

Design & Access Statement.

Cornerstone School
Belvedere, London Borough of Bexley

Rev. P03
May 2021



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1 Introduction.



1.1 Executive Summary.

This document is submitted to the London Borough of Bexley planning department as supporting information for the Full Planning Application for the Cornerstone School. It outlines the key principles underlying the design to date and the development proposal.

The application is being made on behalf of the Applicant - The Department for Education (DfE) and the London Borough of Bexley as procuring partner.

This document has been prepared in line with the principles set out in CABE's 'Design & Access Statements, how to write, read and use them'.

This document should be read in conjunction with the corresponding application drawings along with additional documents, which also form part of the planning application.

These are listed below:

- Detailed Architectural Drawings
- Design and Access Statement
- Landscape Plans
- Tree Survey and Constraints Plan & Arboricultural Impact Assessment
- Preliminary Ecological Appraisal, Protected Species Assessment and Ecological method Statement
- Flood Risk Assessment
- External Lighting details/plan
- Transport Statement
- School Travel Plan
- Energy and Sustainability Statement
- Drainage Strategy
- Contaminated Land Assessment
- Air Quality Impact Assessment
- Planning Statement (includes Community Involvement)
- Noise Impact Assessment
- BREEAM Pre-Assessment
- Construction management Plan
- Fire Statement
- Site Investigation

1.2 Introduction & Proposal.

Cornerstone School will be a new secondary school that will provide an appropriate local learning environment to meet the complex characteristics of up to 90 children with SEMH and ASD needs who require a low arousal and highly therapeutic environment for pupils aged 11-19 years.

The schools broad and balanced curriculum, in partnership with their therapeutic services, support and challenge their pupils at an appropriate level, so that they can reach their potential and go on to enjoy meaningful adult lives.

The existing school site is made up of a number of additions and separate buildings that have been added to the original over many years. A number of these additions are now in poor condition and the inefficient layout of the site and disparate buildings would create a poor learning environment for pupils.

The proposed school improvements are being funded by the Department for Education.

1.3 Project Overview.

The proposals involve the demolition of the existing single storey additions and outbuildings located around the original school building which are in poor condition. These will be replaced with a new two storey new build block with a single storey link with the existing. As part of the works, the existing main building will be fully refurbished including the bell tower, along with with new windows and extensive internal alterations.

The new two storey building will accommodate classrooms, a sports hall along with changing facilities and a new pupil entrance located in the link towards the centre of the new combined building. Other alterations include the provision of on site parking and a new multi-use games area to the northern part of the site.

In terms of capacity, the proposals for this school represent a net reduction in number of pupils that attended the former school that occupied this site.

Galliford Try have been appointed by the Department for Education to design and build the new facilities and refurbished elements. Galliford Try with their team have worked up detailed designs for the school outlined in this planning application seeking approval.

The size of the proposal was determined using BB104 guidance to ensure value for money through provision of the minimum area appropriate to facilitate teaching that meets the special education needs of the school pupils.

1.4 Applicant & Design Team.

Applicant:

- Department for Education (DfE)

End user of the proposed school:

- Cornerstone School (Trinitas Trust)

Appointed Contractor:

- GallifordTry plc.

Design Team:

- GallifordTry Plc - Main Contractor

- Pozzoni Architecture Ltd - Architect

- Shore - CDM Advisor

- UBU Design - Landscape Architect

- AKS Ward - Structural & Civil Engineer

- CPWP - MEP Engineer

- Edgeplan - Planning Consultant

- Space Zero - FF&E Consultant

- Novatia - IT Consultant

- MLM - Building Control

- ACL - Acoustic Consultant

- FDS Consult - Fire Consultant

- Cundall - Highways Consultant

- STROMA - BREEAM Assessor

2 Analysis.

2.1 Location.

Cornerstone School Site Postcode: DA17 6DW

The proposed site is located on a closed school site at Halt Robin Road, previously named Woodside Sports School, in Belvedere within the London Borough of Bexley.

The site is between the B213 Road (Lower Road) running along the North boundary, with Halt Robin Road along south boundary. Existing residential dwellings sit to the East and West of the site and a dense vegetation/trees and Frank's Park to the South. Vehicle access to the site is via Halt Robin Road only, which is a dead-end road with the level dropping on approach to existing school entrance. There are two existing vehicle entrances, but only one, the east, is within land ownership. The other western entrance is accessed from a private entrance, which runs into the adjacent site.

The site area is 0.85ha has several mature trees and dense vegetation along its north and south boundaries. The key characteristic of the site is its topography. The site levels vary significantly (approx. 18m) from north to south. Two substantial (of up to 4m high) retaining structures run east-west across the site in its centre.

The main building on the site is 'L-shaped' Woodside Sports Secondary School building located in south-east corner of the site with a staff car park adjacent immediately to the north of the school building and grassed field to the north east.

The main building was built in 1915 and there have been later small single storey additions including a 1970s extension. There is also an existing portakabin on the site.



2.2 Adjacent Uses.

The surrounding buildings around the immediate site are residential. Further afield to the north the area is mainly commercial and industrial with the Belvedere Infant and Junior Schools located to the north east.

The remainder of the Woodside Park School site is located directly to the north and west. This site currently remains vacant and its future use is unknown.

The site does not fall within a Conservation Area, nor is it within the setting of a Statutory or Locally Listed Building. As such, there will be no heritage requirements for the proposal. However, Franks Park to the south is a nature reserve.

The site falls within Flood Zone 1 and, as such, has a very low risk of flooding.



- Residential
- Nature Reserve
- Education
- Commercial



2.3 Site Access & Surroundings.

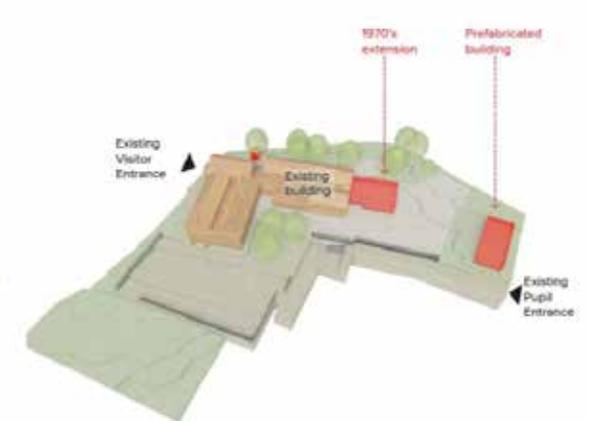
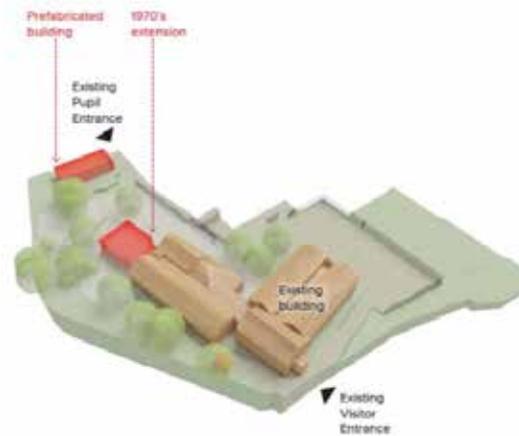
The main school building is located towards the south east of the steeply sloping site. It has hard-standing around to the north and east as well as various temporary/modular buildings that are due to be demolished. The blocks selected to be demolished include the stand alone building to the west and the annexe linked onto the west side of the main building.

On the lowest part of the site to the north is a large field which is proposed to be developed into an on site car park, with the introduction of a new retaining wall on the northern boundary adjacent to the embankment that falls away to Lower Road. This embankment is covered in a layer of thick vegetation which screens the site when viewed from the north. Between this field and the existing building lies the existing car park which is proposed to be developed into the Multi Use Games Area (MUGA).

The existing school building dates from the early twentieth century and is of brick construction with pitched slate roofs. The brick colour is predominantly London buff, with red brick highlights to a number of the window surrounds. There are also some areas of flat roof above the corridors, although these are located either to the rear or between the pitched roofs so are hidden when viewed from outside the site on Halt Robin Road.



2.4 Existing Site.



3 Brief.

3.1 Brief Development.

Cornerstone School is a secondary school for pupils with special educational needs SEN and mental health (MH) issues aged 11-19 years.

This project is a Department for Education (DfE) funded project, as such the brief is informed by the DfE generic design brief (GDB) and output specification document. Compliance to these document's design standards is essential for the delivery of DfE funded schemes. The above documents are informed by the following relevant guidance documents, which are also integral to achieving technical compliance:

- Building Bulletin (BB) 93 Acoustic Design of Schools: Performance Standards
- Building Bulletin (BB) 100 Design for Fire Safety in Schools (also BS9999)
- Building Bulletin (BB) 101 Guidelines on ventilation, thermal comfort and indoor air quality in schools, including TM52 compliance
- Building Bulletin (BB) 104 Area Guidelines for SEND and alternative provision
- The Schools Premises (England) Regulations 2012
- Sport England Guidance (Sports Pitches) Comparative sizes of Sports Pitches and Courts
- Sport England Guidance Notes (MUGAs) A guide to the Design, Specification & Construction of Multi Use Games Areas

Following the initial stages of feasibility assessments by the DfE Technical Advisor team including the London Borough of Bexley, the school specific design requirements were developed during the ITT Period (Invitation To Tender)

It is proposed to demolish the existing single storey annexe and out buildings located to the south west of the site and this will be replaced with a new two storey new build block linked to the existing school. The existing building will be refurbished.

Cornerstone School will be run by the Trinitas Academy Trust whose unique ethos of the School as set out opposite.

The project context and education background are outlined in the school specific brief (SSB). A summary of the key information is as follows.

The School will accommodate children and young people who may experience a wide range of social, emotional, and mental health difficulties (SEMH), which manifest themselves in many ways. These may include becoming withdrawn or isolated, as well as 7 displaying challenging, disruptive or disturbing behaviour. These behaviours may reflect underlying mental health difficulties such as anxiety or depression, self-harming, substance misuse, eating disorders or physical symptoms that are medically unexplained. Other children and young people may have disorders such as attention deficit disorder, attention deficit hyperactive disorder or attachment disorder.

Pupils who have these needs may need extra space to move around and to ensure a comfortable distance between themselves and others. They may need to be able to withdraw from their group, possibly to a sheltered outdoor area. Some may take extreme risks or have outbursts and need a safe place to calm down. Some may need behaviour support or counselling which should take place in a quiet supportive environment

A number of specialist sensory, immersion and calming rooms will be provided in the new building, along with a sixth form suite.



3.2 Design Development.

Galliford Try plc and their design team engaged with the London Borough of Bexley Special Projects Team, the Trinitas Trust and the DfE over a 3 month period to develop the detailed design over a series of Client Engagement Meetings (CEMs). During this process the team worked to ensure the project delivered on key Education Drivers and School Specific Design requirements. The DfE & their appointed Technical Advisors were also consulted to ensure the project delivered on technical compliance to the Generic Design Brief (GDB) & Output Specification (OS), as well as refer to relevant guidance.

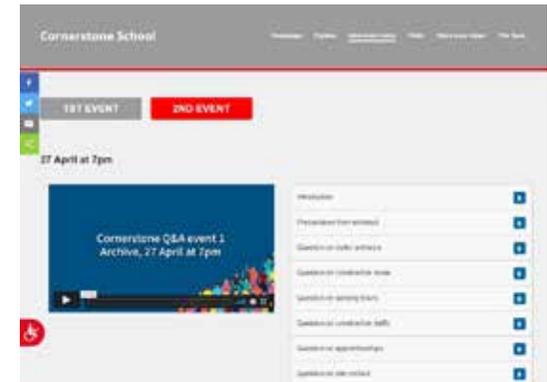
After taking part in the ITT stage, GallifordTry plc were successful in being selected to carry the project forward through the planning, technical design and construction phases.

Due to the on-going Covid 19 pandemic the team were unable to hold a public exhibition therefore GallifordTry plc carried out an online community consultation Q&A event on 27th and 28th April 2021, where local residents, community group representatives and local members were invited to comment on the proposals on-line. A number of comments were made but no adverse comments on the proposals were apparent during these events.

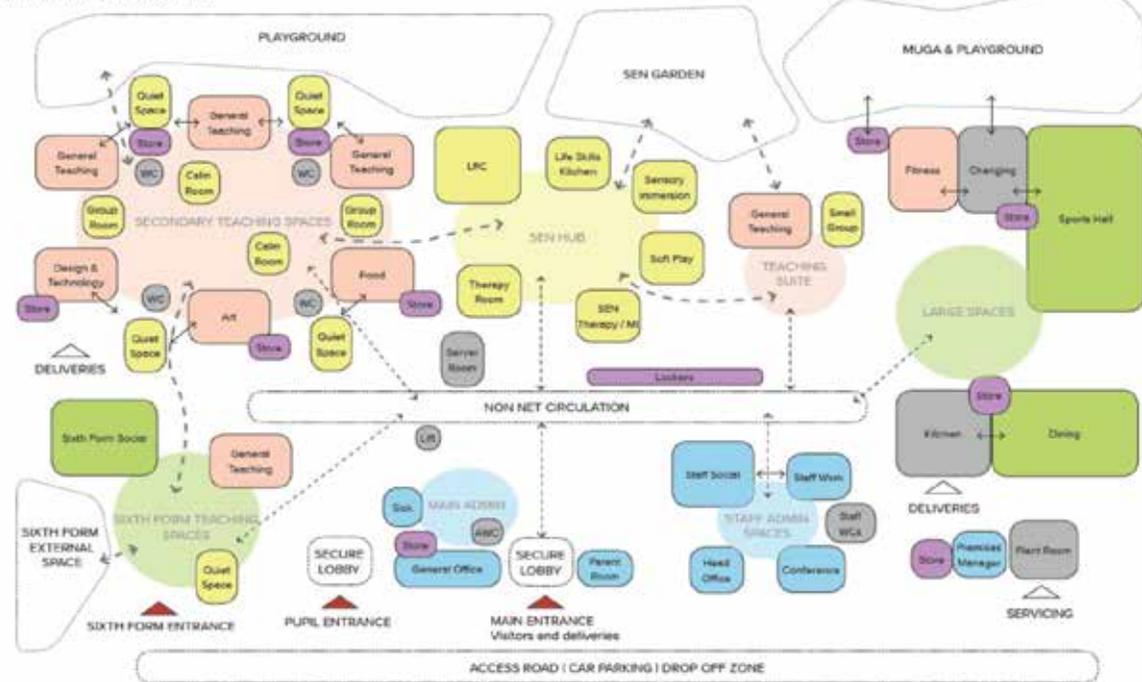
Client Engagement Process



Community Consultation Events



ADJACENCY DIAGRAM



Site Initial Adjacency Diagram

3.2 Design Development (Pre Application).

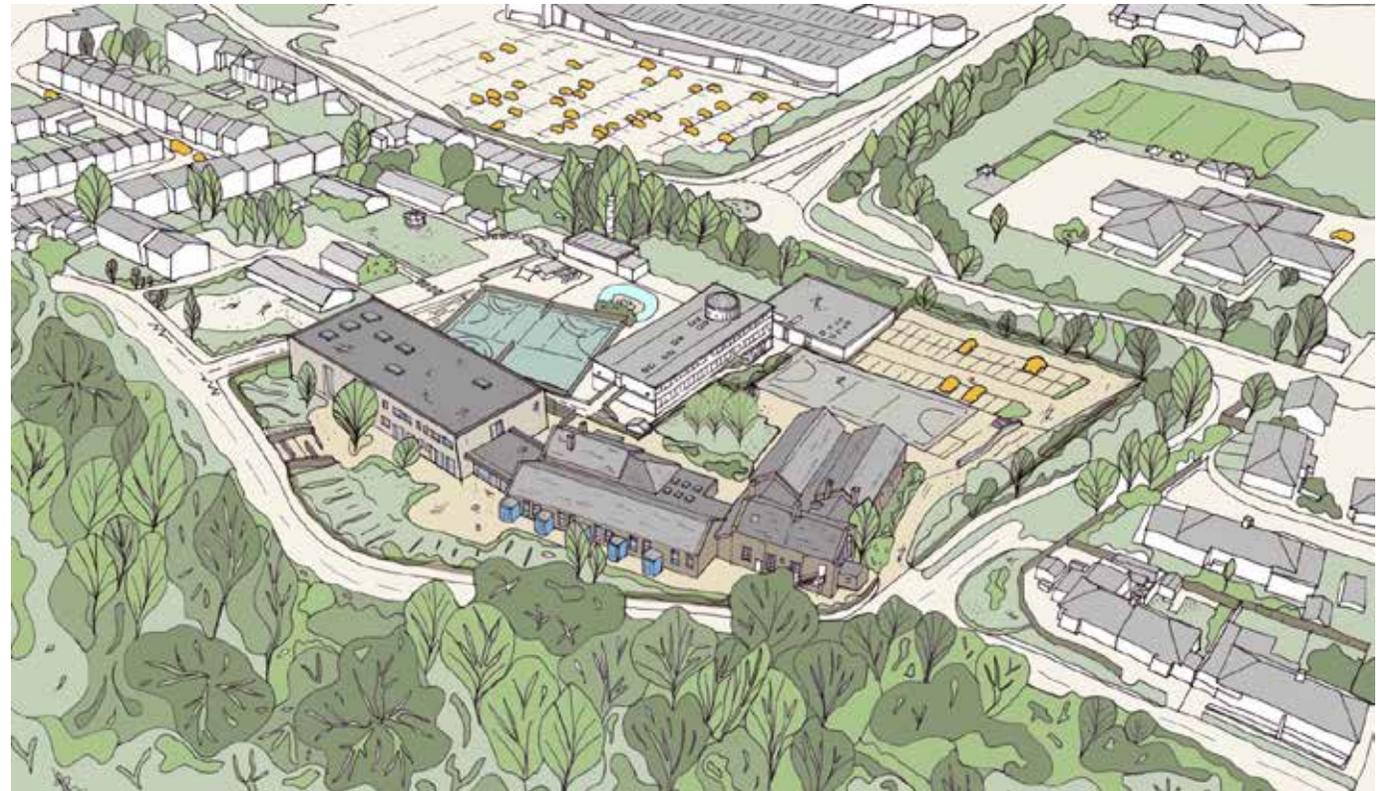
A pre-application meeting was held with the London Borough of Bexley Planning Authority on the 13th February 2020, and a letter of feedback was provided at bid stage. The advice provided in this response has been taken into account in the preparation of this application.

A further formal pre-application planning consultation meeting was held with the Planning Authority on 18th March 2021 to provide an update on the proposals. The original control option had been further developed since the last meeting, to include elevations and draft 3D views (as indicated on the indicative sketch opposite). The proposals for a two-storey new building connected to the existing building were supported, along with the inclusion of five new build pods to the southern facade of the existing building, although some concern was made over their appearance. These pod proposals have been developed further since this meeting with amended roofline that acts more of a continuation of the main roof rather than a mono pitch option previously put forward which we believe is more sensitive to the existing building. The requirement for these pods were part of the original design brief and are required for the successful operation of the school as calming pods located off each of the classrooms.

Tree removal was also discussed along with potential mitigation of adding some new trees, although the small site area does limit scope for this. A green roof was also requested on the new build block which has been provided on the single storey link section, with a plant enclosure on the main roof.

Proposed parking number requirements were also discussed with the planners. Staff/visitor parking will be developed in line with both local Parking Standards and the school requirements.

Site Aerial Context Sketch - Illustrative only



3.3 Constraints & Opportunities.

- Access to the West side of the Victorian building, where the 70s extension is proposed to be demolished and the new building erected, is via a steep incline from Halt Robin Road and over an overhung section of the access road that is within the limits of the site. This overhung section of the access appears to have been designed for vehicular traffic, however, though it seems safe, the loading capacity is unconfirmed. As a result this access route will not be utilised as a vehicular access into the site for either construction or maintenance.

- The access to the proposed site is via steep inclined roads that are often narrowed by parked residential vehicles: The 'T' junction between Halt Robin Road and Gladeswood Road is a steep climb from Lower Road and it has a sharp turn into Halt Robin Road.

- Halt Robin Road is not a through road. There is barrier at the interception with Parkside Road and it is transformed into a pedestrian use only after it is passed the proposed location of the new MUGA and car park.

- There is a relatively steep slope from south to north that meant the more level areas to the west of the existing building was the only realistic option to develop the new build element of the school. This did, however, have the advantage and of reinforcing a strong building frontage for the school when approached from to Halt Robin Road to the south.

- The remainder of the former Woodside Park school site to the north west will form a continuous solid boundary for the new school with a solid fence proposed to avoid unsightly views of the vacant site. There will be no links to this adjoining site whilst future use is uncertain and not part of the current development proposal.

- The close proximity of Franklands Park located directly to the south side of Halt Robin Road is designated as a site of importance to nature conservation (SINC), and has been considered in the current proposal, although the lower altitude of the proposed new building in relation to this means any impact will be limited.



Site Analysis Plan



4 Use.

4.1 Zoning.

The school will educate up to 90 learners between the ages of 11 and 19, catering for students with SEMH and ASD needs who require a low arousal and highly therapeutic environment.

The new building has been designed to accommodate mainly general teaching spaces along with staff rooms and a sixth form suite at first floor level. This will complement the facilities in the existing building, which along with general teaching will also accommodate more specialised teaching spaces such as Science and DT Workshop, in addition to the dining hall and kitchen.

Additionally, the western side of the proposed building accommodates the sports hall, fitness suite and changing rooms to enable this part of the building to be zoned off if required to facilitate out of hours community use.

- Although staff areas (offices/ workrooms/ therapy) are located throughout both buildings for supervision, the main staff base is housed in the eastern end of the existing building at ground and first floor level near reception.

- Toilets are evenly distributed over the 2 floors of the new building in addition to the existing.



Proposed Ground Floor New Build Plan



Proposed First Floor New Build Plan



4.2 Internal Spaces.

Typical Classroom

Indicative Visual Only



4.2 Internal Spaces.

Sixth Form Social

Indicative Visual Only



4.2 Internal Spaces.

pozzoni

Sports Hall

Indicative Visual Only



5 Amount.

5.1 Amount.

Building & Site

The proposal is for a new 2 storey school building joined to the existing via a single storey link. The overall school will provide space for a total capacity of 90 pupils and up to 40 staff within the new and existing buildings that will come from within the London Borough of Bexley.

The main mass of the new teaching block and sports hall are two storey that will approximately match the scale and massing of the existing single storey pitched roof building. However, the existing building does have a small first floor to the south east corner block, whilst the north wing in effect rises to two stories due to the slope of the site where the basement under this wing is at ground level. The existing building GIA is 1280sqm excluding basement.

The new building will provide a GIA of 1415m² over two floors, which means the total GIA of the new school including the refurbished element will be 2693sqm.

The total site area is approximately 0.85ha.

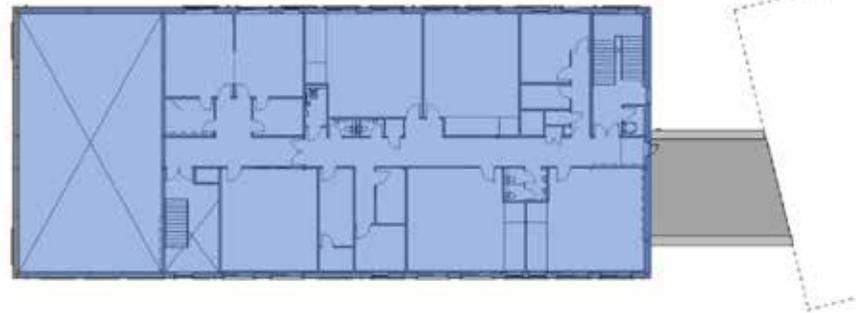
The site has an existing car park and vacant green space that will be reconfigured to create vehicular parking for staff or visitors and a multi use games area. Due to the orientation of the building, with new build block being remote to the car parking and vehicular site access, pupil drop off is proposed on Halt Robin Road to the south, reinstating a previous pedestrian access gate to the site.

Cycle storage facilities are provided on site for staff and visitors in the south east corner to promote sustainable travel.

Ground Floor - New Build - 828sqm



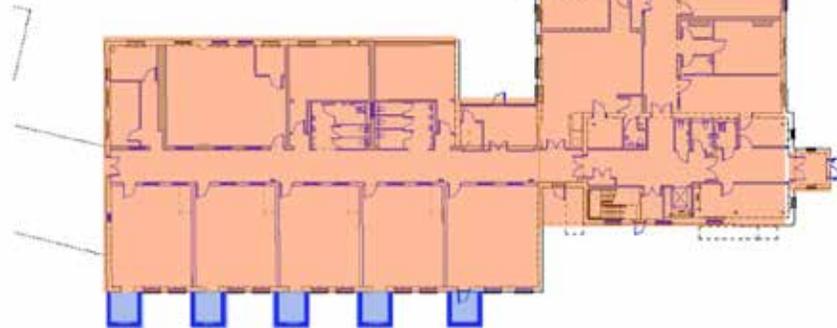
First Floor - New Build - 585sqm



Refurb - First Floor



Refurb - Ground Floor



4.3 Movement & Supervision.

The circulation strategy proposed is very simple and efficient in the rectangular new build block linking directly to the existing 'L' shaped block. Pupils are supervised at all times around the school due to the high staffing levels and care required. This circulation strategy also benefits the fire escape strategy and works with the site and existing building constraints.

Vertical circulation cores are evenly distributed at either end of the corridors, which comply with current fire escape regulations.

-  Staff bases
-  Vertical Cores
-  Circulation

Ground Floor - New Build



First Floor - New Build



6 Layout.

6.1 Ground Floor Plan - New Build.

Proposed Ground Floor Plan (not to scale)



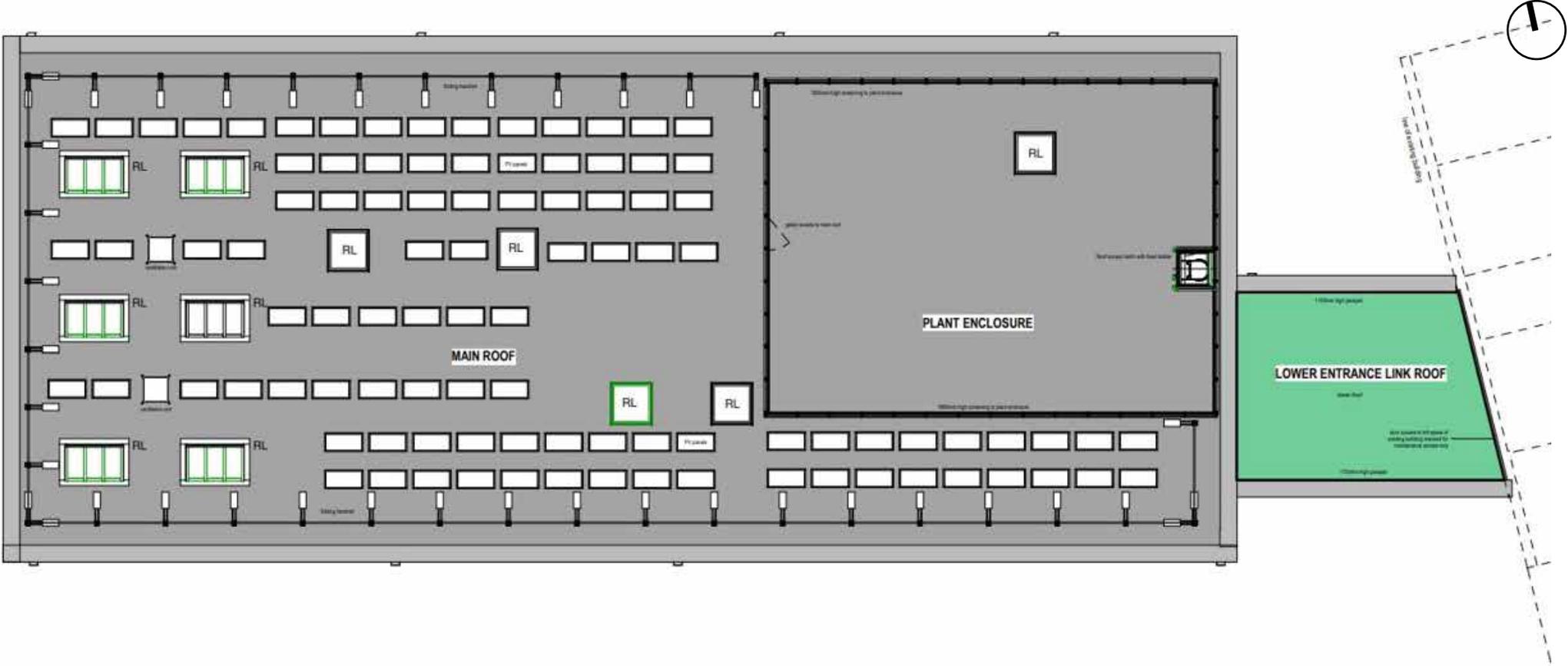
6.2 First Floor Plan - New Build.

Proposed First Floor Plan (not to scale)



6.4 Roof Plan - New Build.

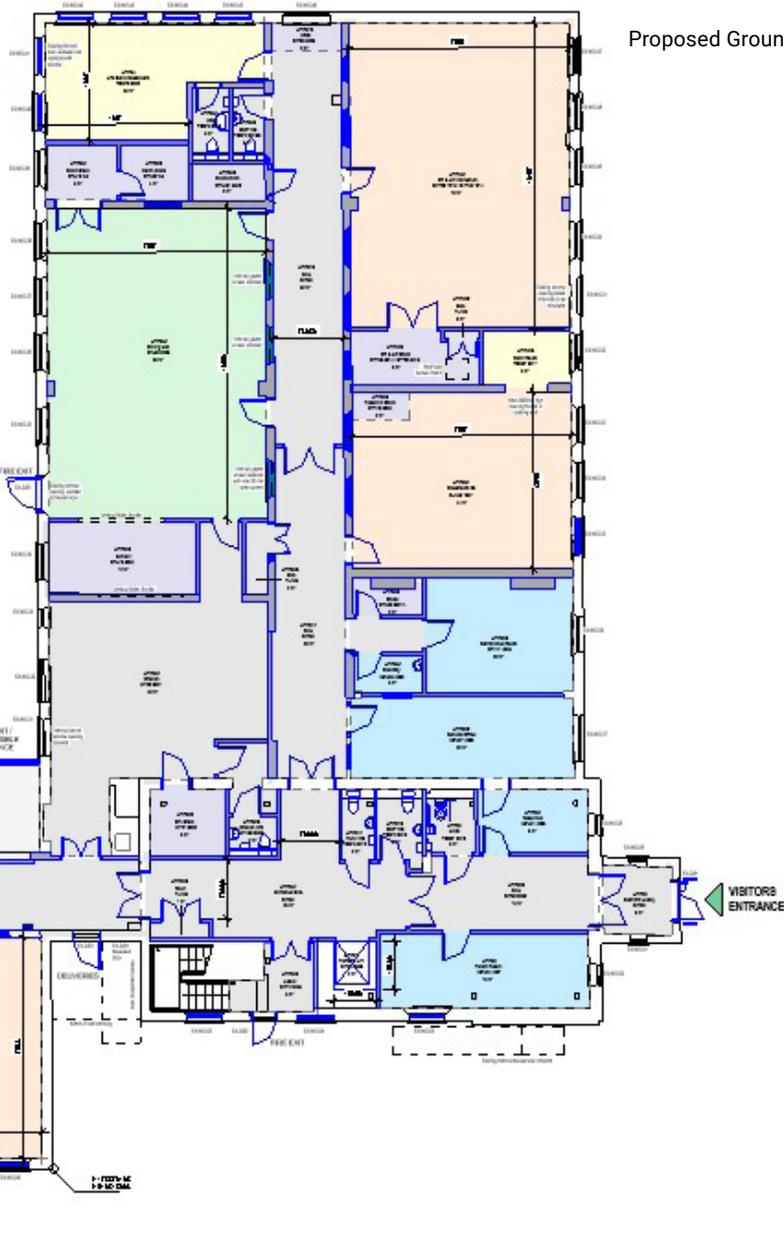
Proposed Roof Plan (not to scale)



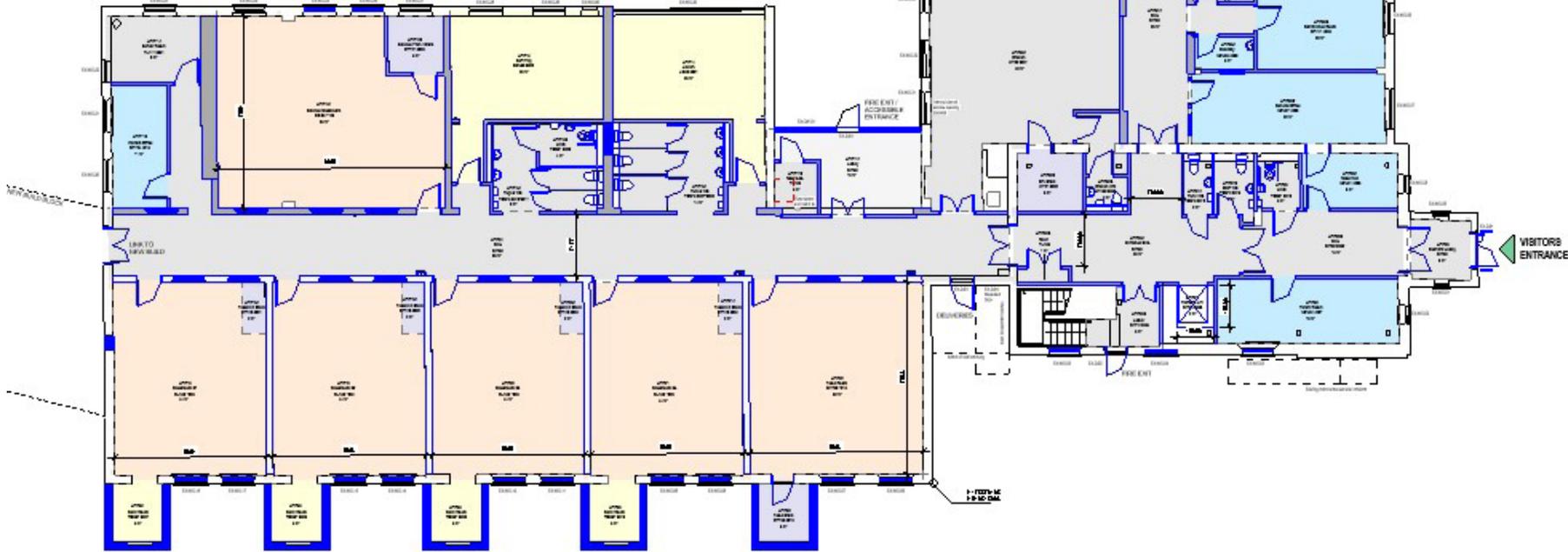
6.1 Ground Floor Plan - Refurb.



Proposed First Floor Plan (not to scale)



Proposed Ground Floor Plan (not to scale)



6.4 Combined Plan - New Build & Refurb.

Proposed Combined Ground Floor Plan (indicative only - not to scale)



7 Scale.

7.1 Scale.

The proposal is a new 2 storey teaching building and single storey link to the existing. The scale of the proposal complies with local planning policy and great consideration has been given to the surrounding context in relation to massing and location.



Proposed New Build Elevations in Context of Existing Building - (indicative only - not to scale)

7.1 Scale

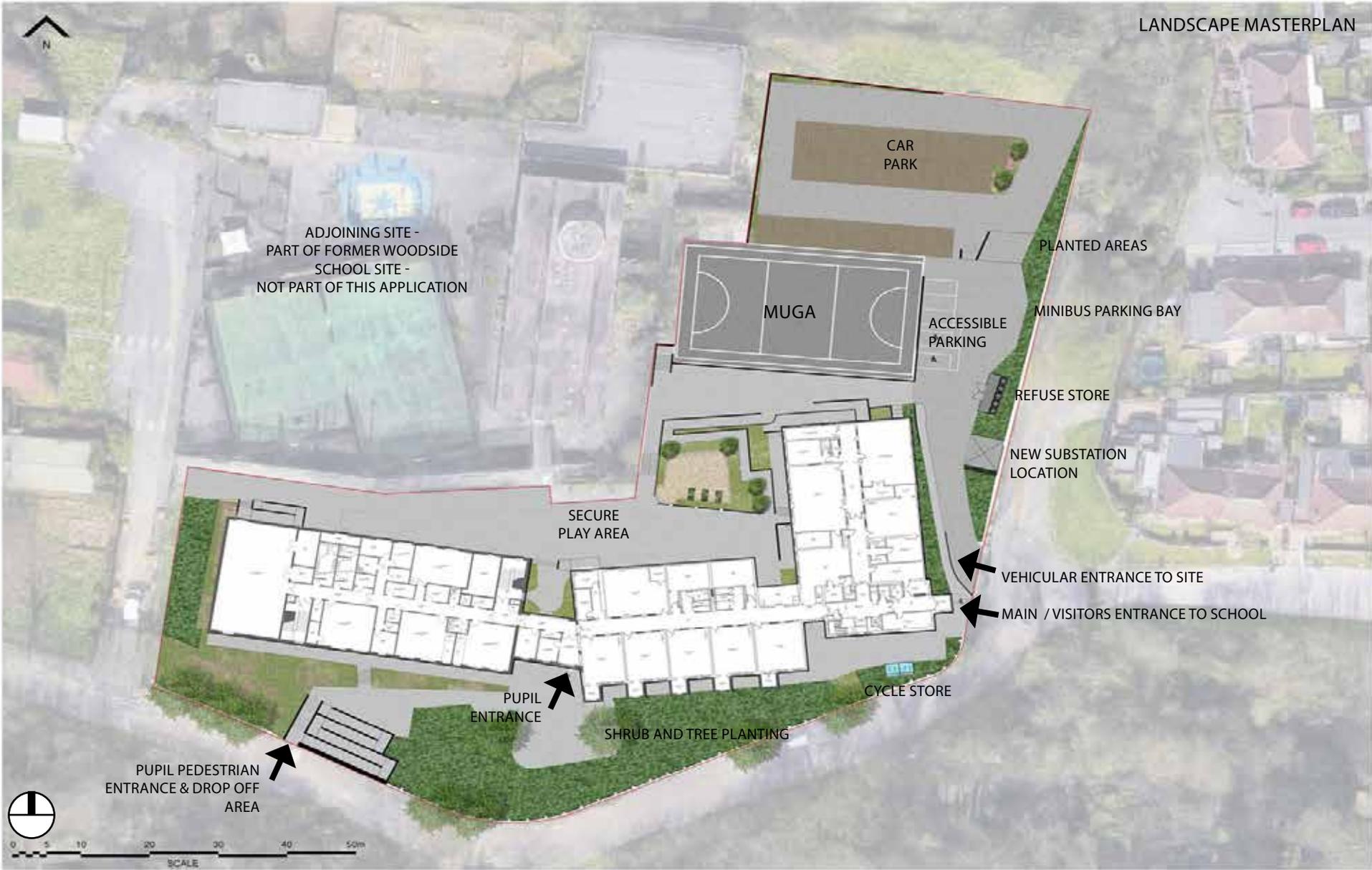


Design Development 3D View Showing Proposed New Build Block in Context of Existing Building - (indicative only - not to scale)

Note - New pod proposal to existing building has been updated since this image was produced

8 Landscaping.

8.1 Landscaping Proposal.



8.1 Landscaping Proposal.

Materials and furniture



Barbican imperial metal railings



Weldmesh fencing



Timber hit and miss fencing to bin store



Cycle store



'Sheffield' cycle stand



Example of step paving slab with contrasting nosing

The new external landscape areas for Cornerstone School have been carefully developed to create a safe, secure and welcoming environment for all students, staff and visitors.

The principal entrance for pupils arriving and leaving the school will be from Halt Robin Road to the south west of the site where a former gate will be reintroduced. Meanwhile, the main entrance to the school for staff and visitors will be the existing entrance to the east next to the vehicular entrance to the site.

Boundary Treatment

The secure line to the site boundary will be a 2.5m weldmesh fence. The fence to the north of the new building will be clad with timber to restrict visual access to the existing woodhouse school site to the north.

The existing retaining wall to the Southern edge along Halt Robin Road will be retained, with the existing railings removed and the new fence located on the pavement side of the retaining wall.

Landscape Layout

Southern Play Space

The new school facility will work with the existing levels, as the site slopes from south (higher) to North (lower) The ramped access has been incorporated into the pupil access from Halt Robin Road, this provides a DDA compliant access to the New Building entrance. The area to the south of the new and existing building will be left as grass and tarmac paly space. An additional external stair has been added to allow easy access to the hall for community use.

An area of planting will be installed in the South East corner to tie in with the existing levels, with a grass area to the West of the new Hall.

Northern Play Space

The northern play space offers an open hard play space, with a ramped and stepped access to the sports hall and the 'Link' entrance to the school from the north. To the Eastern end of the playground is an outdoor classroom with seating, bound gravel surface and raised growing beds, which is enclosed with a 1.5m fence. Running to the north and east of this space is a sloped access from the Disabled parking adjacent to the MUGA leading to the access into the school. The existing retaining walls and steps to the West of the outdoor classroom are to be retained.

MUGA

The MUGA is to be formed to the North of the existing retained building with a stepped access to the South West corner with a second access to the North East corner. The MUGA will be porous tarmac with a 3m High sports fence surrounding it, with floodlighting.

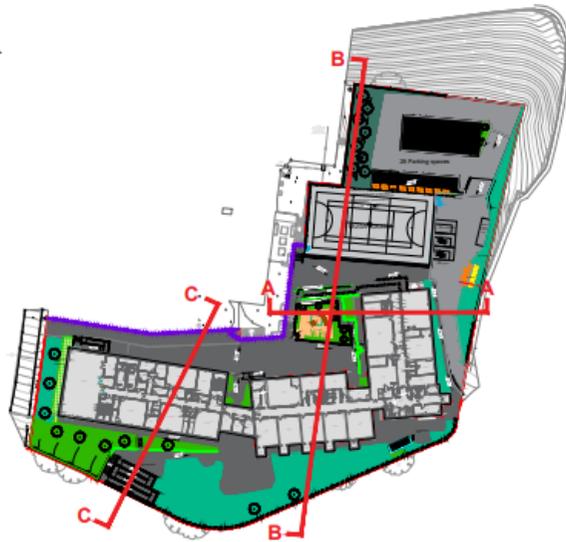
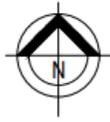
8.1 Landscaping Proposal.

DETAILED LANDSCAPE MASTERPLAN - NTS

PLEASE REFER TO SEPERATE FULL SIZE DRAWING PROVIDED



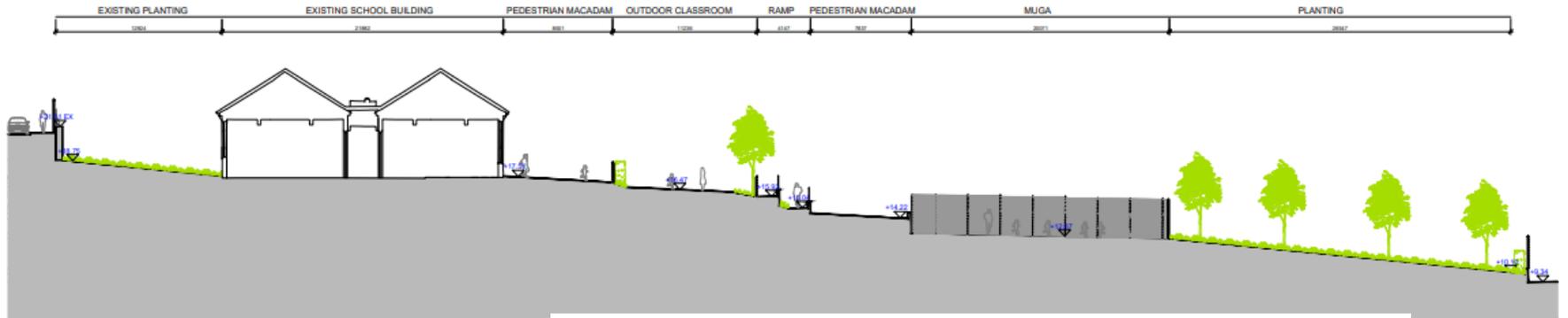
8.1 Landscaping Proposal.



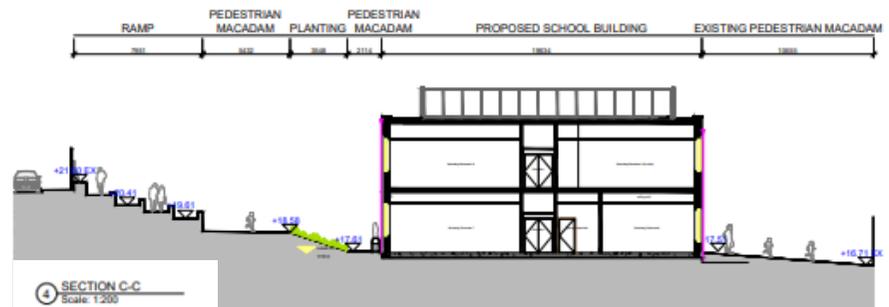
1 LOCATION PLAN
Scale: NTS



2 SECTION A-A
Scale: 1:200



3 SECTION B-B
Scale: 1:200



4 SECTION C-C
Scale: 1:200

LANDSCAPE SITE SECTIONS THROUGH NEW BUILD AND REFURB BUILDINGS

8.2 Access and Movement

Access around and within the site has been carefully considered and integrated into the design proposals. It is proposed that pupils will be dropped off and picked up mainly in minibuses or taxis from the previous pedestrian access gate to the site that will be reinstated on Halt Robin Road to the south.

Cars will access the site from the existing vehicular entrance to the east of the site and space has been provided for the required number of staff, in addition to three accessible bays and one minibus bay.

Emergency and maintenance vehicles will be able to enter the site from this same entrance, with tracking completed for turning circles within the site. Additionally, a one way circuit around the car park is also possible.

There is new bin store located off the access road to the east of the site, located at least 10M from the building to satisfy insurers requirements.

Pedestrians in the form of staff and visitors will access the school from the car park via a dedicated pedestrian route. This is either via the footpath to the east of the existing building for able bodied visitors or via ramped access to the west to a lobby on the north elevation of the existing building for wheelchair users.

The playground and sports pitch areas will be interconnected and separated from vehicular movement for security and safety.

If staff or visitors arrive by bicycle, cycle storage will be provided in a dedicated shelter near the main entrance within the site.

8.3 Hard & Soft Landscape

Planting proposals



Acer campestre



Amelanchier



Example of native hedge planting



Herb planting to raised beds

HARD LANDSCAPING

The majority of the hard landscaping throughout the playground and car park areas will be tarmac which will be durable and low maintenance. This will be particularly important along the access road which will be frequently used by refuse vehicles and coaches.

Accessible pedestrian routes will be provided to the school from Halt Robin Road to both the pupil and main visitors entrance. Hazard warning paving in a contrast colour will be used at all changes in level.

Permeable tarmac surfacing will be used in the multi-use games area to help rainwater drainage. With white line markings, the MUGA surfacing will be appropriate for mixed sports including tennis, basketball and netball. Space will also be provided in the playground areas for future play equipment and associated safety surfacing.

SOFT LANDSCAPING

The proposed landscape masterplan aims to retain existing green infrastructure on site wherever possible, and enhance it for both amenity, ecological and environmental value.

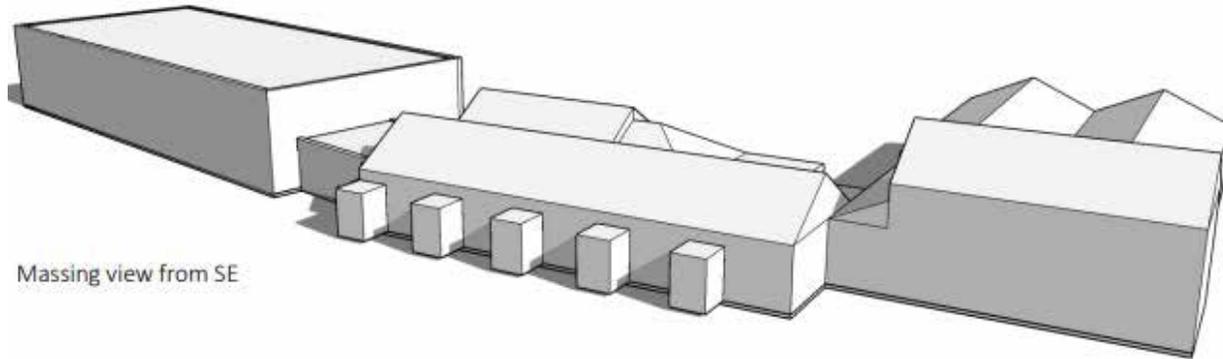
Soft landscaping will be further enhanced in the limited site area with pockets of mixed native shrub planting. This will not only add amenity value for site users during term time, but provide wildlife and habitat value.

The majority of trees across the rest of the site will also be retained except for those that need to be removed to accommodate the new building, or structures on the site, although many of these are in poor condition (refer to arboriculture report),

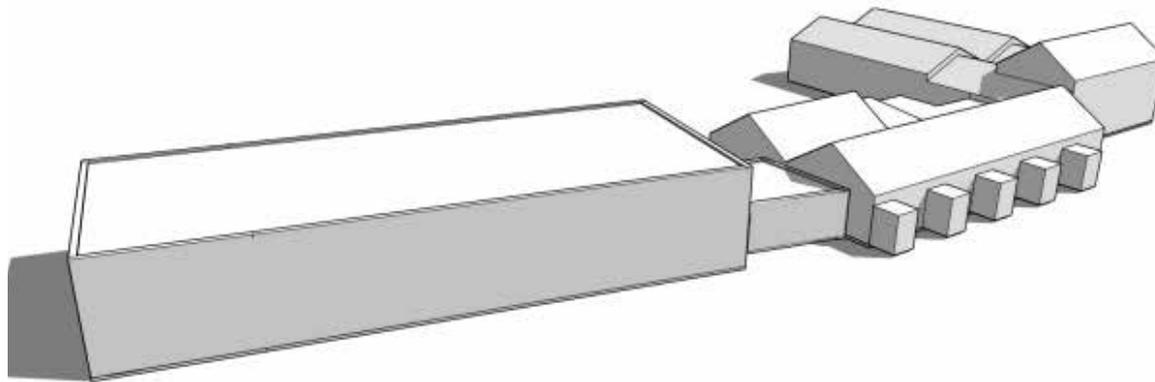
9 Appearance.

9.1 Proposed Scale - Design Development.

Initial Massing Studies



Massing view from SE



Massing view from SW

Precedent Images

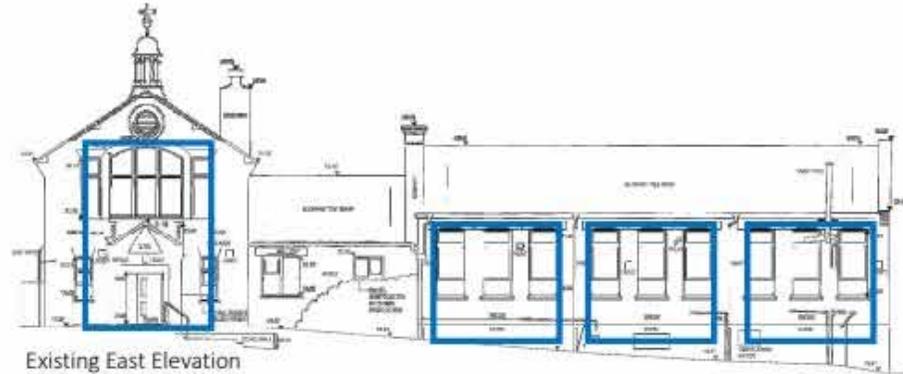


9.1 Proposed Appearance - Design Development

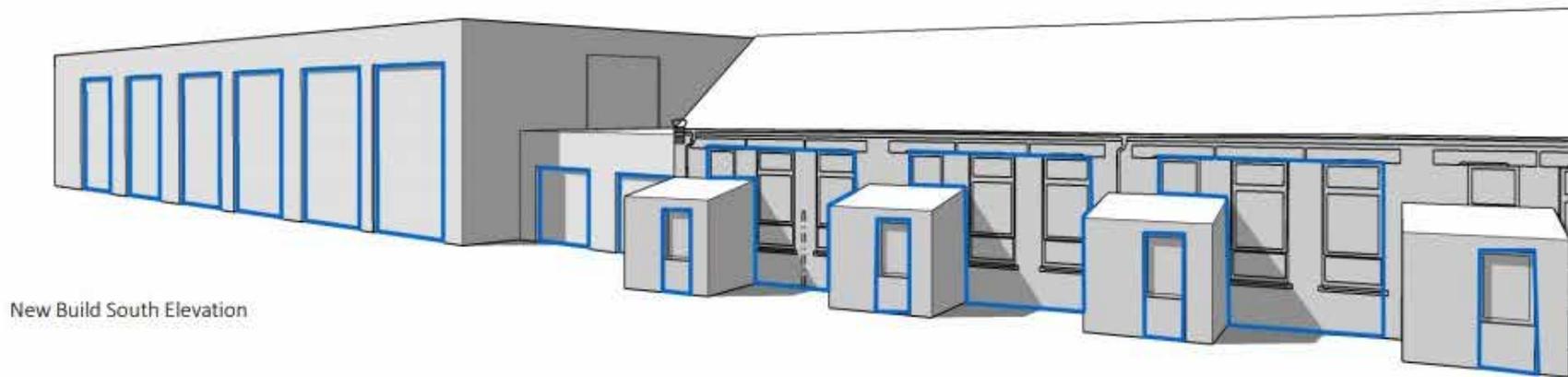
Elevation Pattern Studies - Vertical Window Proportions



Existing South Elevation



Existing East Elevation

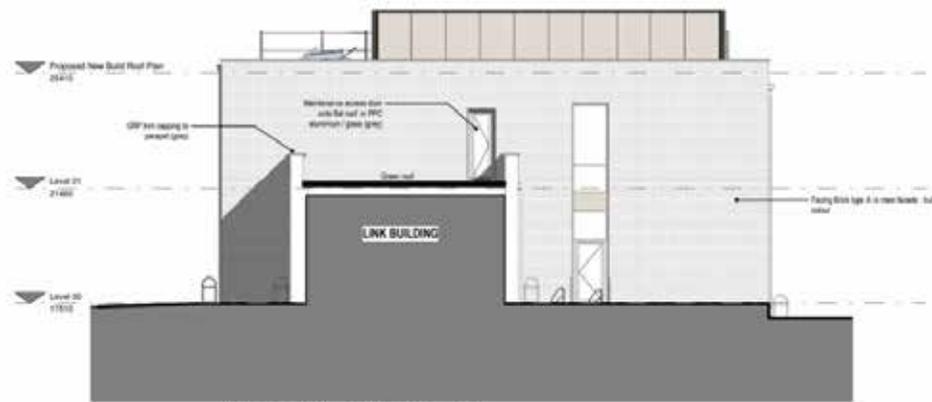


New Build South Elevation

9.2 Elevations - New Build Block.

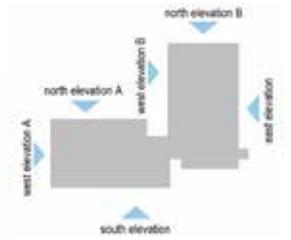
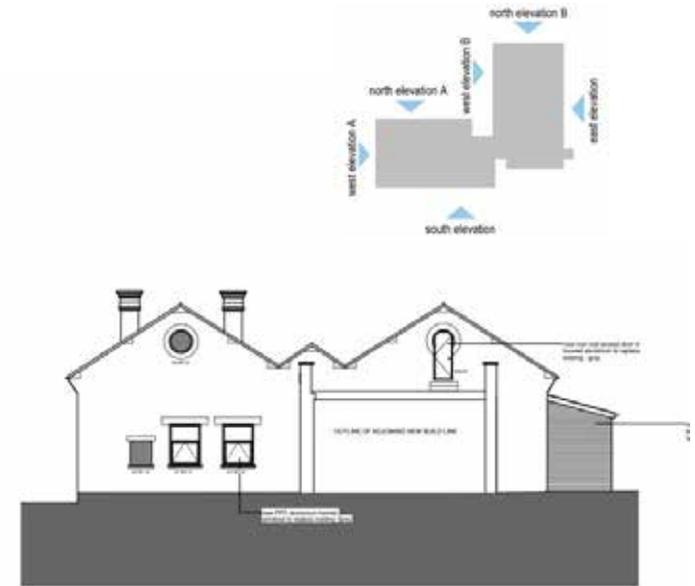


Proposed New Build North Elevation
1:100



Proposed New Build East Elevation
1:100

9.2 Elevations - Refurb Block.

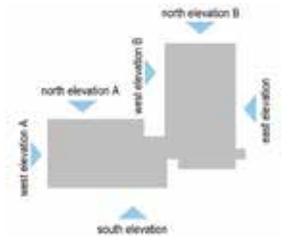


West - Proposed
1:100



South - Proposed
1:100

9.2 Elevations - Refurb Block.



North A - Proposed
1:100



West B - Proposed
1:100

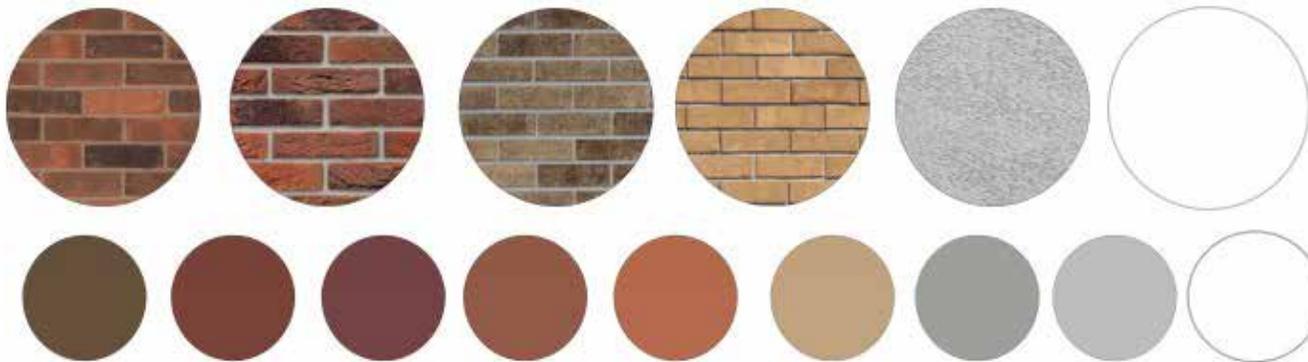


North B - Proposed
1:100

9.3 Proposed Materials.



Palette



A number of elevational studies were carried out to explore potential materiality, aperture rhythm / pattern, materiality pattern / rhythm.

The proposed material palette was selected to be robust and low maintenance, appropriate for a school typology; buff brick to match the existing with red brick high lights, offering a simple colour palette with strong proportions of contrasting colour to the pupil entrance to aid way-finding.

The buff and red brick combination to the teaching block were selected to match the existing site context palette. The same principle was applied to the roof top plant screening being a light brown / grey finish.

The windows and rainwater goods are to be in polyester coated aluminium with a grey finish and this will also be carried over to the replacement windows in the refurb building for consistency.

Finally, the new teaching block will have a flat roof, a section of which is proposed to be a green roof.

9.4 Proposed Appearance, Front Pupil Entrance.

Indicative Visual Only



10 Access.

10.1 Vehicular & Transport Links.

A transport statement has been submitted separately with this planning application, prepared by Cundall on behalf of Galliford Try Construction.

The site is located in residential area and is bound by Halt Robin Road to the south and residential properties to the east and west.

The main / visitors entrance to the site will continue to be from the dead end section of Halt Robin Road to the east. The existing access/egress arrangement is proposed with vehicles entering from the east and egressing to the same way after looping in the car park or turning circles provided within the site. An improved car parking layout will be provided whilst the minibus and car drop off area will be on Halt Robin Road to the front of the main school building.

The redevelopment of the former Woodside Park School site will provide no additional staff or pupil spaces. As the new school will be a smaller capacity than the previous school on the site, there will be no increase in trips made to and from the school, therefore is considered that there will be no effect on the local highway network.

10.2 Inclusive Access.

Inclusive access has been an integral part of the design, to ensure the building accessible to all.

Appropriately sized doors & circulation spaces are used throughout the proposal for ease of access and to meet the DfE design standards. Circulation routes have also been optimized to reduce travel distances between lessons & activities, as well as offer simple and legible wayfinding. In addition to evenly distributed stair cores, a lift is provided to enable access between floors for all building users.

The new pupil entrance is highlighted with an alternative brick colour. It is also recessed back from the main facade of both the new build and refurb elements to create a clear a well defined approach to the school.

The main / visitors entrance is via the former school entrance to the east side of the existing school building via an internal ramp offering level access into the new and refurbished blocks. It also allows external school grounds access during break periods and avoid segregation of less ambulant building users.

WCs have been evenly distributed throughout the building, with ambulant WCs available on every floor.

The roof is accessible for ease of maintenance, and surrounded by a min. 1100mm guardrail for safety.

10.3 Inclusive Site Access.

Site levels have been considered to ensure DDA compliant routes throughout the site, that has been a considerable challenge with a series of ramps and sloped access routes to ensure the steep site gradient can be overcome and ensure the school is fully accessible to all.

In order to accommodate the level change across the site, steps and a sloped footpath will be used to access the pupil entrance on the south side of the building and to the dedicated wheelchair visitors entrance to the north.

Pupils will be dropped off and picked off at the dedicated entrance on Halt Robin Road, where both stepped and ramped access is provided into the site.

Several disabled parking spaces have been provided and users of the space can access the school via a dedicated wheelchair visitors entrance on the north side of the existing building. Unfortunately, DDA compliant access was not possible from the car park to the existing visitors entrance due to the existing site gradients where there was not any scope to realign. However, the clearly defined access ramps that have been provided to the wheelchair entrance to the north has also been complemented by intercom link directly to the reception / general office.

Meanwhile, the remainder of staff and visitors will access the school via the main visitors entrance to the east of the existing building that is linked directly to the car park within the site via a series of footpaths.

10.4 Policy Approach.

Building regulations approved document Part M (Access to and Use of Buildings) and BS 8300-2:2018 (Design of an accessible and inclusive built environment) have been used to define accessible solutions for the design, these have included:

- A clearly visible main visitors and pupil entrances with suitable means of access, a level approach, suitable car parking and routes around the building.
- Suitable corridor widths to allow the passing of wheelchairs.
- Suitable clearance between door swings in entrance lobbies
- Suitable door widths sizes and leading edges
- Suitable robust material specification both inside and out
- Access to an accessible WC from the main reception on the ground floor level of the existing building, along with further accessible WC's on each floor of the new building.
- Suitable access for emergency services at the east of the existing building
- A designated bin collection store to the east side of the school

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