



DESIGN STATEMENT

PROPOSED DWELLING

**PLOT 1
HILLHEAD CROFT
CHAPEL OF GARIOCH
AB51 5HE**

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INTRODUCTION

The following design statement has been prepared by Caledonia Homes with regards to the proposal to erect a dwelling on Plot 1, Hillhead Croft, Chapel of Garioch, AB51 5HE.

SITE ASSESSMENT

The site is located approximately 120m West of the village of Chapel of Garioch and has a grid reference of NJ 71486 24274.

The site area is 0.228 hectares including the shared access and is currently a vacant building plot. There is currently no buildings on site.

The existing site levels are generally flat with only minor falls across the entire site. Spot levels were taken on site and are shown on drawing number 1645-200 with site sections also shown on this drawing.

The site boundaries are partially defined with existing post and wire fencing the West and South boundaries.

There is currently no landscaping on site however there are a number of existing mature trees immediately to the West of the site.

Access to the site is currently gained via the existing tarred shared access from the unclassified public road.

The site benefits from a fantastic view of Bennachie to the South West of the site with the views in other directions restricted due to existing mature landscaping, topography of the surrounding land and the village of Chapel of Garioch.

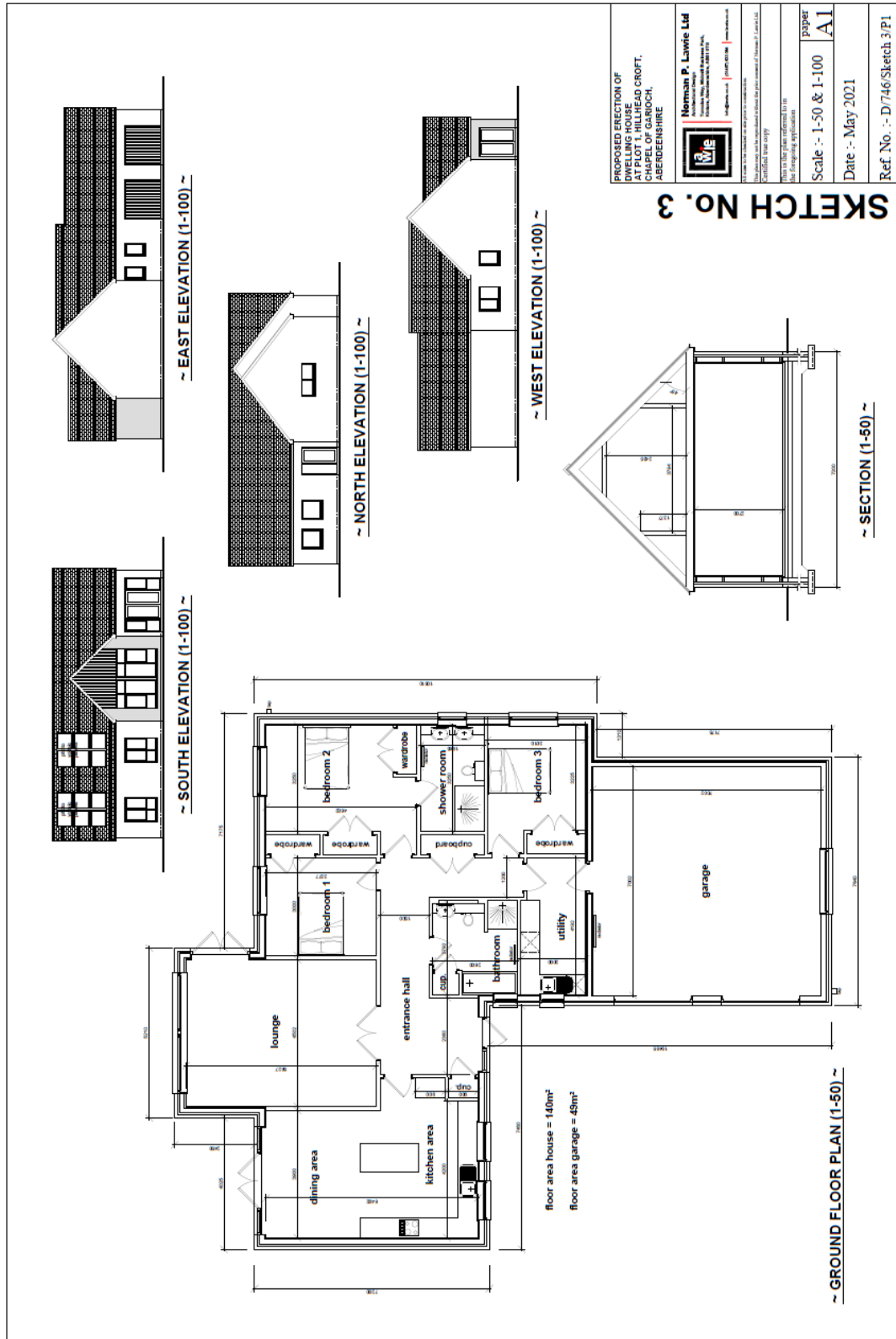
There are currently no signs of any flooding issues on site and no drainage was noted on site.

Mains water and electric have been taken into the site and are available for the new house.

APPLICANT DESIGN BRIEF

During many discussions with the applicant the following requirements formed the design brief which was used along with the site assessment to guide the proposed layout, siting and design.

- 1) The house design should be as per the design shown on drawing number D/746/Sketch3/P1 as prepared by Norman P. Lawie Ltd
- 2) The external finishes to the lounge walls should be amended to Thinstone Kilkenny Limestone Grey cladding
- 3) The house should be positioned on site as per the position shown on drawing number D/746/Sketch3/P2A as prepared by Norman P. Lawie Ltd



SKETCH NO. 3

floor area house = 140m²
floor area garage = 45m²

~ GROUND FLOOR PLAN (1-50) ~

~ SECTION (1-50) ~

~ EAST ELEVATION (1-100) ~

~ NORTH ELEVATION (1-100) ~

~ WEST ELEVATION (1-100) ~

~ SOUTH ELEVATION (1-100) ~



PLANNING HISTORY & POLICIES

The principle of development on the site was established previously as part of Planning Permission in Principle approval reference APP/2014/0341 and Matters Specified in Conditions approval reference APP/2016/0800. As part of the report of handling for the recently approved application reference APP/2021/0578 for Plot 2, Hillhead Croft, the planning department confirmed that these applications had been formally implemented or started. Therefore as the site currently has an extant permission for the erection of a dwelling, this application is for Full Planning Permission for an amended house design.

Therefore the main policy which is applicable to this site is Policy P1 of the Aberdeenshire Local Development Plan 2017. Although there is currently no published supplementary guidance aimed at small scale development, it is assumed that this will be of a similar nature to the supplementary guidance for the Aberdeenshire Local Development Plan 2012, hence we have used SG LSD2 as a reference for the site layout and house designs. SG LSD2 states that,

"We will approve the layout, siting and design of new development, subject to other policies, if;

1) it conforms with any agreed masterplan, development brief, design statement or design code prepared for the site;

AND 2) it successfully combines and demonstrates responses to the following design issues:

a) optimising its response to the site's context, including consideration of:

i) the local climate (its response to cold winds, rain, snow and solar gain); and

ii) respect for its setting (its relationship to the existing landscape, townscape and neighbouring features);

AND b) optimising the resource-efficiency and appropriate use of materials, including consideration of embodied energy, reuse of construction materials, compactness of built form, and how well the materials relate to each other;

AND c) ensuring it performs the functions expected of it, including consideration of:

i) its basic functions (provision of privacy, amenity, security, warmth, homeliness etc); and

ii) support systems (sustainability of heating, lighting, water and waste systems over the design's lifetime, including the use of water-saving technology); and

iii) connectivity (practicality and environment-friendliness of its access and servicing arrangements); and

iv) flexibility to adapt to the changing circumstances of its occupants;

AND d) the creation of local identity, including consideration of:

i) the balance of the development (mixture of house types and other building types and land-uses); and

ii) the creation of a sense of place (the quality of urban and landscape design, incorporation of public art or craftwork, biodiversity etc); and

iii) aesthetics (the unity and rhythm of all the design elements and features);

iv) visual appeal (the design's "feel-good" quality, style etc) "

We believe that the proposed layout and design, which was developed in accordance with this design statement, is an appropriate layout and design for the location and successfully meets the requirements of SG LSD2, and therefore should meet the requirements of Policy P1 of the Aberdeenshire Local Development Plan 2017.

LAYOUT, SITING AND DESIGN

The layout and design of the house is as per the design shown on drawing number D/746/Sketch3/P1 as prepared by Norman P. Lawie Ltd on behalf of the applicants.

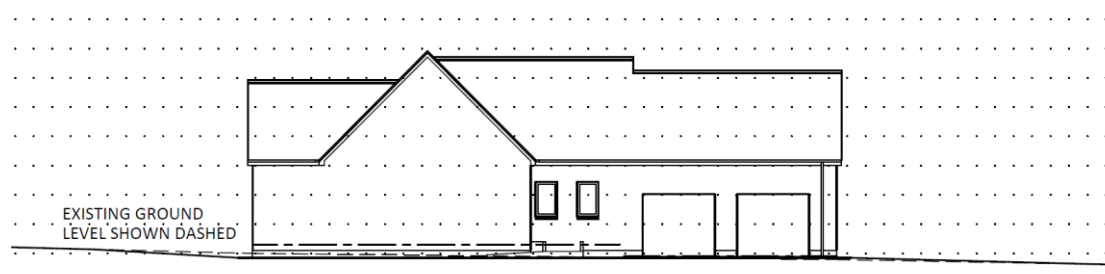
Only one minor design variation has been made at the applicants request, with the external walls of the lounge now being a single material in lieu of the dual cladding designed previously.

The proposed wall finish is white smooth K-Rend with Thinstone Kilkenny Limestone Grey cladding to the lounge external walls. The proposed roof finish is natural slate. The doors, windows, fascia's and soffits are all proposed to be anthracite grey with PVC the chosen material to help reduce the ongoing maintenance for the homeowner.



The house has been orientated on site as per the position shown on drawing number D/746/Sketch3/P2A as prepared by Norman P. Lawie Ltd, with the full height glazing to the lounge, dining and bedrooms facing South to maximise solar gains and the views available towards Bennachie.

The house floor level has been set to sit just above the existing ground level with only small amounts of cutting in the site required due to the flat nature of the site. The floor level also helps to minimize the visual impact of the development of the immediate landscape.



New tree and hedge planting is proposed to the site, with this being in line with the previously approved landscaping details as submitted as part of previous Planning Permission in Principle approval reference APP/2014/0341 and Matters Specified in Conditions approval reference APP/2016/0800.

Access to the site will be via the existing shared access from the unclassified road, with the necessary parking/turning areas formed within the site to satisfy the roads department and building regulations.

SUMMARY

In summary it is our understanding that having taken into account the site, it's setting and the applicants requirements for their home, that the proposed layout, siting and design represents a good quality design which is sympathetic to its rural location and will be an attractive addition to the landscape. We therefore understand that the proposed development can be fully supported under Policy P1 of the Aberdeenshire Local Development Plan 2017.

We therefore believe that the application can be supported by the planning authority and therefore approved as it complies with all relevant planning policies and all required drawings and supporting documentation have been submitted.