

Hollins

*Architects, Surveyors and
Planning Consultants*

Design & Access Statement

For

Erection of new dwelling

at

**Land rear Felicity Cottage,
Cross Street, Hoxne**

For

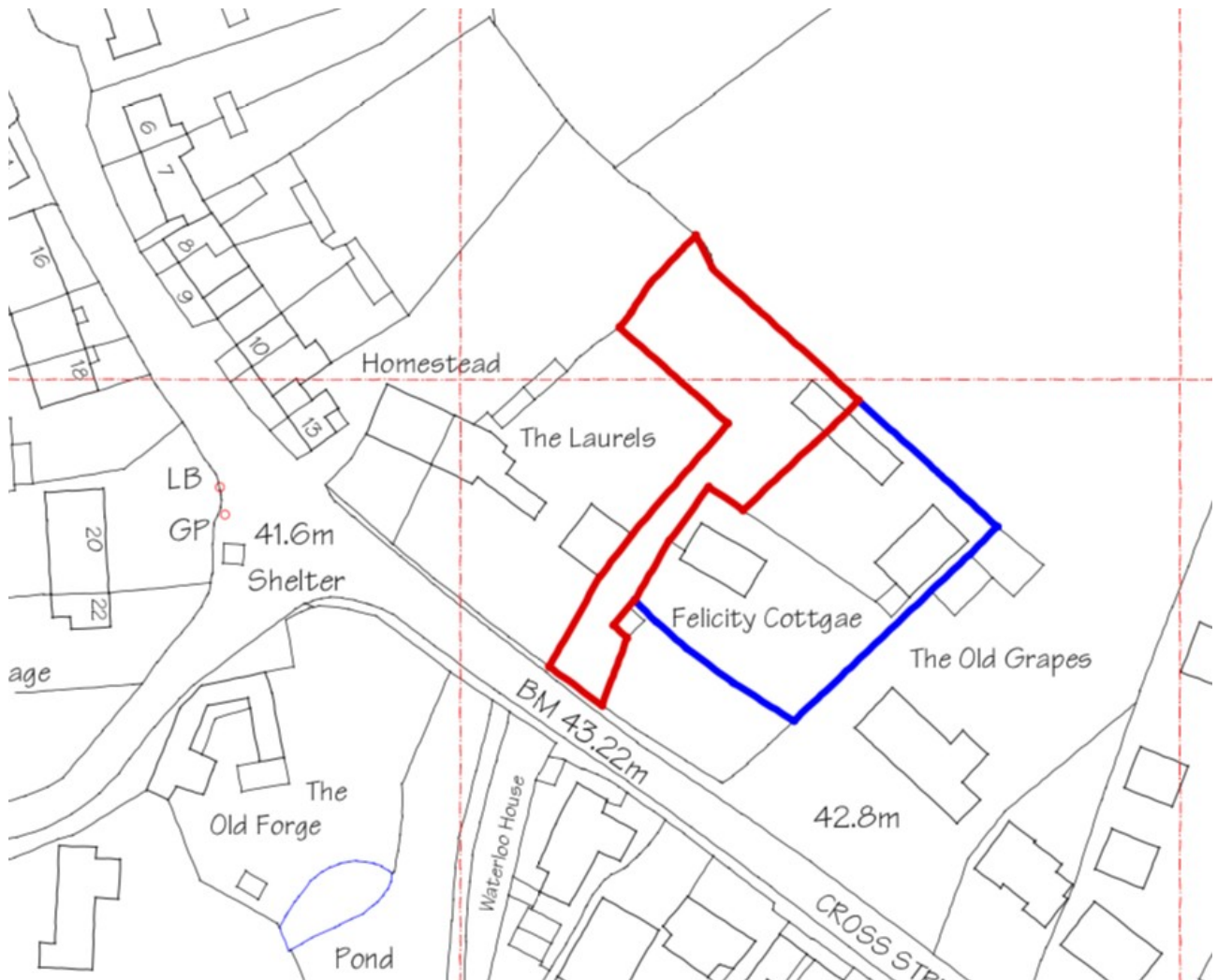
M Perry

17-160 / LC / Design & Access Statement

Land rear Felicity Cottage, Cross Street, Hoxne
Full Planning Application

The Use

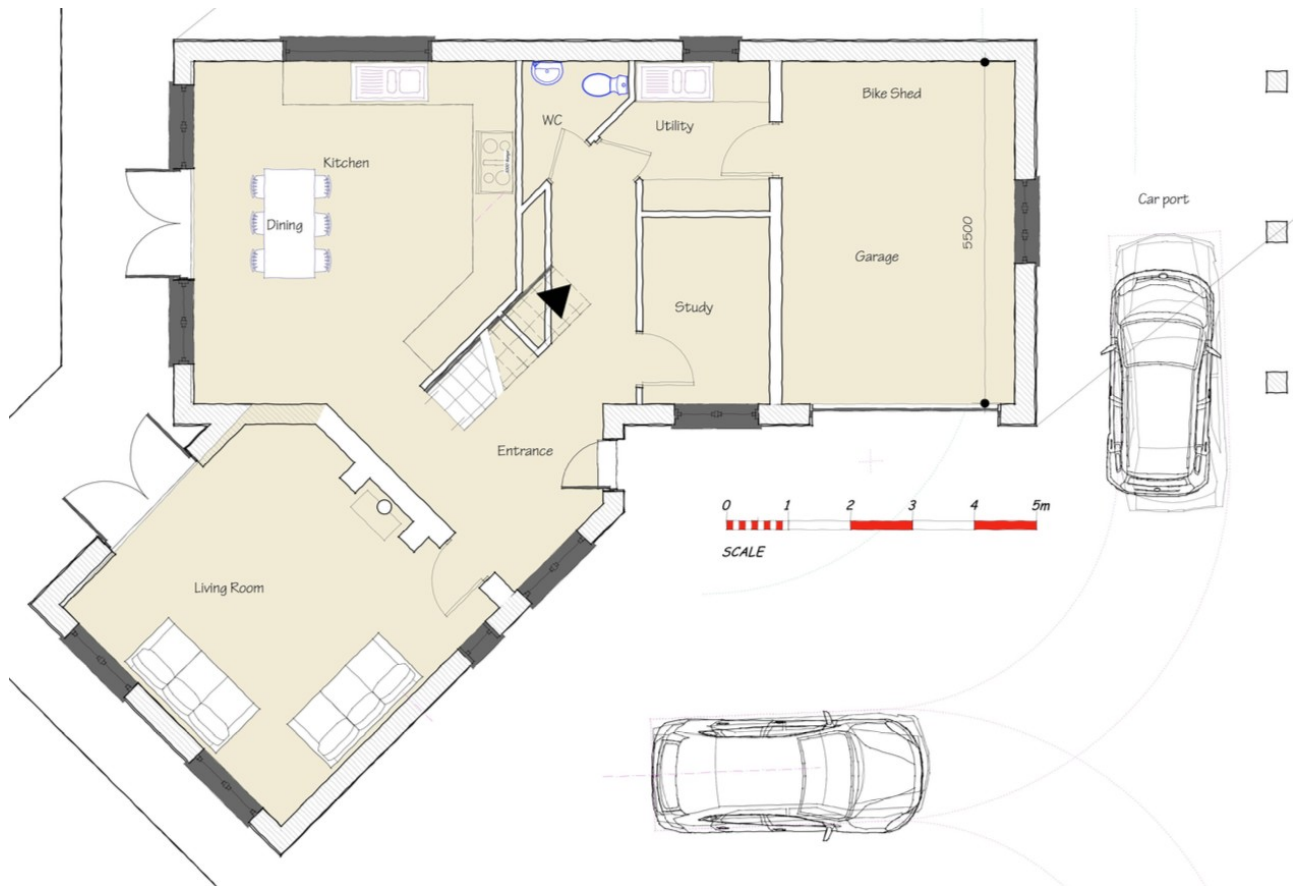
The site is currently used as a residential garden forming the curtilage of Felicity Cottage.

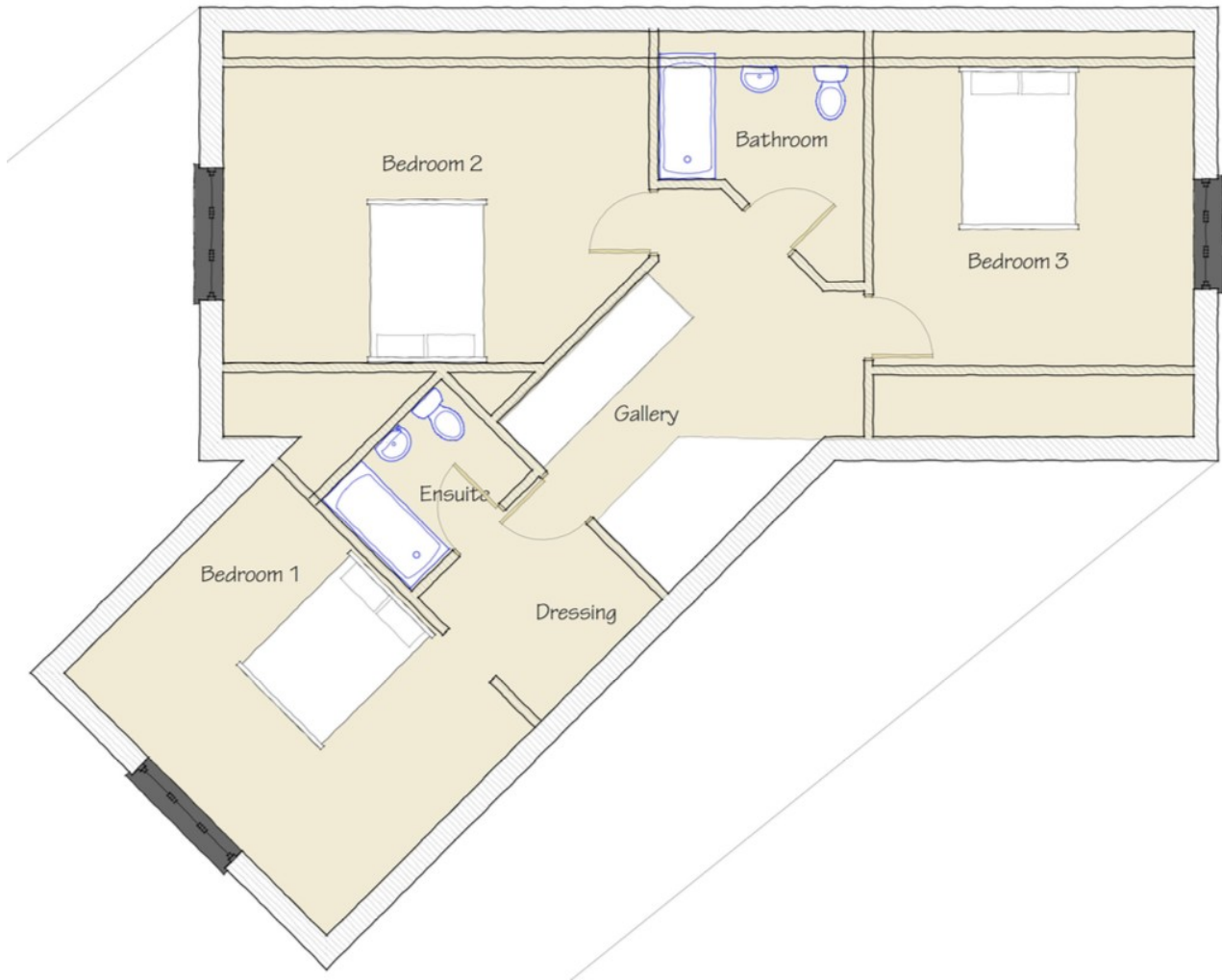


Design Philosophy

The design philosophy has been influenced by the cottages to the south as well as the listed building to the southwest known as Mable Cottage. The pre-app suggested that the design should take into account the buildings around the site and this is what has been done, creating a 1.5 storey cottage style house.

The proposal uses the materials found in the vicinity with rendered walls and tiled roofs.





Number of proposed Dwelling houses

There is only one proposed dwelling house proposed in this application.

Suitability of land

The site already sits within a residential curtilage within a settlement boundary

Access

The new dwelling is to use the existing access to Felicity Cottage and then the new driveway will branch off further down the driveway. The new plot will be designed to Suffolk highways parking standards and design guide. The parking provisions are for 2 spaces 1 in a Garage and 1 in a car port for the proposed house. The new dwelling will have level access at the front door for disabled access as well as accessible doors to the building regs provisions for disabled access to a dwelling.