

DESIGN STATEMENT

Proposed House

Walled Garden

Balgersho House

By Coupar Angus

PH13 9JE

DENHOLM
PARTNERSHIP
ARCHITECTS

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1.0 BACKGROUND

1.1 **Project**

Proposed New House
Wall garden at
Balgersho House
By Coupar Angus
PH13 9JE

1.2 **Applicants**

Philippa & Bruce Dingwall

1.3 **Architects**

Denholm Partnership LLP
11 Dunira Street
Comrie
PERTSHIRE, PH6 2LJ

2.0 SITE

2.1 Location

The application site is located within the existing wall garden at Balgersho House which is approximately 2km south of Coupar Angus and is accessed from unclassified road connected to the main A94.

The walled garden is 4430m² and is traditional in style and design. Within the walled garden, to the south western area, there is a tennis court. The garden walls are relatively consistent in height and are constructed with a natural sandstone and stone capping. The application site is 5640m², this includes the access and parking which would be outwith the walled garden. The vehicle access to the walled garden site is an existing access to the main road to the south east.

Balgersho House sits approximately 120m to the north east of the walled garden and has mature planting and landscape structure which successfully contain the site of the main house. The walled garden sits outwith this established landscaping and setting of the house.

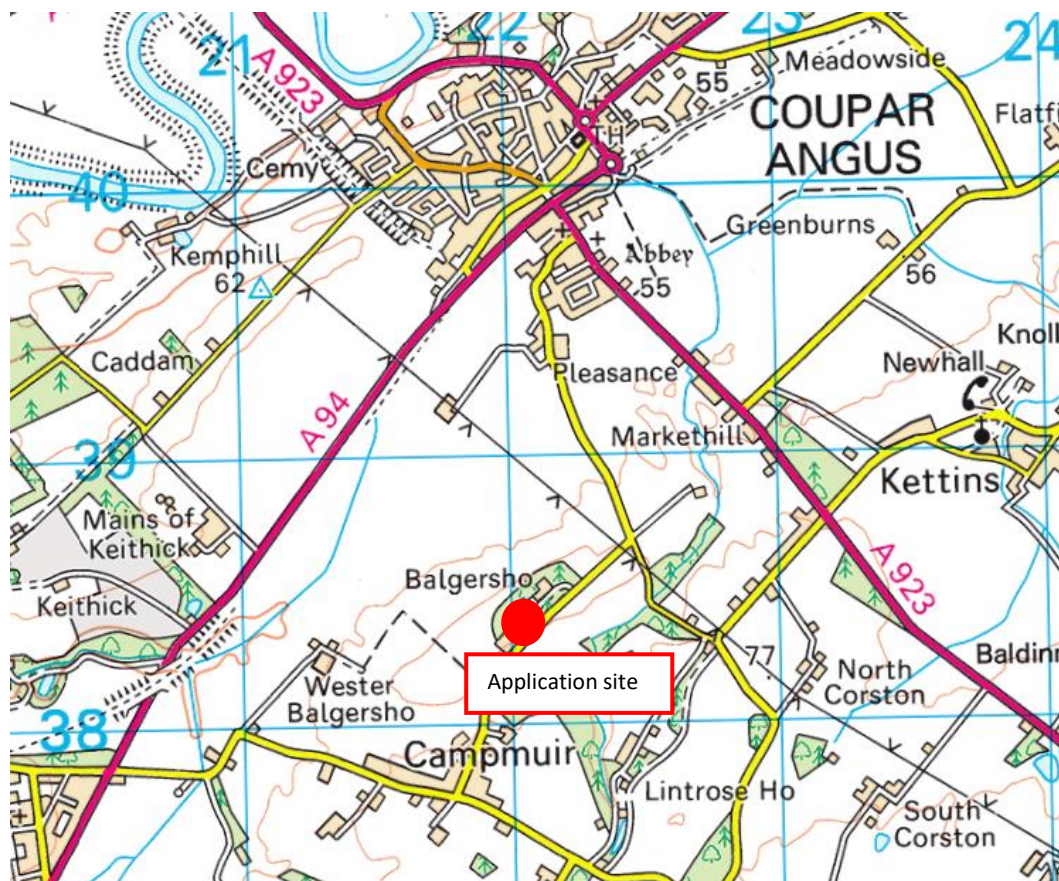


Figure 1 – OS map of site location

2.2 Site & Surroundings



Figure 2 – Aerial map of application site



Figure 3 – Aerial view of the application site, walled garden at Balgersho House.

2.3 Walled Garden Existing Photos



Figure 4 - View from main house garden looking South West to access at public road



Figure 5 - View from house garden looking west



Figure 6 - View within walled garden looking west



Figure 7 - View within walled garden looking south west



Figure 8 - View within walled garden looking north west



Figure 9 - View from north looking south to outside of walled garden

3.0 PLANNING HISTORY & PLANNING POLICY

3.1 Planning History

92/01197/FUL

Full detailed planning consent was granted on 15th September 1992 for the erection of a new house within the existing walled garden at Balgersho.

3.2 Planning Policy

The relevant planning policy/guidance is Perth & Kinross Housing in the Countryside Supplementary Guidance (March 2020).

Category 3 – New House in the Countryside/3.1 “existing gardens” states -

“Proposals for a new house or houses within a walled garden will be supported providing that development will not affect the integrity of the structure or the garden and will, where appropriate, assist in the preservation of the wall. Development may not be appropriate, however, if the walled garden is within a historically sensitive area, such as a Garden and Designed Landscape or is a Listed Building. Not all of the siting criteria will apply to proposals under this section; proposals will require to blend sympathetically with land form, and must not have a detrimental impact on the surrounding landscape.”

4.0 DESIGN SOLUTIONS

4.1 Design Concept

The proposed new house would be mainly contained within the walled garden with access taken from the public road to an area for parking to the east of the entrance to the walled garden.

The existing opening to the walled garden would be maintained and could be contained within a contemporary glazed enclosure to provide shelter but to also allow the existing features to be retained.

The new house would be contemporary in style and single storey in size with a linear form sitting adjacent to the north eastern wall of the garden. The new house would be a mix of natural stone walling and large areas of glazing to the south west, with a shallow zinc or similar metal roof with mono pitch to allow the ridge of the new house to site lower or in line with the existing stone wall. A small functional block would sit between the new house and the existing garden wall and would provide functional space for the house whilst also providing a visual break between the house and the garden wall.

The new house in the form noted above will reduce the impact of the new building on the existing form and structure and of the walled garden and will assist in maintaining the fabric and preservation of the wall.

Although Balgersho House is C listed we feel that the proposals for the walled garden are sufficiently subservient and will not affect the integrity of the structure of the garden. The main house has sufficient landscaping and planted screening which provides a natural separation between the existing main house and the wall garden and proposed new house.

4.2 Precedent images



Figure 10 & 11 – Example of house within a walled garden using large areas of glazing to maximise light and views to the south.



Figure 12 – Example of house using natural stone to blend in sympathetically to the existing garden wall.



Figure 13 – Example of low level house within an existing walled garden with ridge sitting lower than the top of the garden wall.