

Heritage Statement

The **Heritage Statement** is for the applicant or agent to identify the heritage asset(s) that have the potential to be affected by the proposals and their setting. Please read the **guidance notes** provided at the back of this report to help you fill in the form correctly. <https://www.brighton-hove.gov.uk/content/planning/heritage/heritage-statements>

Appendix 1 relates to the **Historic Environment Record (HER) Consultation Report**. You must state whether or not supporting data from the HER is required.

There are 3 options:

- HER report attached (this must be completed by the Historic Environment Record Team)
- HER report not considered necessary – email attached from HER
- HER report not required by the Local Planning Authority as detailed on the relevant website validation requirements

Please tick the relevant box at the **back of this form** as to which option applies.

Both the **Heritage Statement** and the **Historic Environment Record Consultation report (Appendix 1)** must be completed in order to meet validation requirements of the Local Planning Authority – tick the boxes on the right hand side below to confirm the sections completed.

Note: All fields are **mandatory**. Failure to fully complete all fields may result in the form not being validated by the **Local Planning Authority (LPA)**.

To be completed by the applicant – please tick relevant boxes	
1. Heritage Statement completed	X
2. Appendix 1 completed	X

Heritage Statement

Site name

28 Bloomsbury Place

**Address of site
(including postcode)**

28 Bloomsbury Place, Brighton, BN2 1DB

Grid Reference

1. Schedule of Works

Please state the type of proposal e.g. extension to a listed building, internal alterations

To the front elevation first floor balcony, insertion of new decorative spacer/infill railing panels that have been previously altered with an inappropriate design.
Replace front elevation 1st floor bay window felt roof coverings with new code 5 milled lead roof coverings.
Replace rear elevation 1st floor flat roof felt roof coverings with new code 5 milled lead roof coverings.

Please list the works proposed e.g. replacement windows, removal of internal wall, reinstatement of original staircase, damp proofing works to basement etc.

See above description and drawings SK01 – SK09 attached

2. Pre Application Advice

Have you consulted the East Sussex Historic Environment Record, as the minimum requirement of the NPPF?

Yes No

If no, please provide the reasons why not below, including any correspondence with the HER/LPA archaeological advisor or LPA validation team:

The alterations are replacing elements to designs that would have been contemporary with the age of the building and can be extrapolated from architectural elements with the same street from buildings of a similar age.

If Yes, please attach any correspondence to this Heritage Statement in Appendix 1 (including the HER Consultation Report)

Have you sought pre-application heritage advice from the relevant local planning authority?

Yes No

If Yes, please provide a copy of any written correspondence with reference number/contact name if applicable.

Have you sought pre-application heritage advice from Historic England?

Yes No

If Yes, please provide a copy of any written correspondence with reference number/contact name if applicable.

3. What heritage asset(s), including their setting, are potentially affected by the proposals? (Please tick the relevant boxes below) (See guidance section: <https://www.brighton-hove.gov.uk/content/planning/heritage/heritage-statements-what-heritage-assets-are-affected-proposals>)

1: Scheduled Monument (SM)	<input type="checkbox"/>
2. Listed Building (LB)	<input checked="" type="checkbox"/>
3. Conservation Area (CA)	<input type="checkbox"/>
4. Registered Park and Garden (RPG)	<input type="checkbox"/>
5. Historic Battlefield (HB)	<input type="checkbox"/>
6. Locally Listed Heritage Asset (LLHA)	<input type="checkbox"/>
7. Archaeological Notification Area (ANA)	<input type="checkbox"/>
8 Other Non-Designated Heritage Asset (including below ground archaeology)	<input type="checkbox"/>

4. What is known about the affected heritage asset(s)? (See guidance section: <https://www.brighton-hove.gov.uk/content/planning/heritage/heritage-statements-what-known-about-affected-heritage-assets>)

4 (a). Using the information obtained through research and on-site analysis provide a summary of the history of the site/building.

Please add a summary history of the site/building including specifically the parts that will be impacted by the proposals – e.g. how the site/building was originally laid out, how it has evolved, phases of construction and/or change. Please also provide information on past impacts – e.g. modern extension, drainage, former footings, recent landscaping, gardening. **Please include / attach any research material as an addendum to this Statement after Appendix 1.**

The 13 houses of the east side of Bloomsbury Place have four floors with mostly canted bays with flat headers. Numbers 24 to 27 originally formed a central group with pilasters and a pediment, but little remains of these. Cast-iron balconies span the first-floor level, as on the west side.

Number 28 Bloomsbury Place is an early C19 grade II listed building located within the East Cliff conservation area. Every terraced house along Bloomsbury Place and their attached railings are grade II listed. Bloomsbury Place forms a harmonious terrace of Regency buildings which whilst displaying a mix of historic architectural features have a pleasing cohesive character.

Brighton and Hove Director of Environment (September 2002' notes the East Cliff Conservation Area as:

1.1 East Cliff was designated as a conservation area in February 1973 in recognition of it being an area of special architectural and historic interest, due to its clear association with the growth of Brighton as a Regency and Victorian seaside resort. The conservation area was confirmed as "outstanding" by the Secretary of State for the Environment in January 1974. It was then extended to the north in January 1977, June 1989 and June 1991. East Cliff covers an area of approximately 60 hectares and contains 589 statutory listed buildings plus 86 buildings on the local list.

And

1.4 The development of the East Cliff area arose directly as a result of the rapid growth Brighton after 1750 and its architecture, particularly on the seafront, is very typical of the Regency style. The area as a whole is unified by this style of building and by the survival of the historic street pattern, as well as by the historic relationship with sea.

4 (b) What research have you undertaken to understand the significance of the heritage asset(s) affected?

Please tick the relevant boxes

HER	<input type="checkbox"/>
The Keep (East Sussex Record Office)	<input type="checkbox"/>
Map regression (historic maps)	<input type="checkbox"/>
Local Planning Authority sources	<input type="checkbox"/>
Historic England sources	<input checked="" type="checkbox"/>
Museum or Library (please provide details)	<input type="checkbox"/>
Other (please state)	<input type="checkbox"/>

(Please include / attach any research material as an addendum to this Statement after Appendix 1.)

5. What is important about the affected heritage asset(s) ('the significance')? (See guidance section: <https://www.brighton-hove.gov.uk/content/planning/heritage/heritage-statements-what-important-about-affected-heritage-assets>)

Use this space to describe the significance of the heritage asset(s) including their setting (and any below ground archaeology) identified in Section 3.

Please see the guidance notes on page 9 on what a heritage asset is and how to define significance.

(Please continue on a separate sheet of paper if further space is required and attach / include as an addendum to this Statement after Appendix 1.)

28 Bloomsbury Place is a four storey grade 2 listed building over a basement with a one window range and a rusticated ground floor and first floor full-width balcony.

The Front elevation 1st floor balcony railings are predominantly original apart from later inappropriate infills/spacer panels which are of a very simple design and are corroding requiring replacement. The proposal is to replace these corroding inappropriate infills with decorative spacer panels that match nr 29 Bloomsbury Place and would represent a significant improvement to the heritage asset in keeping with the original design intent.

The existing felt roof coverings to the front elevation 2nd floor bay window roof and the rear elevation first floor flat roof are an inappropriate fabric and the proposal is to replace these with code 5 lead providing a contemporary and longer lasting roofing fabric to protect the historic assets below.

6. How will the proposals impact on the significance of the heritage asset(s) including their setting? (See guidance section: <https://www.brighton-hove.gov.uk/content/planning/heritage/heritage-statements-how-will-proposals-impact-significance-heritage-assets>)

Please discuss what impact the proposals have on the heritage asset(s) i.e. loss or disturbance of historic building fabric, below or above ground archaeological impacts, setting or change of relationship between buildings and altering scale. **(Please continue on a separate sheet of paper if further space is required and attach / include as an addendum to this Statement after Appendix 1.)**

The alterations proposed will be enhancing the architectural appearance of the building by replacing inappropriate or non contemporary previous alterations of felt roofing and metalwork detailing. The enhancement will be the introduction of contemporary detailing and materials that would have been adopted in the original construction of the circa 1820 building fabric.

We believe the impact of the proposed works is minimal and that the proposed alteration serves to enhance the visual appearance of the heritage asset. We do not believe the works will cause harm to the historic character nor appearance of the listed building.

Similar works to other properties have also been previously approved.

7. How has the proposal been designed to conserve the significance of the heritage asset(s) including their setting? (See guidance section: <https://www.brighton-hove.gov.uk/content/planning/heritage/heritage-statements-how-has-proposal-been-designed-serve-significance>)

Describe how the proposal has been designed to conserve and enhance the significance of the heritage assets (including below ground archaeology). Also describe how any harmful impacts have been avoided or minimised. For example, use of raft foundations, movement of the proposed extension to a less sensitive location.

(Please continue on a separate sheet of paper if further space is required and attach / include as an addendum to this Statement after Appendix 1.)

The proposals will be using traditional materials installed by skilled craftspeople and the detailing will be traditional and contemporary with the Regency Architecture of the building. The replacement felt roofing will be installed using code 5 milled lead with laps and welts in accordance with LSA guidelines and Historic England Guidance notes. The leadwork will be let into the stucco without upstand flashings as per existing felt detail by using existing chases in the stucco and the downturn front edge detail will match that of the existing felt detail to form a circa 15mm welted drip. The replacement metalwork spacer/infill panels to the railings will be in traditional wrought iron to the same cross section as the existing decorative panels that are being retained. Rubbings will be taken from the adjacent building nr 29 Bloomsbury place to replicate the original detailing.

Contact details:

County Archaeology Team
County.archaeology@eastsussex.gov.uk

Historic Environment Record
County.HER@eastsussex.gov.uk

Historic England
www.historicengland.org.uk

Local Planning Authority

Brighton & Hove City Council: <http://www.brighton-hove.gov.uk/content/planning/heritage>

Appendix 1

<p>To be completed by the applicant – please tick the relevant box Please note one of these boxes must be ticked or your application will not be valid For further help contact County.HER@eastsussex.gov.uk</p>	
HER Consultation report attached	<input type="checkbox"/>
HER Consultation report not considered necessary as confirmed in attached email from HER	<input type="checkbox"/>
<p>HER Consultation report not relevant for reasons indicated by the Local Planning Authority. These reasons are:</p> <ul style="list-style-type: none"> - The site is not located in an Archaeological Notification Area and is not a major development - The site is located in an Archaeological Notification Area but no below ground works or demolition works are proposed - The application is for change of use 	<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>

28 Bloomsbury Place – installation of new lead coverings & railing restoration – SK01

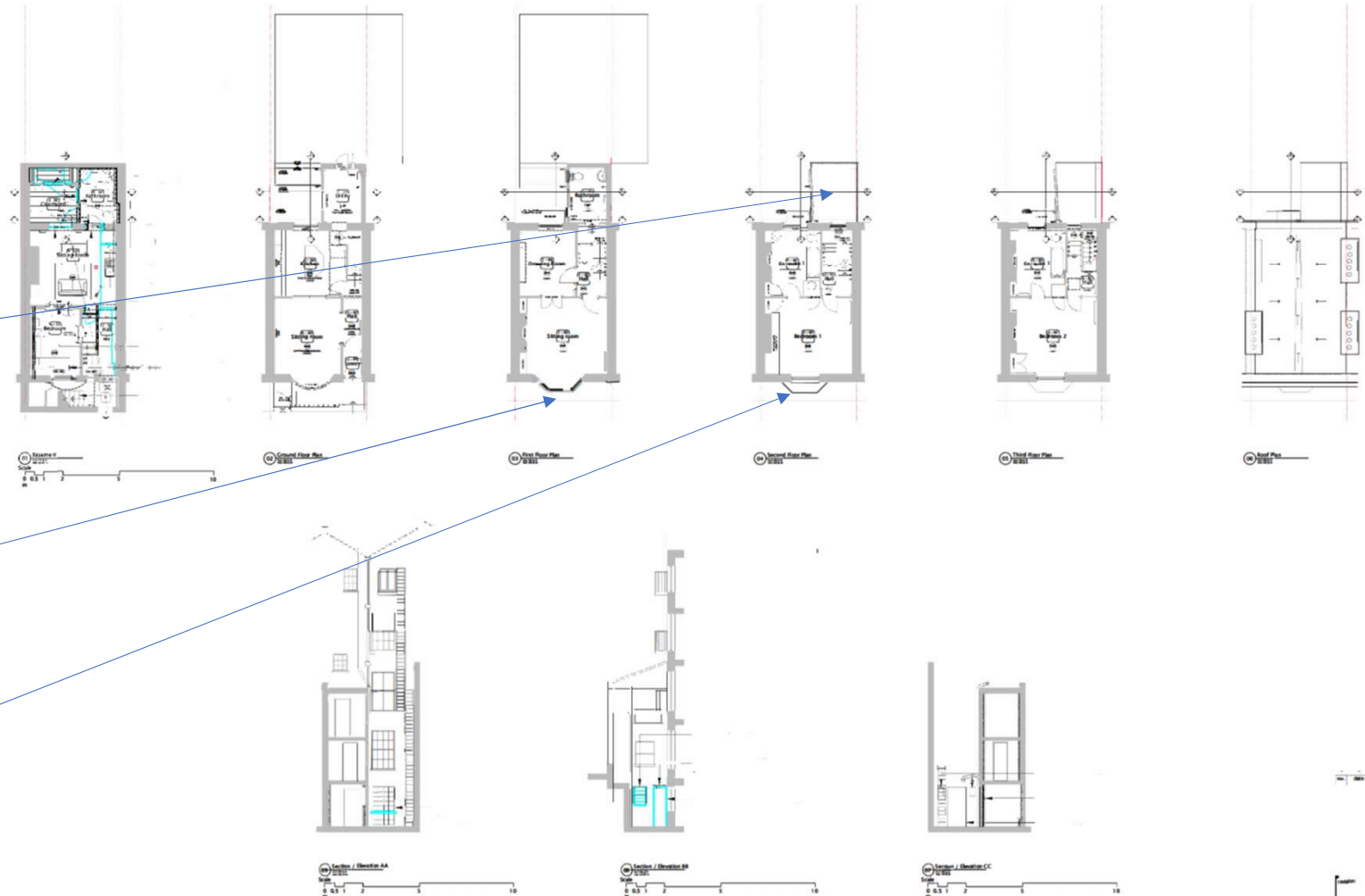
Notes

Ignore bluelines on basement plan – these are from an earlier LBC application

New code 5 milled lead roof coverings to rear elevation in accordance LDA guidelines and details as identified in green – replaces existing felt roof coverings. Flashings to match existing in code 4 milled lead.

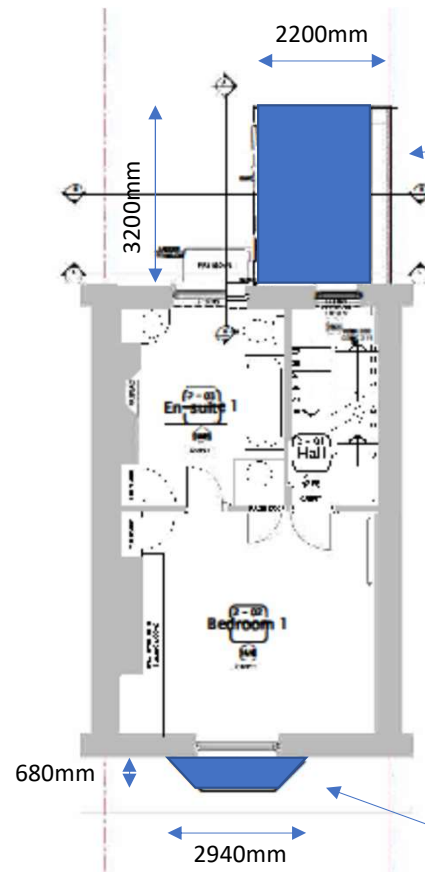
New wrought iron decorative infills to match number 29 Bloomsbury Place to replace heavily corroded inappropriately designed simple details – see attached marked up photo sheet

New code 5 milled lead roof coverings in accordance LDA guidelines and details to front elevation bay window as identified in green – replaces existing felt roof coverings.



Mr & Mrs ATWOOD	
28 Bloomsbury Place Kempston, Brighton Plans Existing Plans, Elevation & Sections	
Scale 1:100	Date 22.01.08
28BP/02	

28 Bloomsbury Place – installation of new lead coverings – SK02



04 Second Floor Plan

New code 5 milled lead flat roof to replace existing felt coverings installed in accordance with LDA specifications and details. Flashings to match existing dimensions. See SK03

New code 5 milled lead pitched roof to replace existing felt coverings installed in accordance with LDA specifications and details. Flashings to match existing dimensions. See SK04

28 Bloomsbury Place Rear elevation flat roof – installation of new lead coverings SK03



Replace existing felt roof coverings with code 5 milled lead



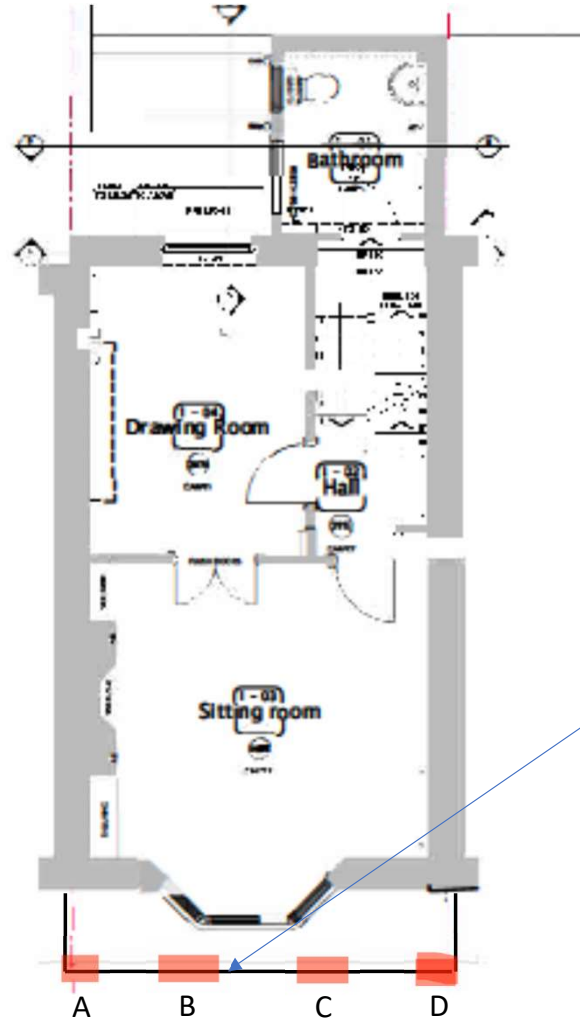
28 Bloomsbury Place Front elevation bay window— installation of new lead coverings SK04



Remove existing felt coverings and replace in code 5 milled lead matching existing dimensions of flashings and downturns.



28 Bloomsbury Place Second Floor Plan SK05



Location of decorative railings requiring replacement infill panels



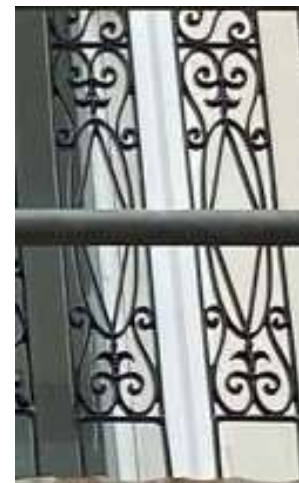
28 Bloomsbury Place Front elevation railings – Proposed installation of new decorative railing infills to match original SK06

Existing Elevation of decorative balcony to 28 Bloomsbury Place

Locations of proposed replacement decorative infill panels in wrought iron



28 Bloomsbury Place Front elevation railings – Proposed installation of new decorative railing infills to match original SK07



Proposed double and single infill panels to match nr 29 BP

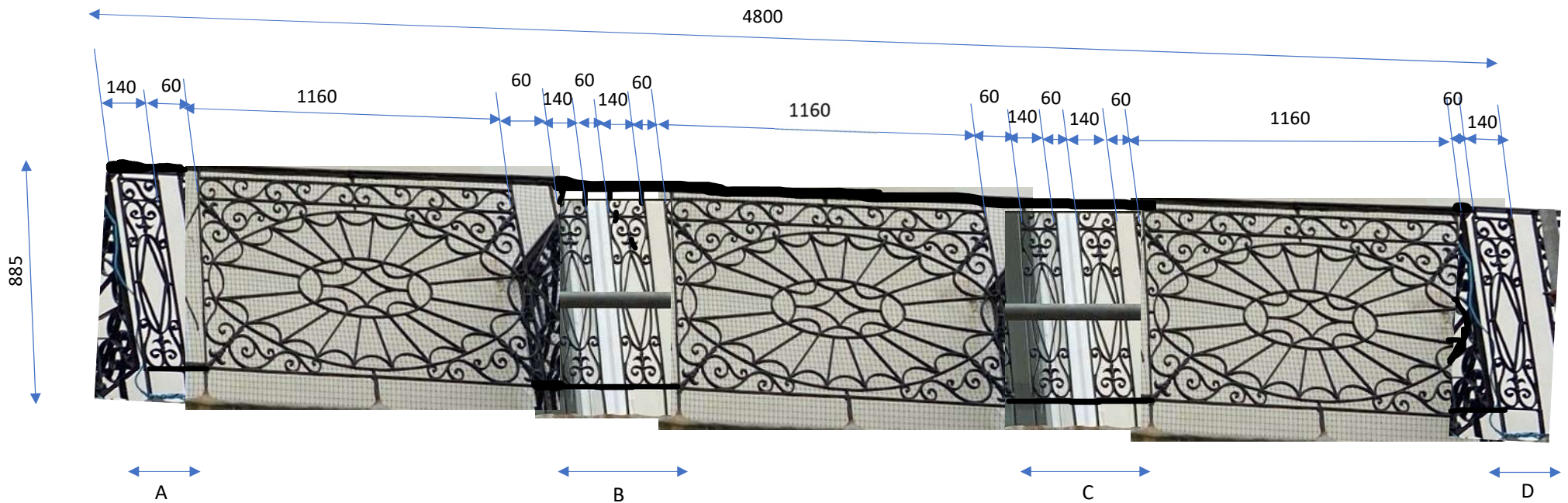


Existing inappropriate detail between larger decorative panels



28 Bloomsbury Place Front elevation railings – Proposed installation of new decorative railing infills to match original SK08

Approx Dimensions in mm



Notes

- 3nr decorative panels 1160*885 to be retained in position and redecorated.
- Entire top rail to be retained in position and refurbished and redecorated
- End return panels to be retained in position and redecorated
- Panels A, B, C, D to be replaced with new decorative infill panels to match nr 29 Bloomsbury Place.
- Note it is intended to retain the whole balcony railing in place, to carefully remove inappropriately detailed panels to A,B,C,D locations and new decorative infill panels as shown above to be installed by discreetly tapping into the existing panels – All by a Conservation Metalworker.

28 Bloomsbury Place Front elevation railings – Proposed installation of new decorative railing infills to match original SK09

Railings to Nr 29 Bloomsbury Place showing existing decorative infill panels from which details will be taken to match

