

Arboricultural Impact Assessment

Sceaux Gardens Estate
Camberwell
London

13th May 2021



PJC ref: 5746/21/02 Rev –

This report has been prepared by
PJC Consultancy Ltd
on behalf of
Southwark Council

**Prepared
by**

Luke White FdSc Arboriculture M.Arbor.A

Luke is an arboriculturist with over seven years experience working within the arboricultural and forestry industry with the latter five years working within consultancy. He gained a foundation degree in arboriculture with distinction from the University of Brighton in 2012 and is a professional member of the Arboricultural Association.

**Checked
by**

Peter Davies FdSc Arboriculture M.Arbor.A

Peter has a Foundation Degree in Arboriculture from the University of Brighton and is a professional member of the Arboricultural Association. He has over ten years experience in the arboricultural industry, originally working as a groundsman and feller, and progressing into consultancy. He is a Lantra accredited professional tree inspector.

Sussex office:

Rocks Yard, Victoria Road,
Herstmonceux, Hailsham,
East Sussex, BN27 4TQ
Tel: 01323 832120

E: contact@pjconsultancy.com

Kent office:

Unit 1, Hanover Mill,
Mersham, Ashford,
Kent, TN25 6NU
Tel: 01233 225365

W: www.pjconsultancy.com



CONTENTS

1 Executive summary

2 Introduction

3 Arboricultural impact assessment

4 Conclusions

Appendices:

1. Tree Constraints Plan
2. Tree Retention Plan
3. Root Protection Area Encroachment Plan
4. Preliminary Tree Protection Plan
5. Tree Survey Schedule

1 EXECUTIVE SUMMARY

1.1 This report should be read in conjunction with arboricultural survey ref. PJC/5746/21/01 and all supporting documents stipulated in paragraph 2.5.

1.2 **Site location:** The site is situated to the south of Dalwood Street approximately 1km east of central Camberwell and approximately 1km west of central Peckham, more broadly in the London Borough of Southwark. The site has a central OS grid reference of TQ 33405 76866. The surrounding land use is comprised of a primary school to the east with private residential properties and apartments blocks on all remaining aspects. The location of the site within its environs is shown in figure 1.



Figure 1: Location of Site and Environs (Map data: © 2018 Google)

1.3 **Proposal:** A proposal has been outlined to demolish the existing Florian House and Racine House and construct new apartment buildings with similar footprints to that of the existing buildings. In addition, a block of single storey garages, located in the site's eastern aspect, are to be demolished to allow construction of an additional apartment block. The proposals include extensive hard landscaping, soft landscaping and the installation of formal play equipment within the central garden area.

1.4 **Tree removals:** Trees T35, T39, T40, T50 and tree group G12 will require removal to facilitate the proposed development. Additionally tree T45 is recommended for removal on grounds of sound arboricultural management. The loss of trees as a direct result of the proposals should be mitigated by new tree planting on a like for like stem diameter basis. The site includes a large area of open space and a number of possible urban planting areas, therefore onsite mitigation planting is considered feasible.

1.5 **Access facilitation pruning:** Trees expected to require access facilitation pruning to enable the proposed construction works (based on the information currently available) comprise T25, T33, T44, T47, T52, G16, G17 and G20. It is anticipated that the crowns of all remaining retained trees across the site will be located a sufficient distance from

proposed construction activities and expected construction access routes so as not to require access facilitation pruning.

1.6 Works within root protection areas: Demolition of Florian House and the construction of the foundations for the replacement structure will occur within the root protection area of T44 and G16. Further root investigation works are required following demolition of the existing structure, to better understand the implications of construction works to retained trees.

1.7 Replacement hard surfacing is proposed within the root protection area of T25, T32, T33, T42, T43, T44, T46, G5, G11, G15, G16 and G17. To reduce impacting upon the root network of retained trees, the replacement hard surfacing shall utilise a sympathetic construction methodology and/or engineered solution.

1.8 Existing hard surfacing (forming garage foundations) within the rooting area of off-site tree group G20, shall be removed and replaced with soft landscaping. The removal of the existing surface shall be completed using sympathetic working practices to limit impacts to retained trees.

1.9 Soft landscaping and the installation of formal play equipment with the central garden area is likely to occur within the root protection area of retained trees. To minimise impacts to the root networks of retained trees, soft landscaping shall utilise working practices that are sympathetic to root growth. In addition, the final design/specification for formal play equipment shall be of low impact design that requires minimal excavation and limited/no additional hard surfacing within the rooting area of retained trees.

1.10 All remaining areas of demolition and construction are located outside the root protection area of retained trees. Based on information made available at the time of this reports production, trees recommended for retention can be protected during the construction period and successfully integrated into the site post development.

2 INTRODUCTION

2.1 Instruction: PJC Consultancy has been instructed by London Borough of Southwark to provide an arboricultural impact assessment in accordance with BS5837: 2012 '*Trees in relation to design, demolition and construction – Recommendations*' for the proposed re-development at Sceaux Gardens Estate, London.

2.2 Objectives of report: This report has been undertaken with the following objectives:

- To identify the tree removals and pruning works that will be required as a result of the proposed development and to assess the impact of the tree works.
- To provide recommendations on mitigation measures to reduce the impact of tree removals from the development site.
- To assess the potential impact the proposed construction works will have on retained trees.
- To provide recommendations for mitigation measures to reduce the impact of construction works on retained trees.
- To assess the post development relationship between trees and the proposed development.

2.3 Scope of this report: This report is concerned with all significant trees and arboricultural features located within the site boundary. Additionally, trees located around the curtilage of the site have also been assessed when they are considered likely to have the potential to impact on the development (in relation to root and crown protection or foundation design).

2.4 Contents of report: This report includes the following:

- A schedule of trees to be retained/removed.
- A schedule of access facilitation pruning required for the development.
- An assessment of the impact construction works will have on retained trees and mitigation measures to be implemented.
- An assessment of post development pressures on trees.
- Recommendations for post development arboricultural management.
- Tree Constraints Plan.
- Tree Retention Plan.
- Root Protection Area Encroachment Plan.
- Preliminary Tree Protection Plan.
- Tree Survey Schedule including management recommendations related directly to the proposed development.

2.5 Documents and information provided: The following documents were used to aid the preparation of this report:

- Document reference A717-WWP-ZZ-00-DR-A-00101 – Proposed Site Layout Plan (*WestonWilliamson+Partners, May 2021*).
- Site Establishment and Logistics Plan Issue 2 (*Engie, May 2021*).

2.6 Limitations of report: The following arboricultural impact assessment has been prepared for the proposal stated in paragraph 1.3 and using the plans and information listed in

paragraph 2.5. The report should not be relied upon if the stated proposal or proposed design changes unless the author confirms the changes do not have a bearing on the arboricultural impacts or recommended mitigation measures. The documents listed below were not available at the time of this reports production. The contents of these documents may have a bearing on arboricultural impacts and are likely to influence final tree protection methodologies and phasing of work. It is recommended that the following documents be provided prior to the production of a final and detail arboricultural method statement:

- Detailed foundation specification/design for Florian House.
- Detailed hard landscaping plan including cross sections for replacement hard surfacing.
- Detailed soft landscaping plan.
- Detained design and specification for new formal play equipment to be sited with the central garden area.
- Proposed service plan, including any requirement for the redirection of services.

3 ARBORICULTURAL IMPACT ASSESSMENT

3.1 Tree removals: Trees to be removed for the proposed development are shown with dashed outlines on the Tree Retention Plan in Appendix 2 and are shaded to indicate their BS5837 tree category. These comprise one category A tree, two category B trees and three category C trees. A summary of the tree removals is shown below. Additionally, one category U tree has been recommended for removal due to existing defects rendering it unsuitable to retain in the context of the current land use. This removal should be completed as part of good arboricultural management and not as a result of the development proposals.

Table 1: Tree removals summary

Tree number	Species	Category	Stem diameter	Justification for tree removal
T35	Ash	B1+2	310mm	Tree requires removal to implement construction logistics plan. Tree is not deemed feasible to retain considering the frequency of access. The loss of T35 will be mitigated by new tree planting on a like for like stem diameter basis.
T39	European lime	B1+2	845mm	Tree conflicts a proposed service vehicle route required to supply the replacement Florian House building. The loss of T39 will be mitigated through a financial contribution to Southwark Councils tree planting strategy.
T40	European lime	C1	470mm	Tree conflicts a proposed service vehicle route required to supply the replacement Florian House building. The loss of T39 will be mitigated through a financial contribution to Southwark Councils tree planting strategy.
T45	Lime	U	N/A	Considered unfeasible for retention considering its close proximity to areas of public access. Remove on grounds of sound arboricultural management.
T50	London plane	A1+2	590mm	Despite being subject of past heavy cyclical crown reduction, T50 is not considered feasible to retain due to the close proximity of the proposed structure and the feasibility of unhindered construction. In addition, the stem of T50 has enveloped a low level metal railing, which may pose a safety concern long term. The loss of T50 will be mitigated by new tree planting on a like for like stem diameter basis.
2 x G12	Raywood ash	C1+2	260mm	Both trees forming group require removal to facilitate re-configuration of vehicular parking and the allocation of a new disabled parking bay. Trees are considered

of limited quality and their loss will be mitigated by new tree planting on a like for like stem diameter basis.

3.2 Mitigation planting: The site offers ample opportunity for both replacement and additional tree planting during the soft landscaping phase of development. The detailed soft landscape proposals are to be confirmed on the date of this report. However initial design indication highlights approximately 20 new specimens trees will be planted. The loss of trees as a direct result of the proposals should be mitigated by new tree planting on a like for like stem diameter basis (with exception of trees T39 and T40). The site includes a large area of open space and a number of possible urban planting areas, therefore onsite mitigation planting is considered feasible. The collective stem diameter of trees to be removed to facilitate development is 1420mm. Therefore to mitigate loss, a total of 28no 14–16cm girth, extra heavy standard trees will need to be planted within the site extents. As the girth of the replacement trees increases, the total number of required tree planting will also reduce. The final number, location and specification for new tree planting shall be provided by the projects landscape architect.

3.3 The loss of trees T39 and T40 is not considered feasible to mitigate by on-site planting on a like for like stem diameter basis. To mitigate the loss of these two trees, a financial contribution should be made to the Local Authority to be used on tree planting schemes within locality of the site. The final financial contribution value is yet to be confirmed. However, a value based on the Capitol Asset Valuation of Amenity Trees (CAVAT) methodology is presumed likely.

3.4 Access facilitation pruning: Trees expected to require access facilitation pruning to enable the proposed construction works (based on the information currently available) comprise T25, T33, T44, T47, T52, G16, G17 and G20. It is anticipated that the crowns of all remaining retained trees across the site will be located a sufficient distance from proposed construction activities and expected construction access routes so as not to require access facilitation pruning. A summary of access facilitation pruning is shown below.

Table 2: Summary of access facilitation pruning

Tree number	Species	Works required	Reason for works
T25	Beech	Lift crown by 1m to provide 3m ground clearance. Reduce crown laterally by 1m on all aspects.	To provide sufficient clearance for the erection of tree protection fencing and to provide sufficient clearance with the proposed structure.
T33	London plane	Reduce crown laterally by 2m on all aspects.	To provide sufficient clearance with the proposed structure.
T44	London plane	Reduce southern crown aspect laterally by 5m and all remaining aspects laterally by 2m.	To provide sufficient clearance with the proposed structure.
T47	Horse chestnut	Lift crown by 1m to provide 3m ground clearance.	To provide sufficient clearance for the erection of tree protection fencing.

T52	Horse chestnut	Lift crown by 1m to provide 3m ground clearance.	To provide sufficient clearance for the erection of tree protection fencing.
G16	London plane	Reduce crown laterally by 2m on all aspects back to suitable growth points.	To provide sufficient clearance with the proposed structure.
G17	Hornbeam	Lift crowns by 1m to provide 3m ground clearance.	To provide sufficient clearance for the erection of tree protection fencing.
G20	Sycamore	Reduce crowns back to site boundary.	To provide sufficient clearance for the erection of tree protection fencing and to provide sufficient clearance with the proposed structure.

3.5 Any additional requirements for access facilitation pruning that cannot be predicted at this stage in the design process (e.g. finalised construction and logistics plan or the movement of large or specialist plant machinery) shall be discussed at the pre-commencement meeting with the project arboriculturist and agreed with the local authority arboricultural officer. No works may be carried out on protected trees without prior permission from the local authority. The tree works contractors should carry out all tree works to BS3998: 2010 '*Tree works – recommendations*', as modified by research that is more recent. They should also carry relevant, adequate and up to date insurance. It is also recommended that all tree works are carried out by an Arboricultural Association approved contractor. Approved contractors are expected to work to industry best standards, and the Arboricultural Association website (www.trees.org.uk) contains contact details and information on engaging a suitable contractor.

3.6 **Building foundations within root protection areas:** The root protection area of trees T44 and G16 extend beyond the existing Florian House footprint. This building was constructed in the 1950's and although no evidence was provided in relation to the foundation specification of this structure, it is likely to have utilised shallow strip foundations. Shallow strip foundations are not considered to be a significant rooting constraint and the root protection area of these trees were subsequently shown as symmetrical.

3.7 Although the presence of roots under the existing structures is considered to be unlikely, the design of the new building foundations has taken potential root growth in this area into consideration. The proposed new multi-storey apartment block will be sited within a similar footprint to that of the existing Florian House and will use a piled foundation solution. This foundation type can be designed in such a way as to minimise excavation requirements and therefore limit root exposure. This is highly dependent on a number of factors, such as pile specification, pile location, pile cap specification and the buildings final floor level.

3.8 The existing building foundations shall be removed during the demolition phase under the careful supervision of the project arboriculturist. Following demolition, trial trenches shall be excavated by hand or by use of compressed air equipment, along the edge of the existing building foundations to a depth of 700mm. Root investigation shall be completed under strict arboricultural supervision.

3.9 Any roots that are revealed during this process will be clearly marked on site and locations recorded/mapped to allow for pile locations to be clearly defined prior to commencement of works, with an objective to avoid significant root mass. The location of any revealed roots shall be highlighted on a root investigation plan, which can subsequently be used to influence pile location. If the location of a significant root coincides with a pile location, and the pile is not feasible to re-locate, the project arboriculturist shall also provide guidance in relation to root pruning, as this should be considered a possible unavoidable outcome.

3.10 Crown pruning and/or root pruning to this intensity is likely to impact upon the trees physiological condition to some degree. However, the works are not predicted of such severity that would warrant removal at this time.

3.11 Replacement hard surfacing within root protection areas: Replacement hard surfacing is proposed within the root protection area of T25, T32, T33, T42, T43, T44, T46, G5, G11, G15, G16 and G17. The surface is comprised of concrete slabs which is considered to be adequate for light vehicles/plant machinery, but may break up if used by heavy vehicles/plant machinery for a prolonged period. As it must be assumed that root growth is present below this surface, temporary ground protection must be installed on top of the existing hard surface and maintained throughout the demolition and construction phase of development. The specification for temporary ground protection will be included in a detailed arboricultural method statement.

3.12 The existing surface shall be removed and replaced with a new surface as a final phase of development, once primary construction works have been completed. The final specification of the replacement surface is yet to be confirmed. However, to minimise impacts to retained trees, the new surface must utilise the existing surface sub-base. In addition, a significant change in levels will not be feasible, unless a suitable engineered solution is deemed viable for used. The final specification for the replacement surface must be provided by a structural engineer and reviewed by the project arboriculturist prior. The final approved specification will then be included within a detailed arboricultural method statement.

3.13 Replacement of existing hard surfacing with soft landscaping: Existing hard surfacing (forming garage foundations) within the rooting area of off-site tree group G20, shall be removed and replaced with soft landscaping as a final phase of development. The existing hard surface, assumed to be concrete (no internal access was granted during the initial survey), shall be retained and maintained throughout demolition and construction to provide ground protection and provide construction access. The existing surface shall be kept intact and undamaged. If the surface becomes rutted or broken, temporary ground protection shall be installed. The specification of temporary ground protection shall be included within a detailed arboricultural method statement. Following completion of the primary construction phases, the existing surface shall be removed. Removal will be completed under arboricultural supervision and will utilise sympathetic methodologies to minimise impacts to retained trees.

3.14 Site access and egress: The primary construction site access will be via the estates existing access road in the east of the site and via an existing access to the north leading from Dalwood Street. Refer to Site Establishment and Logistics Plan (produced by ENGIE). The Preliminary Tree Protection Plan included in Appendix 4, has been produced to reflect

option 1 for the contractors compound set up for each phase. Option 1 for each phase is considered most suitable to safeguard arboricultural features.

3.15 Soft landscaping and the installation of formal play equipment: The installation of formal play equipment within Sceaux Gardens has been indicated on the proposed site plan. The detailed specification of formal play is yet to be confirmed. To limit impacts to retained trees, play equipment must be of low impact design that can be installed directly on the existing ground with minimal requirement for excavation. The final specification and design of formal play equipment must be reviewed by the project arboriculturist. The final approved specification will then be included within a detailed arboricultural method statement.

3.16 Soft landscaping may occur within the root protection areas of a number of retained trees at the site. In order to protect both tree roots and the condition of the rooting medium, these works shall occur sensitively as to be described in the detailed arboricultural method statement.

3.17 Vulnerability of trees during construction: Construction activities can cause compaction or contamination of the rooting medium, which can have a significant detrimental impact on root function and the long-term health of trees. Similarly construction activities can result in damage to the above ground parts of trees that are not sufficiently segregated from the works area. It is therefore important to implement a tree protection strategy during the demolition and construction period. This strategy is described in the arboricultural method statement and on the accompanying Tree Protection Plan. The purpose of the tree protection strategy is as follows:

- To protect the above ground parts of trees from physical damage such as contact with plant machinery.
- To prevent compaction of the soil within root protection areas resulting from activities such as the movement of plant machinery or the storage of construction materials.
- To prevent contamination of the rooting medium resulting from the storage and handling of harmful chemicals such as cement/cement washings, builders sand or fuel within root protection areas.
- To prevent physical damage to trees whilst existing structures or hard standing are removed from within root protection areas.
- To specify sympathetic construction methodology for specific activities that will occur within root protection areas.

3.18 Services: Details of the routing of services for the proposed development are not currently available. All underground services should be located outside the root protection areas of retained trees and above ground services should be located outside the anticipated mature crown spreads. Sympathetic methodology to enable the installation of services within root protection areas (in certain instances) is available, however there will always be a potential arboricultural impact and arboricultural advice must be sought regarding the suitability of these methods before they are relied upon. If it is achievable, root protection areas should always be completely avoided.

3.19 Once details of the routing of new services become available, prior to commencement, these shall be reviewed by the project arboriculturist. The arboriculturist shall then confirm either that no works will be carried out within root protection areas or provide details of the methodology required to ensure the works are carried out in accordance with NJUG10

'Guidelines for the planning, installation and maintenance of utilities in proximity to trees' and BS5837: 2012.

3.20 Post development tree pressures and management: A number of mature trees are to be retained within proximity to the building that is proposed to replace Florian House and Racine House. These trees comprise predominantly of London plane and European lime. The trees are currently subject of cyclical pollarding which appeared to have been completed approximately 4 years prior to completion of the initial survey. Following the prescribed access facilitation pruning, this cyclical pollard regime should be continued at a frequency of once every 5 years to avoid the crowns from encroaching upon the new building. The crown of London plane T33 is to be reduced to facilitate construction. Similar to the above, T33 should be placed into a cyclical reduced regime at a frequency of once every 5 years.

3.21 Post development tree management summary:

Tree number	Species	Category	Management Operation
T25	Beech	B1	Following initial access facilitation pruning, lateral reduction of crown back to initial pruning points to be completed once every 5 years.
T33	London plane	A1+2	Following initial access facilitation pruning, lateral reduction of crown back to initial pruning points to be completed once every 5 years.
T44	London plane	A1+2	Following initial access facilitation pruning, lateral reduction of crown back to initial pruning points to be completed once every 5 years.
G16	London plane	A1+2	Following initial access facilitation pruning, lateral reduction of crown back to initial pruning points to be completed once every 5 years.

3.22 Conclusion: The proposed developments primary area of arboricultural conflict is the re-development of Florian House. A number of high quality arboricultural features will require significant reduction to their crowns to provide sufficient clearance with the proposed structure. These trees have been historically subject of cyclical crown reduction. Although the required facilitation pruning goes beyond the previous reduction points, the trees are considered healthy and should respond to the initial reduction in folia mass.

3.23 Further root investigation works will be required during and following demolition of Florian House to ascertain root growth beyond the building line. The existing building foundations shall be removed during the demolition phase under the careful supervision of the project arboriculturist. Following demolition, trial trenches shall be excavated by hand or by use of compressed air equipment, along the edge of the existing building foundations to a depth of 700mm. Root investigation shall be completed under strict arboricultural supervision. Any roots that are revealed during this process will be clearly marked on site and locations recorded/mapped to allow for pile locations to be clearly defined prior to commencement of works, with an objective to avoid significant root mass. The location of any revealed roots shall be highlighted on a root investigation plan, which can subsequently be used to influence pile location. If the location of a significant root coincides with a pile location, and the pile is not feasible to re-locate, the project arboriculturist shall also provide

guidance in relation to root pruning, as this should be considered a possible unavoidable outcome.

3.24 Based on information made available at the time of this reports production, trees recommended for retention in this report can be protected during the construction period and successfully integrated into the site post development. Due to the sites historical and landscape importance, arboricultural features at the site have been considered throughout the design of the proposed re-development, with maximum tree retention considered of paramount importance. The removal of four individual trees as a result of the re-development can be mitigated by on-site planting on a like for like stem diameter basis. A robust and detailed arboricultural method statement and finalised tree protection plan for both demolition and construction phases will be produced prior to commencement of works to provide the principle contractors with defined sympathetic working practices and tree protection measures to be implemented throughout the project. This will include the following details:

- Foundation specification and pile design/locations for the replacement Florian House structure.
- Cross sections and specifications for replacement hard surfacing that occurs within root protection areas.
- Detailed hard landscaping plan.
- Detailed soft landscaping specification to include a detailed tree planting strategy.
- Details of the routing of all underground services, including any that require relocating.

Contact details

Sussex office:

Rocks Yard
Victoria Road
Herstmonceux
Hailsham
East Sussex
BN27 4TQ

Tel: 01323 832120

Kent office:

Unit 1
Hanover Mill
Mersham
Ashford
Kent
TN25 6NU

Tel: 01233 225365

Author: Luke White

Date: 13th May 2021

E-mail: luke@pjcconsultancy.com

APPENDIX 1

Tree Constraints Plan



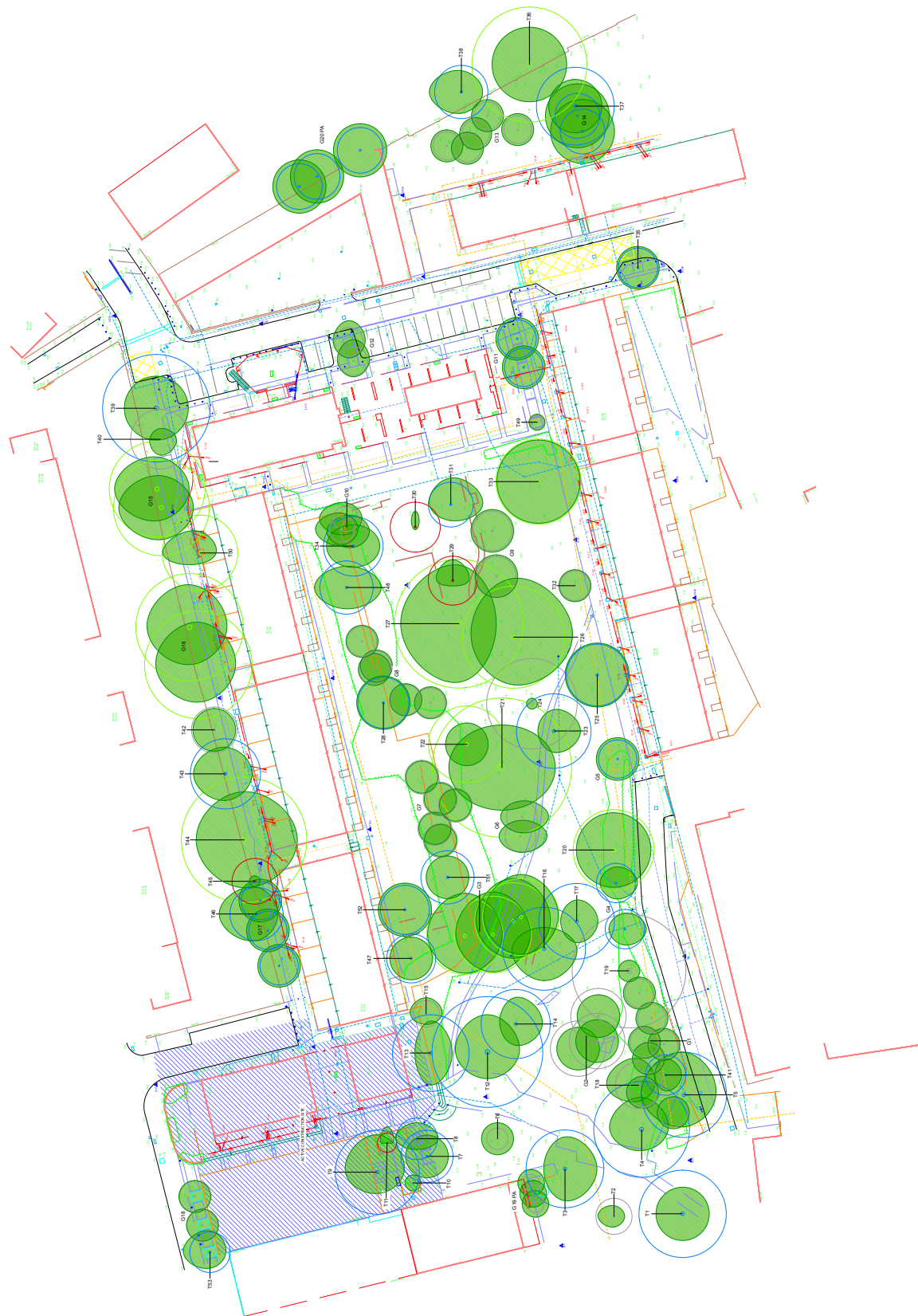
Key:


- Root protection area of category A tree*
- Root protection area of category B tree*
- Root protection area of category C tree*
- Root protection area of category U tree*
- Tree canopy

* Tree categorised in accordance with BS 5837:2012 'Trees in relation to design, demolition and construction - Recommendations'.

Appendix 2, (Tree Survey Schedule) contained within the arboricultural report ref. no. PJC574621/01 contains further information for each tree.

This drawing should be viewed in colour.



Drawing no: PJC574621/A	Rev: -	Sheet number: 1 of 1
Client and site: Southwark Council		
Sceaux Gardens Estate Camdenwell London		
Drawing title: Tree Constraints Plan		
Date drawn: 02/03/2021		
Scale: 1:400 at A1		
Drawn by: LW	Checked by: PD	
<div><div><div><div>Sussex</div><div>The Rocks Yard, Victoria Road, Hestmonceux, East Sussex, BN27 4TQ.</div><div>01323 832120</div></div><div><div>Kent</div><div>Unit 1, Hanover Mill, Mesham, Kent, TN25 6NU.</div><div>01233 225365</div></div><div>www.pjcconsultancy.com</div></div></div>		

APPENDIX 2

Tree Retention Plan

Key:

- Root protection area of category A tree* to be retained
- Root protection area of category B tree* to be retained
- Root protection area of category C tree* to be retained
- Root protection area of category U tree* to be retained
- Canopy of retained tree
- Canopy of retained tree to be lifted during facilitation pruning
- Section of canopy to be removed during facilitation pruning
- Canopy of category A tree to be removed
- Canopy of category B tree to be removed
- Canopy of category B tree to be removed
- Canopy of category U tree to be removed

* Tree categorised in accordance with BS 5837:2012 'Trees in relation to design, demolition and construction - Recommendations'.

Appendix 2, (Tree Survey Schedule) contained within the arboricultural report ref. no. PJC/5745/21/02 contains further information for each tree.

This drawing should be viewed in colour.



Drawing no: PJC/5745/21/02 Rev: Sheet number: 1 of 1

Client and site:
Southwark Council

Sceaux Gardens Estate
Canterwell
London

Drawing title: Tree Retention Plan

Date drawn: 13/05/2021

Scale: 1:300 at A1

Drawn by: LW

Checked by: PD



Sussex
The Rocks Yard, Victoria Road, Hestmonceux, East Sussex,
BN27 4TQ.

01323 832120

Kent

Unit 1, Harvester Mill, Marsham, Kent, TN25 6NU.

01233 225365

www.pjcconsultancy.com

APPENDIX 3

Root Protection Area Encroachment Plan

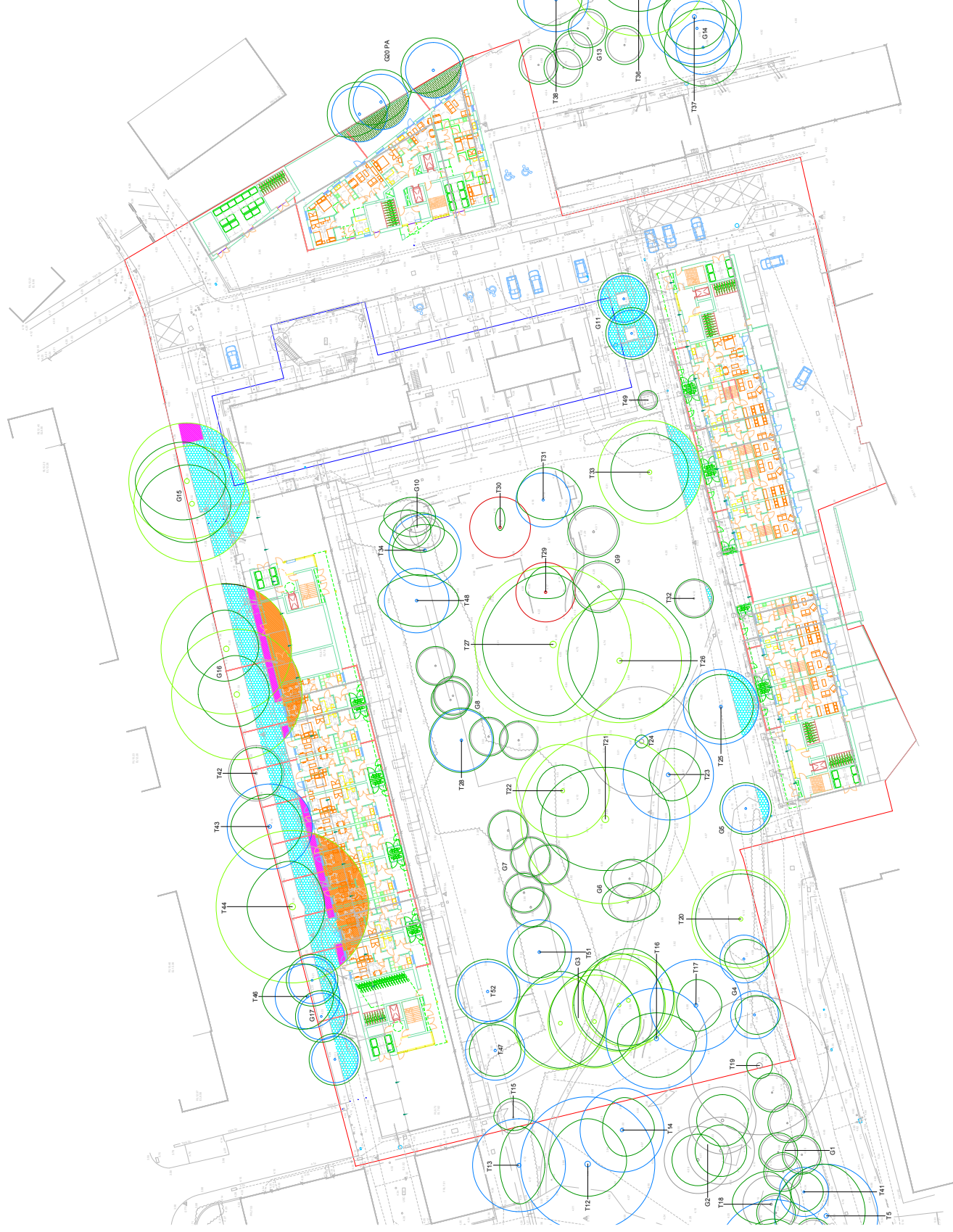
Key:


- Root protection area of category A tree* to be retained
- Root protection area of category B tree* to be retained
- Root protection area of category C tree* to be retained
- Root protection area of category U tree* to be retained
- Canopy of retained tree
- Building foundation in root protection area of retained tree
- New hard surface within root protection area of retained tree
- Replacement hard surface within root protection area of retained tree
- Removal of hard surface and replacement with soft landscaping

* Tree categorised in accordance with BS 5837:2012 Trees in relation to design, demolition and construction - Recommendations.

Appendix 2, (Tree Survey Schedule) contained within the arboricultural report ref. no. PJC6746/2102 contains further information for each tree.

This drawing should be viewed in colour.



Drawing no: PJC6746/2102	Rev: -	Sheet number: 1 of 1
Client and site: Southwark Council Seaux Gardens Estate Camberwell London		
Drawing title: Root Protection Area Encroachment Plan		
Date drawn: 13/05/2021		
Scale: 1:300 at A1		
Drawn by: LW		
Checked by: PD		
 PJC Consultancy Arboricultural, Ecological & Landscape Consultancy		
Sussex The Rocks Yard, Victoria Road, Hestmonceux, East Sussex, BN27 4TQ t: 01323 832120		
Kent Unit 1, Harover Mill, Mesham, Kent, TN25 6NU. t: 01233 225365 w: www.pjcconsultancy.com		

APPENDIX 4

Preliminary Tree Protection Plan

Key:

- Root protection area of tree to be retained
- Canopy of retained tree
- Excavation to be completed under strict arboricultural supervision
- Existing hard surface retained as ground protection
- Construction exclusion zone
- Tree protection fencing

* **Tree categorised in accordance with BS 5837:2012 'Trees in relation to design, demolition and construction - Recommendations'.**

Appendix 2 (Tree Survey Schedule) contained within the arboricultural report ref. no. PJC/5746/21/02 contains further information for each tree.

This drawing should be viewed in colour.

This drawing should be read in conjunction with Site Establishment & Logistic Plan Issue 2, produced by ENGIE.

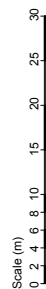
Target Notes

TN01 - Existing garage sub-base retained throughout demolition and construction to act as ground protection. The sub-base shall be removed and replaced with soft landscaping as the final phase of development using methods prescribed within the arboricultural method statement.

TN02 - Existing hard surfacing within the root protection area of retained trees is to be maintained and retained throughout demolition and construction to act as ground protection. Temporary ground protection shall be installed if existing ground protection is removed or damaged. The surface shall be replaced as the final phase of development using sympathetic construction methodologies prescribed within the arboricultural method statement.

TN03 - All excavation associated with construction of building foundations within the rooting area of retained trees, shall be completed under strict arboricultural supervision using methodologies prescribed within the arboricultural method statement.

TN04 - Location of primary construction site ingress and egress. See Site Construction & Logistics Plan.



Drawing no: PJC/5746/21/02 Rev: - Sheet number: 1 of 1

Client and site:

Southwark Council

Seaux Gardens Estate
Camberwell
London



Drawing title: Preliminary Tree Protection Plan

Date drawn: 13/05/2021

Scale: 1:300 at A1

Drawn by: LW

Checked by: PD




Sussex
The Rocks Yard, Victoria Road, Hestmonceux, East Sussex,
BN27 4TQ.
t: 01323 832120

Kent
Unit 1, Hanover Mill, Marsham, Kent, TN25 6NU.
t: 01233 225365
www.pjcconsultancy.com


APPENDIX 5

Tree Survey Schedule


Tree Survey Schedule

<div><div>PJC Consultancy</div></div> <div>Arboricultural, Ecological & Landscape Consultancy</div>							Client: Southwark Council			MS: Multiple stems			T: Individual tree or shrub		
							Site: Sceaux Gardens Estate, Camberwell, London.			G: Group of 2 or more trees					
							Survey date: Friday 19th February 2021			H: Hedgerow					
							Surveyor: Luke White <i>FdSc Arboriculture M.Arbor.A</i>			W: Woodland block					
Tree ref. no.	Species	Height (m)	Stem diameter (mm)	Branch spread (m)	Crown clearance (m)	Age class	Physiological condition	Structural condition	Required management recommendations	Category grading	Root Protection Area (m2)	Root Protection Radius (m)			
T1	horse chestnut (<i>Aesculus hippocastanum</i>)	14	680	N: 5	Crown: 6 AV Branch: 3 AV	Mature	Good	Good	Not impacted by proposed development based on information currently available.	B1+2	209.5	8.2			
				E: 5											
				S: 5											
T2	variegated holly (<i>Ilex aquifolium</i>)	5	280	N: 3	Crown: 2 AV Branch: 3 AV	Mature	Good	Good	Not impacted by proposed development based on information currently available.	C1+2	35.5	3.4			
				E: 2											
				S: 2											
T3	false acacia (<i>Robinia pseudoacacia</i>)	10	610	N: 4	Crown: 3 North Branch: 3 AV	Mature	Good	Good	Not impacted by proposed development based on information currently available.	B1+2	168.6	7.3			
				E: 6											
				S: 6											
T4	false acacia (<i>Robinia pseudoacacia</i>)	10	750	N: 6	Crown: 1 AV Branch: 3 AV	Mature	Good	Fair	Not impacted by proposed development based on information currently available.	B1+2	254.8	9.0			
				E: 6											
				S: 5											
T5	false acacia (<i>Robinia pseudoacacia</i>)	13	670	N: 8	Crown: 6 AV Branch: 6 AV	Mature	Fair	Good	Not impacted by proposed development based on information currently available.	B1+2	203.4	8.0			
				E: 8											
				S: 6											
G1	holly pedunculate oak cherry	6 AV	225 AV	N: 3	Crown: 1 AV Branch: 1 AV	Mature	Fair	Fair	Not impacted by proposed development based on information currently available.	C1	22.9	2.7			
				E: 3											
				S: 3											


Tree Survey Schedule

<div><div><div><div>PJC</div><div>Consultancy</div></div></div><div>Arboricultural, Ecological & Landscape Consultancy</div></div> <th colspan="5"><div><div>Client:</div><div>Southwark Council</div></div><div><div>Site:</div><div>Sceaux Gardens Estate, Camberwell, London.</div></div><div><div>Survey date:</div><div>Friday 19th February 2021</div></div><div><div>Surveyor:</div><div>Luke White <i>FdSc Arboriculture M.Arbor.A</i></div></div><div><div>MS: Multiple stems</div><div>AV: Average</div><div>PA: Position</div><div>approximate</div></div><div><div>T: Individual tree or shrub</div><div>G: Group of 2 or more trees</div><div>H: Hedgerow</div><div>W: Woodland block</div></div></th>					<div><div>Client:</div><div>Southwark Council</div></div> <div><div>Site:</div><div>Sceaux Gardens Estate, Camberwell, London.</div></div> <div><div>Survey date:</div><div>Friday 19th February 2021</div></div> <div><div>Surveyor:</div><div>Luke White <i>FdSc Arboriculture M.Arbor.A</i></div></div> <div><div>MS: Multiple stems</div><div>AV: Average</div><div>PA: Position</div><div>approximate</div></div> <div><div>T: Individual tree or shrub</div><div>G: Group of 2 or more trees</div><div>H: Hedgerow</div><div>W: Woodland block</div></div>							
Tree ref. no.	Species	Height (m)	Stem diameter (mm)	Branch spread (m)	Crown clearance (m)	Age class	Physiological condition	Structural condition	Required management recommendation	Category grading	Root Protection Area (m2)	Root Protection Radius (m)
G2	holly (<i>Ilex aquifolium</i>)	6 AV	430 AV	N: 4 E: 4 S: 4 W: 4	Crown: 1.5 AV Branch: 2 AV	Mature	Good	Fair	Not impacted by proposed development based on information currently available.	B2	83.8	5.2
T6	false acacia (<i>Robinia pseudoacacia</i>)	7	169 MS	N: 3 E: 3 S: 3 W: 3	Crown: 2 AV Branch: 2 AV	Semi mature	Fair	Good	Not impacted by proposed development based on information currently available.	C1	12.9	2.0
T7	European lime (<i>Tilia x europaea</i>)	10	405 EST	N: 4 E: 4 S: 4 W: 4	Crown: 2 AV Branch: 3 AV	Mature	Good	Good	Not impacted by proposed development based on information currently available.	B1+2	74.3	4.9
T8	European lime (<i>Tilia x europaea</i>)	10	325 EST	N: 4 E: 3 S: 4 W: 2	Crown: 2 AV Branch: 3 AV	Mature	Good	Good	Not impacted by proposed development based on information currently available.	B1+2	47.8	3.9
T9	holm oak (<i>Quercus robur</i>)	12	660 EST	N: 6 E: 7 S: 5 W: 4	Crown: 3 AV Branch: 4 AV	Mature	Good	Good	Not impacted by proposed development based on information currently available.	B1+2	197.3	7.9
T10	silver birch (<i>Betula pendula</i>)	8	125	N: 1.5 E: 1.5 S: 1.5 W: 1.5	Crown: 4 AV Branch: 4 AV	Semi mature	Fair	Fair	Not impacted by proposed development based on information currently available.	C1	7.1	1.5


Tree Survey Schedule

<div><div>PJC Consultancy</div></div> <div>Arboricultural, Ecological & Landscape Consultancy</div>				Client: Southwark Council Site: Sceaux Gardens Estate, Camberwell, London. Survey date: Friday 19th February 2021 Surveyor: Luke White <i>FdSc Arboriculture M.Arbor.A</i>				MS: Multiple stems AV: Average PA: Position approximate		T: Individual tree or shrub G: Group of 2 or more trees H: Hedgerow W: Woodland block		
Tree ref. no.	Species	Height (m)	Stem diameter (mm)	Branch spread (m)	Crown clearance (m)	Age class	Physiological condition	Structural condition	Required management recommendations	Category grading	Root Protection Area (m2)	Root Protection Radius (m)
T11	false acacia (<i>Robinia pseudoacacia</i>)	6	150	N: 1 E: 3 S: 1 W: 0	Crown: 3 East Branch: 3 AV	Semi mature	Poor	Fair	Not impacted by proposed development based on information currently available.	U	10.2	1.8
T12	false acacia (<i>Robinia pseudoacacia</i>)	11	870	N: 6 E: 7 S: 6 W: 5	Crown: 5 AV Branch: 3 AV	Mature	Fair	Fair	Not impacted by proposed development based on information currently available.	B1	342.9	10.4
T13	false acacia (<i>Robinia pseudoacacia</i>)	11	601 MS	N: 3 E: 6 S: 4 W: 6	Crown: 3 South Branch: 2 East	Mature	Fair	Good	Not impacted by proposed development based on information currently available.	B1+2	163.6	7.2
T14	Japanese cherry (<i>Prunus serrulata</i>)	12	540	N: 3 E: 5 S: 5 W: 4	Crown: 2 South Branch: 3 East	Mature	Good	Good	Not impacted by proposed development based on information currently available.	B1+2	132.1	6.5
T15	false acacia (<i>Robinia pseudoacacia</i>)	7	210	N: 3 E: 3 S: 3 W: 2	Crown: 2 AV Branch: 1.5 South	Early mature	Good	Fair	Not impacted by proposed development based on information currently available.	C1	20.0	2.5
G3	London plane (<i>Platanus x acerifolia</i>)	12	600 AV	N: 7 E: 8 S: 7 W: 7	Crown: 2 East Branch: 3 AV	Mature	Good	Good	Not impacted by proposed development based on information currently available.	A1+2	163.1	7.2


Tree Survey Schedule

<div><div>PJC Consultancy</div></div> <div>Arboricultural, Ecological & Landscape Consultancy</div>				Client: Southwark Council				MS: Multiple stems		T: Individual tree or shrub		
				Site: Sceaux Gardens Estate, Camberwell, London.				AV: Average		G: Group of 2 or more trees		
				Survey date: Friday 19th February 2021				PA: Position		H: Hedgerow		
				Surveyor: Luke White <i>FdSc Arboriculture M.Arbor.A</i>				approximate		W: Woodland block		
Tree ref. no.	Species	Height (m)	Stem diameter (mm)	Branch spread (m)	Crown clearance (m)	Age class	Physiological condition	Structural condition	Required management recommendation	Category grading	Root Protection Area (m2)	Root Protection Radius (m)
T16	sweet chestnut (<i>Castanea sativa</i>)	12	650	N: 6 E: 4 S: 6 W: 6	Crown: 1 West Branch: 3 AV	Mature	Fair	Poor	Not impacted by proposed development based on information currently available.	B1+2	191.4	7.8
T17	European lime (<i>Tilia x europaea</i>)	11	590	N: 3 E: 4 S: 4 W: 4	Crown: 2 AV Branch: 4 AV	Mature	Fair	Good	Not impacted by proposed development based on information currently available.	B1+2	157.7	7.1
T18	Japanese cherry (<i>Prunus serrulata</i>)	7	370	N: 6 E: 5 S: 3 W: 3	Crown: 2.5 AV Branch: 3 AV	Mature	Fair	Fair	Not impacted by proposed development based on information currently available.	C1+2	62.0	4.4
T19	false acacia (<i>Robinia pseudoacacia</i>)	4	890	N: 2 E: 2 S: 2 W: 2	Crown: / Branch: /	Mature	Unknown	Fair	Not impacted by proposed development based on information currently available.	C1+2	358.8	10.7
G4	walnut (<i>Juglans regia</i>)	7	310	N: 3 E: 3 S: 4 W: 3	Crown: 1 AV Branch: 1 AV	Mature	Good	Fair	Not impacted by proposed development based on information currently available.	B1+2	43.5	3.7
T20	copper beech (<i>Fagus sylvatica 'Purpurea'</i>)	11	630	N: 7 E: 7 S: 7 W: 7	Crown: 2 AV Branch: 3 AV	Mature	Good	Good	Not impacted by proposed development based on information currently available.	A1+2	179.8	7.6


Tree Survey Schedule

<div><div><div>Consultancy Arboricultural, Ecological & Landscape Consultancy</div></div></div>							Client: Southwark Council			MS: Multiple stems			T: Individual tree or shrub		
Site: Sceaux Gardens Estate, Camberwell, London.							AV: Average			G: Group of 2 or more trees					
Survey date: Friday 19th February 2021							PA: Position			H: Hedgerow					
Surveyor: Luke White <i>FdSc Arboriculture M.Arbor.A</i>							approximate			W: Woodland block					
Tree ref. no.	Species	Height (m)	Stem diameter (mm)	Branch spread (m)	Crown clearance (m)	Age class	Physiological condition	Structural condition	Required management recommendation	Category grading	Root Protection Area (m2)	Root Protection Radius (m)			
G5	purple leaf plum (<i>Prunus cerasifera</i> 'Pissardii')	8 AV	300 AV	N: 4 E: 4 S: 4 W: 4	Crown: 2 AV Branch: 2 AV	Mature	Fair	Fair	Not impacted by proposed development based on information currently available.	B1	40.8	3.6			
G6	Caucasian elm (<i>Zelkova carpinifolia</i>)	9 AV	240 AV	N: 4 E: 3 S: 5 W: 3	Crown: 3 AV Branch: 2 AV	Mature	Good	Fair	Not impacted by proposed development based on information currently available.	C1+2	26.1	2.9			
T21	London plane (<i>Platanus x acerifolia</i>)	16	1 090	N: 10 E: 8 S: 10 W: 8	Crown: 3 South Branch: 3 South	Mature	Good	Good	Not impacted by proposed development based on information currently available.	A1+2	538.2	13.1			
T22	beech (<i>Fagus sylvatica</i>)	14	600	N: 4 E: 4 S: 4 W: 4	Crown: 2 AV Branch: 4 AV	Mature	Good	Good	Not impacted by proposed development based on information currently available.	A1+2	163.1	7.2			
G7	sycamore. beech cherry. robinia	10	265 AV	N: 3 E: 3 S: 3 W: 3	Crown: 1 AV Branch: 2 AV	Early mature	Good	Good	Not impacted by proposed development based on information currently available.	C1+2	31.8	3.2			
T23	beech (<i>Fagus sylvatica</i>)	13	580	N: 3 E: 4 S: 5 W: 4	Crown: 2 South Branch: 3 AV	Mature	Good	Fair	Not impacted by proposed development based on information currently available.	B1+2	152.4	7.0			


Tree Survey Schedule

				Client: Southwark Council Site: Sceaux Gardens Estate, Camberwell, London. Survey date: Friday 19th February 2021 Surveyor: Luke White <i>FdSc Arboriculture M. Arbor. A</i>				MS: Multiple stems AV: Average PA: Position approximate		T: Individual tree or shrub G: Group of 2 or more trees H: Hedgerow W: Woodland block		
Tree ref. no.	Species	Height (m)	Stem diameter (mm)	Branch spread (m)	Crown clearance (m)	Age class	Physiological condition	Structural condition	Required management recommendation	Category grading	Root Protection Area (m ²)	Root Protection Radius (m)
G8	beech sycamore	8 AV	230 AV	N: 3 E: 3 S: 3 W: 3	Crown: 2 AV Branch: 3 AV	Early mature	Good	Fair	Not impacted by proposed development based on information currently available.	C1+2	24.0	2.8
T24	London plane (<i>Platanus x acerifolia</i>)	4	710	N: 1 E: 1 S: 1 W: 1	Crown: / Branch: /	Mature	Unknown	Fair	Not impacted by proposed development based on information currently available.	C1	228.4	8.5
T25	beech (<i>Fagus sylvatica</i>)	13	480	N: 6 E: 6 S: 6 W: 6	Crown: 2 AV Branch: 4 West	Mature	Good	Good	Lift crown by 1m to provide 3m ground clearance. Reduce crown laterally by 1m.	B1+2	104.4	5.8
T26	London plane (<i>Platanus x acerifolia</i>)	16	800	N: 8 E: 11 S: 11 W: 9	Crown: 2 South Branch: 4 AV	Mature	Good	Good	Not impacted by proposed development based on information currently available.	A1+2	289.9	9.6
T27	London plane (<i>Platanus x acerifolia</i>)	16	1010	N: 11 E: 11 S: 7 W: 11	Crown: 3 North Branch: 2 South	mature	Good	Good	Not impacted by proposed development based on information currently available.	A1+2	462.1	12.1
T28	tree of heaven (<i>Ailanthus altissima</i>)	14	400	N: 5 E: 5 S: 5 W: 5	Crown: 3 North Branch: 5 North	Mature	Good	Good	Not impacted by proposed development based on information currently available.	B1+2	72.5	4.8


Tree Survey Schedule

<div><div>PJC Consultancy</div></div> <div>Arboricultural, Ecological & Landscape Consultancy</div>							Client: Southwark Council			MS: Multiple stems			T: Individual tree or shrub		
							Site: Sceaux Gardens Estate, Camberwell, London.			G: Group of 2 or more trees					
							Survey date: Friday 19th February 2021			H: Hedgerow					
							Surveyor: Luke White <i>FdSc Arboriculture M.Arbor.A</i>			W: Woodland block					
Tree ref. no.	Species	Height (m)	Stem diameter (mm)	Branch spread (m)	Crown clearance (m)	Age class	Physiological condition	Structural condition	Required management recommendation	Category grading	Root Protection Area (m2)	Root Protection Radius (m)			
G9	European lime (<i>Tilia x europaea</i>)	11	310 AV	N: 4 E: 4 S: 4 W: 4	Crown: 2 South Branch: 4 AV	Mature	Fair	Fair	Not impacted by proposed development based on information currently available.	C1+2	43.5	3.7			
T29	cherry plum (<i>Prunus cerasifera</i>)	6	384 MS	N: 4 E: 5 S: 4 W: 1	Crown: 2 North Branch: 3 AV	Mature	Fair	Poor	Not impacted by proposed development based on information currently available.	U	66.8	4.6			
T30	ash (<i>Fraxinus excelsior</i>)	4	390	N: / E: 3 S: / W: /	Crown: 2 East Branch: 3 East	Mature	Unknown	Fair	Not impacted by proposed development based on information currently available.	U	68.9	4.7			
T31	beech (<i>Fagus sylvatica</i>)	9	350 MS	N: 4 E: 5 S: 6 W: 3	Crown: 3 AV Branch: 3 AV	Mature	Fair	Fair	Not impacted by proposed development based on information currently available.	B1+2	55.5	4.2			
T32	purple leaf plum (<i>Prunus cerasifera 'Pissardii'</i>)	5	230	N: 3 E: 3 S: 3 W: 3	Crown: 2 AV Branch: 3 AV	Mature	Good	Good	Not impacted by proposed development based on information currently available.	C1+2	24.0	2.8			
T33	London plane (<i>Platanus x acerifolia</i>)	16	670	N: 8 E: 8 S: 8 W: 8	Crown: 2 AV Branch: 3 South	Mature	Good	Good	Reduce crown laterally by 2m on all aspects.	A1+2	203.4	8.0			


Tree Survey Schedule

<div><div>PJC Consultancy</div></div> <div>Arboricultural, Ecological & Landscape Consultancy</div>				Client: Southwark Council			MS: Multiple stems AV: Average PA: Position approximate			T: Individual tree or shrub G: Group of 2 or more trees H: Hedgerow W: Woodland block		
Site: Sceaux Gardens Estate, Camberwell, London.				Survey date: Friday 19th February 2021								
Surveyor: Luke White <i>FdSc Arboriculture M.Arbor.A</i>												
Tree ref. no.	Species	Height (m)	Stem diameter (mm)	Branch spread (m)	Crown clearance (m)	Age class	Physiological condition	Structural condition	Required management recommendations	Category grading	Root Protection Area (m2)	Root Protection Radius (m)
T34	silver maple (<i>Acer saccharinum</i>)	15	470	N: 5 E: 4 S: 5 W: 4	Crown: 4 4 South Branch: 4 AV	Mature	Good	Good	Not impacted by proposed development based on information currently available.	B1+2	100.1	5.6
G10	sycamore common laburnum. Holm oak	11. AV	200 AV	N: 5 E: 3 S: 3 W: 3	Crown: 2 AV Branch: 2 AV	Early mature	Fair	Fair	Not impacted by proposed development based on information currently available.	C1+2	18.1	2.4
G11	ash (<i>Fraxinus excelsior</i>)	12 AV	300 AV	N: 4 E: 4 S: 4 W: 4	Crown: 2 AV Branch: 2 AV	Mature	Good	Good	Not impacted by proposed development based on information currently available.	B1+2	40.8	3.6
G12	Raywood ash (<i>Fraxinus angustifolia</i>)	8. AV	260 AV	N: 3 E: 4 S: 3 W: 3	Crown: 2 AV Branch: 2 AV	Early mature	Good	Good	Remove both trees to facilitate development.	C1+2	30.6	3.1
T35	ash (<i>Fraxinus excelsior</i>)	10	310	N: 4 E: 4 S: 4 W: 4	Crown: 3 AV Branch: 3 AV	Mature	Poor	Fair	Remove to facilitate development.	B1+2	43.5	3.7
T36	London plane (<i>Platanus x acerifolia</i>)	16	900 EST	N: 7 E: 7 S: 7 W: 7	Crown: 3 West Branch: 4 AV	Mature	Good	Good	Not impacted by proposed development based on information currently available.	A1+2	366.9	10.8


Tree Survey Schedule

<div><div><div><div>PJC</div><div>Consultancy</div></div></div><div>Arboricultural, Ecological & Landscape Consultancy</div></div>							Client: Southwark Council			MS: Multiple stems			T: Individual tree or shrub		
Site: Sceaux Gardens Estate, Camberwell, London.							AV: Average			G: Group of 2 or more trees					
Survey date: Friday 19th February 2021							PA: Position			H: Hedgerow					
Surveyor: Luke White <i>FdSc Arboriculture M.Arbor.A</i>							approximate			W: Woodland block					
Tree ref. no.	Species	Height (m)	Stem diameter (mm)	Branch spread (m)	Crown clearance (m)	Age class	Physiological condition	Structural condition	Required management recommendations	Category grading	Root Protection Area (m2)	Root Protection Radius (m)			
G13	ash rowan sycamore	10. AV	220 AV	N: 3 E: 3 S: 3 W: 3	Crown: 3 AV Branch: 3 AV	Mature	Fair	Fair	Not impacted by proposed development based on information currently available.	C1+2	21.9	2.6			
G14	sycamore (<i>Acer pseudoplatanus</i>)	16 AV	350 AV	N: 6 E: 6 S: 6 W: 6	Crown: 2 AV Branch: 3 AV	Mature	Fair	Fair	Not impacted by proposed development based on information currently available.	B1+2	55.5	4.2			
G15	London plane (<i>Platanus x acerifolia</i>)	18 AV	750 AV	N: 8 E: 6 S: 6 W: 6	Crown: 5 North Branch: 4 AV	Mature	Good	Good	Not impacted by proposed development based on information currently available.	A1+2	254.8	9.0			
T37	sycamore (<i>Acer pseudoplatanus</i>)	16	610	N: 5 E: 5 S: 5 W: 5	Crown: 6 North Branch: 6 North	Mature	Good	Good	Not impacted by proposed development based on information currently available.	B1+2	168.6	7.3			
T38	deodar cedar (<i>Cedrus deodara</i>)	18	420 EST	N: 6 E: 4 S: 4 W: 4	Crown: 3 AV Branch: 5 AV	Mature	Good	Good	Not impacted by proposed development based on information currently available.	B1+2	79.9	5.0			
T39	European lime (<i>Tilia x europaea</i>)	12	845	N: 6 E: 6 S: 6 W: 6	Crown: 2 AV Branch: 6 AV	Mature	Good	Good	Remove to facilitate development.	B1+2	323.5	10.1			


Tree Survey Schedule

<div><div>PJC Consultancy</div></div> <div>Arboricultural, Ecological & Landscape Consultancy</div>				Client: Southwark Council			MS: Multiple stems			T: Individual tree or shrub		
Site: Sceaux Gardens Estate, Camberwell, London.				AV: Average			G: Group of 2 or more trees					
Survey date: Friday 19th February 2021				PA: Position			H: Hedgerow					
Surveyor: Luke White <i>FdSc Arboriculture M.Arbor.A</i>				approximate			W: Woodland block					
Tree ref. no.	Species	Height (m)	Stem diameter (mm)	Branch spread (m)	Crown clearance (m)	Age class	Physiological condition	Structural condition	Required management recommendations	Category grading	Root Protection Area (m2)	Root Protection Radius (m)
T40	European lime (<i>Tilia x europaea</i>)	6	470	N: 2 E: 2 S: 3 W: 3	Crown: / Branch: /	Mature	Unknown	Fair	Remove to facilitate development.	C1	100.1	5.6
G16	London plane (<i>Platanus x acerifolia</i>)	17 AV	840 AV	N: 8 E: 8 S: 7 W: 7	Crown: 2 South Branch: 4 AV	Mature	Good	Good	Reduce crown laterally by 2m on all aspects back to suitable growth points.	A1+2	319.6	10.1
T41	holly. (<i>Ilex aquifolium</i>)	10	320	N: 2 E: 3 S: 3 W: 3	Crown: 2 AV Branch: 2 AV	Mature	Good	Good	Not impacted by proposed development based on information currently available.	B1	46.4	3.8
T42	European lime (<i>Tilia x europaea</i>)	10	360	N: 4 E: 4 S: 4 W: 4	Crown: 4 AV Branch: 5 AV	Mature	Poor	Fair	Not impacted by proposed development based on information currently available.	C1+2	58.7	4.3
T43	European lime (<i>Tilia x europaea</i>)	17	550 EST	N: 6 E: 5 S: 5 W: 5	Crown: 4 South Branch: 4 AV	Mature	Good	Good	Not impacted by proposed development based on information currently available.	B1+2	137.0	6.6
T44	London plane (<i>Platanus x acerifolia</i>)	18	980	N: 9 E: 9 S: 10 W: 9	Crown: 4 South Branch: 6 AV	Mature	Good	Good	Reduce southern crown aspect laterally by 5m and all remaining aspects laterally by 2m.	A1+2	435.1	11.8


Tree Survey Schedule

<div><div>PJC Consultancy</div></div> <div>Arboricultural, Ecological & Landscape Consultancy</div>				Client: Southwark Council		Site: Sceaux Gardens Estate, Camberwell, London.		MS: Multiple stems		T: Individual tree or shrub		
				Survey date: Friday 19th February 2021		AV: Average		G: Group of 2 or more trees				
				Surveyor: Luke White <i>FdSc Arboriculture M.Arbor.A</i>		PA: Position approximate		H: Hedgerow				
						W: Woodland block						
Tree ref. no.	Species	Height (m)	Stem diameter (mm)	Branch spread (m)	Crown clearance (m)	Age class	Physiological condition	Structural condition	Required management recommendations	Category grading	Root Protection Area (m2)	Root Protection Radius (m)
T45	European lime (<i>Tilia x europaea</i>)	8	360	N: 1 E: 1 S: 1 W: 1	Crown: / Branch: /	Mature	Poor	Fair	Remove on grounds of sound arboricultural management.	U	58.7	4.3
T46	tree of heaven (<i>Ailanthus altissima</i>)	15	420 EST	N: 7 E: 5 S: 4 W: 5	Crown: 4 North Branch: 4 AV	Mature	Fair	Fair	Not impacted by proposed development based on information currently available.	B1+2	79.9	5.0
T47.	horse chestnut (<i>Aesculus hippocastanum</i>)	10	380 EST	N: 4 E: 4 S: 4 W: 4	Crown: 3 South Branch: 2 AV	Mature	Fair	Fair	Lift crown by 1m to provide 3m ground clearance.	B1	65.4	4.6
G17	hornbeam (<i>Carpinus betulus</i>)	9 AV	300 AV	N: 4 E: 4 S: 4 W: 4	Crown: 2 AV Branch: 2 AV	Mature	Good	Fair	Lift crowns by 1m to provide 3m ground clearance.	B2	40.8	3.6
G18	ash (<i>Fraxinus excelsior</i>)	10 AV	240 AV	N: 3 E: 3 S: 3 W: 3	Crown: 3 AV Branch: 3 AV	Mature	Poor	Fair	Not impacted by proposed development based on information currently available.	C1+2	26.1	2.9
G19. PA	holm oak. (<i>Quercus ilex</i>)	4	130	N: 2.5 E: 2.5 S: 2.5 W: 2.5	Crown: 1.5 AV Branch: 1.5 AV	Semi mature	Fair	Fair	Not impacted by proposed development based on information currently available.	C1	7.7	1.6

Tree Survey Schedule

<div><div>Arboricultural, Ecological & Landscape Consultancy</div></div>							Client: Southwark Council		MS: Multiple stems		T: Individual tree or shrub	
Site: Sceaux Gardens Estate, Camberwell, London.							AV: Average		G: Group of 2 or more trees			
Survey date: Friday 19th February 2021							PA: Position		H: Hedgerow			
Surveyor: Luke White <i>FdSc Arboriculture M.Arbor.A</i>							approximate		W: Woodland block			
Tree ref. no.	Species	Height (m)	Stem diameter (mm)	Branch spread (m)	Crown clearance (m)	Age class	Physiological condition	Structural condition	Required management recommendations	Category grading	Root Protection Area (m2)	Root Protection Radius (m)
G20 PA	sycamore (<i>Acer pseudoplatanus</i>)	16 AV	360 EST	N: 5 E: 5 S: 5 W: 5	Crown: 3 AV Branch: 3 AV	Mature	Good	Fair	Reduce crowns back to site boundary.	B2	58.7	4.3
T48	holm oak. (<i>Quercus ilex</i>)	9	419 MS	N: 6 E: 4 S: 6.5 W: 4	Crown: 2 South Branch: 2 AV	Mature	Good	Fair	Not impacted by proposed development based on information currently available.	B1+2	79.5	5.0
T49	European ash. (<i>Fraxinus excelsior</i>)	4	110	N: 1.5 E: 1.5 S: 1.5 W: 1.5	Crown: 2 AV Branch: 2 AV	Semi mature	Good	Good	Not impacted by proposed development based on information currently available.	C1	5.5	1.3
T50	London plane (<i>Platanus x acerifolia</i>)	11	590	N: 7 E: 4 S: 3 W: 2	Crown: 4 North Branch: 4 North	Mature	Fair	Good	Remove to facilitate development.	A1+2	157.7	7.1
T51. PA	sycamore (<i>Acer pseudoplatanus</i>)	12	416 MS	N: 4 E: 4 S: 4 W: 4	Crown: 3 AV Branch: 3 AV	Mature	Good	Fair	Not impacted by proposed development based on information currently available.	B1+2	78.4	5.0
T52	horse chestnut (<i>Aesculus hippocastanum</i>)	10	380 EST	N: 5 E: 5 S: 5 W: 5	Crown: 3 South Branch: 2 AV	Mature	Fair	Fair	Lift crown by 1m to provide 3m ground clearance.	B1	65.4	4.6

Tree Survey Schedule

<div><div>PJC Consultancy</div><div>Arboricultural, Ecological & Landscape Consultancy</div></div>							Client:	Southwark Council				MS: Multiple stems	T: Individual tree or shrub		
							Site:	Sceaux Gardens Estate, Camberwell, London.				G: Group of 2 or more trees			
							Survey date:	Friday 19th February 2021				H: Hedgerow			
							Surveyor:	Luke White <i>FdSc Arboriculture M.Arbor.A</i>				W: Woodland block			
Tree ref. no.	Species	Height (m)	Stem diameter (mm)	Branch spread (m)	Crown clearance (m)	Age class	Physiological condition	Structural condition	Required management recommendations	Category grading	Root Protection Area (m2)	Root Protection Radius (m)			
T53	European ash. <i>(Fraxinus excelsior)</i>	10	320	N: 5 E: 4 S: 3 W: 3	Crown: 3 AV Branch: 3 AV	Mature	Good	Good	Not impacted by proposed development based on information currently available.	B1	46.4	3.8			