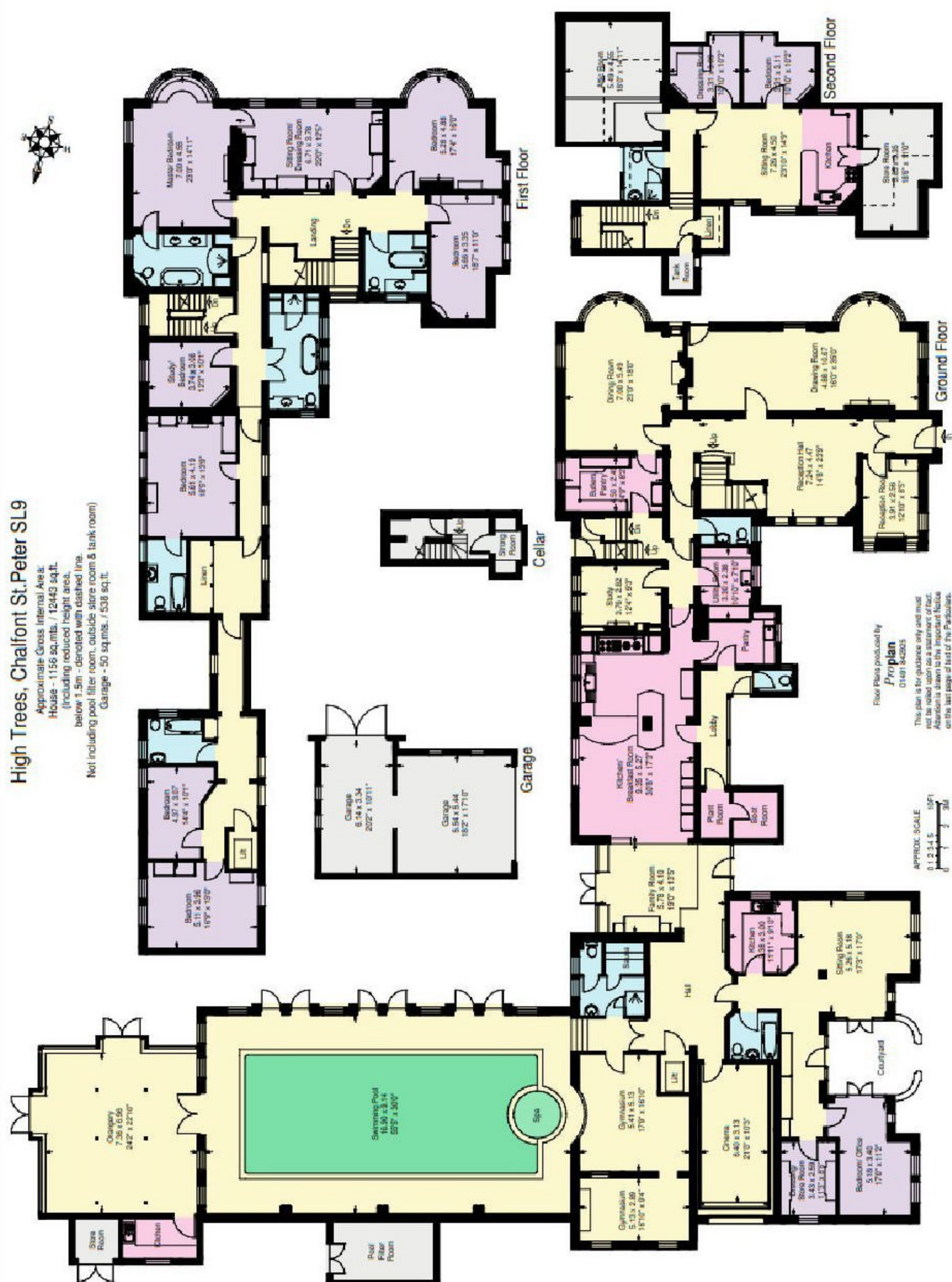
OCT 1986

Master bedroom built in furniture details



Built Heritage
Consultancy

High Trees, Old Shire Lane, Chalfont St Peters, - Heritage Statement



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