

PURCELL

HULL YORKSHIRE'S MARITIME CITY

DESIGN AND ACCESS STATEMENT

DOC PLANT DECK

June 2021

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Appendix A: Relevant Planning History

Appendix B: Existing Photos of Dock Office Chambers Courtyard

Appendix C: Previously approved plans under I9/00574/FULL (for reference use only)

1.0 INTRODUCTION

Dock Office Chambers is situated in the city centre off Queen Victoria Square, on New Cross Street. The front elevation of the offices looks onto New Cross Street, opposite which is the side elevation of the Hull Maritime Museum (listed Grade II*). As part of the wider Hull: Yorkshire's Maritime City project approval has been given to redevelop the Maritime Museum and relocate a number of its supporting functions, including collection storage and offices, to the adjacent Dock Office Chambers building.

Consent has previously been granted for the alterations to create a storage facility at Dock Office Chambers for the Hull Maritime Museum under application 19/00574/FULL. Also relevant to this proposal is the consent previously granted for redevelopment of adjacent Maritime Museum under applications 19/00572/FULL and 19/00573/LBC.

This design and access statement has been prepared in support of a planning application for the installation of a plant deck within the courtyard at Dock Office Chambers; needed to house machinery critical to providing a stable environment for the collections of the Maritime Museum.

2.0 SCOPE

As Part of the Hull: Yorkshire's Maritime City project Hull's Maritime Museum building will be redeveloped to provide a world class museum within the city. The project will see an increase in the range and scale of collections on public display. The objects within the museum, which includes one of the world's largest collection of scrimshaw, require a stable environment to secure their long-term survival.

To regulate the temperature and humidity within the spaces, a supply of hot water for heating and cold water for cooling is required. The hot water is proposed to be provided by gas fired low temperature hot water boilers located within the basement of the museum. It is proposed that the cold water be provided by an air cooled water chiller, which requires siting externally.

A feasibility study has been undertaken to establish the most appropriate location for the chiller, taking into account the requirement for external location. The Maritime Museum site has limited external space; an area on the central flat roof was discussed and disregarded due to the impact on sight lines from within the museum and on key views from around the city.

As part of the project, the Maritime Museum and Dock Office Chambers (DOC) are being combined under a common purpose, with Dock Office Chambers providing key support facilities for the Museum. As such it was identified that the smaller DOC building could provide a suitable location for this supporting plant. The rear courtyard of the DOC is screened from public view by surrounding buildings. The current space is utilitarian, featuring a variety of ancillary structures including the existing DOC plant room. Views into the courtyard are limited to those from a small number of windows from adjacent buildings and from storage areas within the DOC building itself.

Impact of noise from the chiller unit has been considered in relation to the adjacent buildings and an acoustic enclosure has been proposed to reduce the acoustic impact of the unit (refer to acoustic report accompanying this application). The enclosure will be constructed of steel featuring external weather louvres. It will be polyester powder coated grey to match the surrounding roofscape (exact RAL TBC). It will sit on a steel access deck within the courtyard, elevated to allow delivery vehicles to pass beneath.

3.0 DESIGN PROPOSALS

3.1 USE

There is no proposed change of use to Dock Office Chambers above that previously approved.

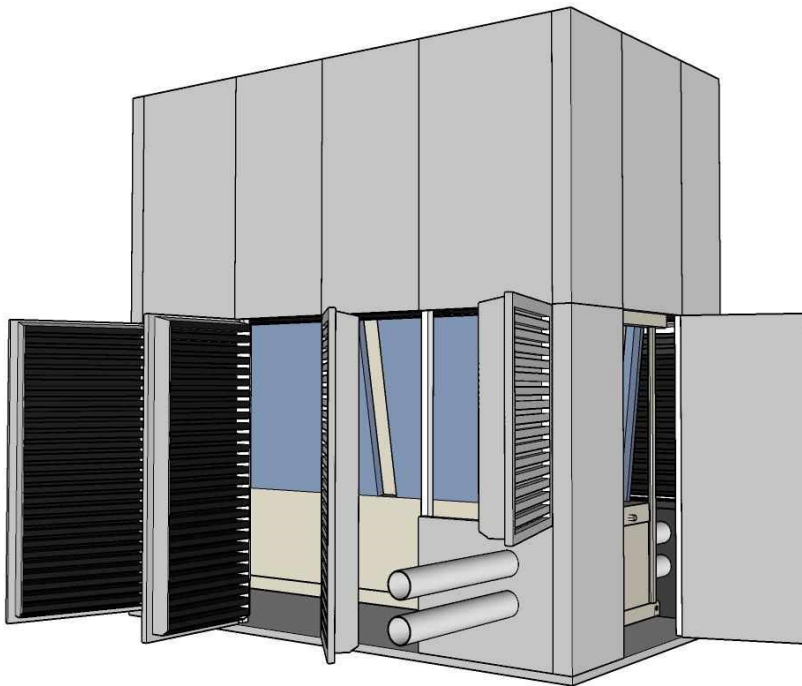
3.2 LANDSCAPING

Landscaping remains unaffected by the proposals

3.3 APPEARANCE

The appearance of the Dock Office Chambers building will remain unchanged from the city. The views affected by the proposal are limited to those from a small number of windows from the adjacent buildings as well as from storage rooms within DOC. Pipework between the two buildings will be routed underground, only being visible when it emerges beneath the deck.

The enclosure will be constructed of powder coated steel featuring external weather louvres. It will be coloured grey to match with the existing materials which surround it, namely slate, lead and asphalt roofs. Elevated on a steel deck it will not be visible from windows on the ground floor but will not project high enough to be visible from beyond the courtyard.



Proposed Chiller unit visual

3.4 AMOUNT

The proposal has been limited to the minimum area required for the unit and for maintenance. The proposed area of the new deck is 18.35 sqm. The dimensions of the enclosure are 4000mm L x 1800mm W x 3810mm H.

3.5 LAYOUT

The internal layout of the building remains unaffected by proposals. The new plant deck is accessed from a ladder to the north and from an existing access deck. The chiller unit itself is central to the deck, set back from the surrounding external walls.

3.6 SCALE

The scale of proposal is believed to be appropriate to the scale of the building, it sits beneath the existing roofline, within a private area.

4.0 ACCESS

The proposal does not affect access to the building. The new plant deck is elevated above the courtyard to allow pedestrian and vehicular access to the DOC building. The deck itself will only be accessed by trained personal for maintenance. Entry is gained via a steel ladder to the North or from the existing steel deck to the East.

5.0 CONCLUSION

The proposal to install a plant deck and chiller unit within the private external courtyard of Dock Office Chambers can be justified by the support services it provides to the Maritime Museum. Under previous proposals the museum will increase the visitor offer of the city and improve access to the collections by the public. The chiller unit is required to safeguard and preserve the condition of the historically significant artefacts which are to be put on display.

A feasibility exercise was undertaken identifying possible locations for the chiller unit and it is believed that the proposal put forward is the most appropriate solution. Under proposals the chiller has no impact on the perception of the HMM or DOC by the public, only being visible from the windows of back of house areas of surrounding businesses. Acoustic impact has been mitigated through the use of an acoustic enclosure which in turn will also reduce the visual impact of the unit.

APPENDICES: RELEVANT PLANNING HISTORY

Current:

21/00766/CONDET Discharge of Conditions 3, 6 and 7 and approval of 19/00572 FUL

20/00089/CONDET Discharge of Conditions for 19/00573/LBC

20/0052/LBC Listed Building Consent Application External alterations to Hull Maritime Museum

20/0051/FULL Planning Application External alterations to Hull Maritime Museum

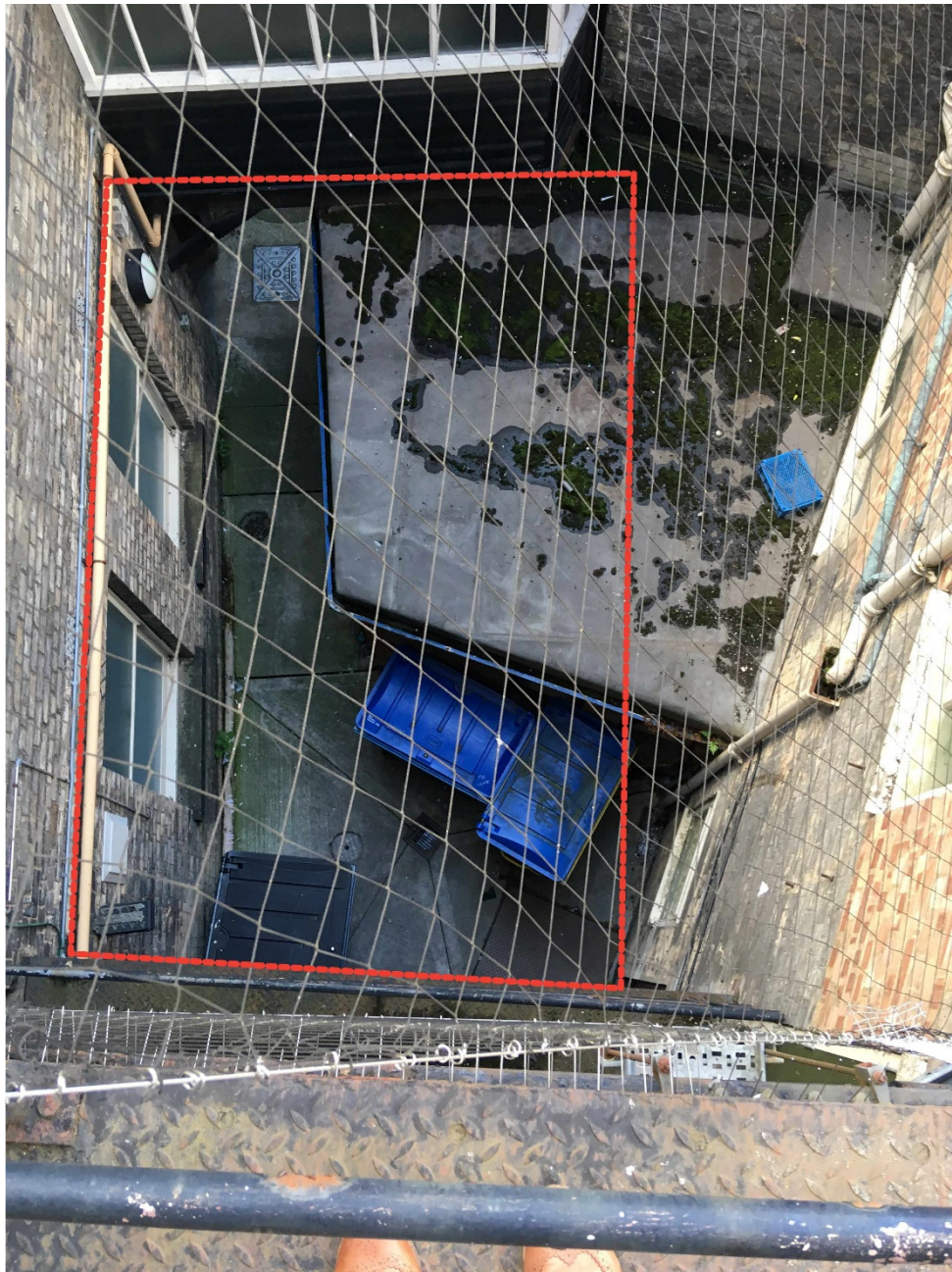
Decided:

19/00574/FULL Planning and Change of Use application for alternations to Dock Office Chambers

19/00572/FULL Planning Application for Refurbishment works to Hull Maritime Museum

19/00573/LBC Listed Building Consent Application for Refurbishment works to Hull Maritime Museum

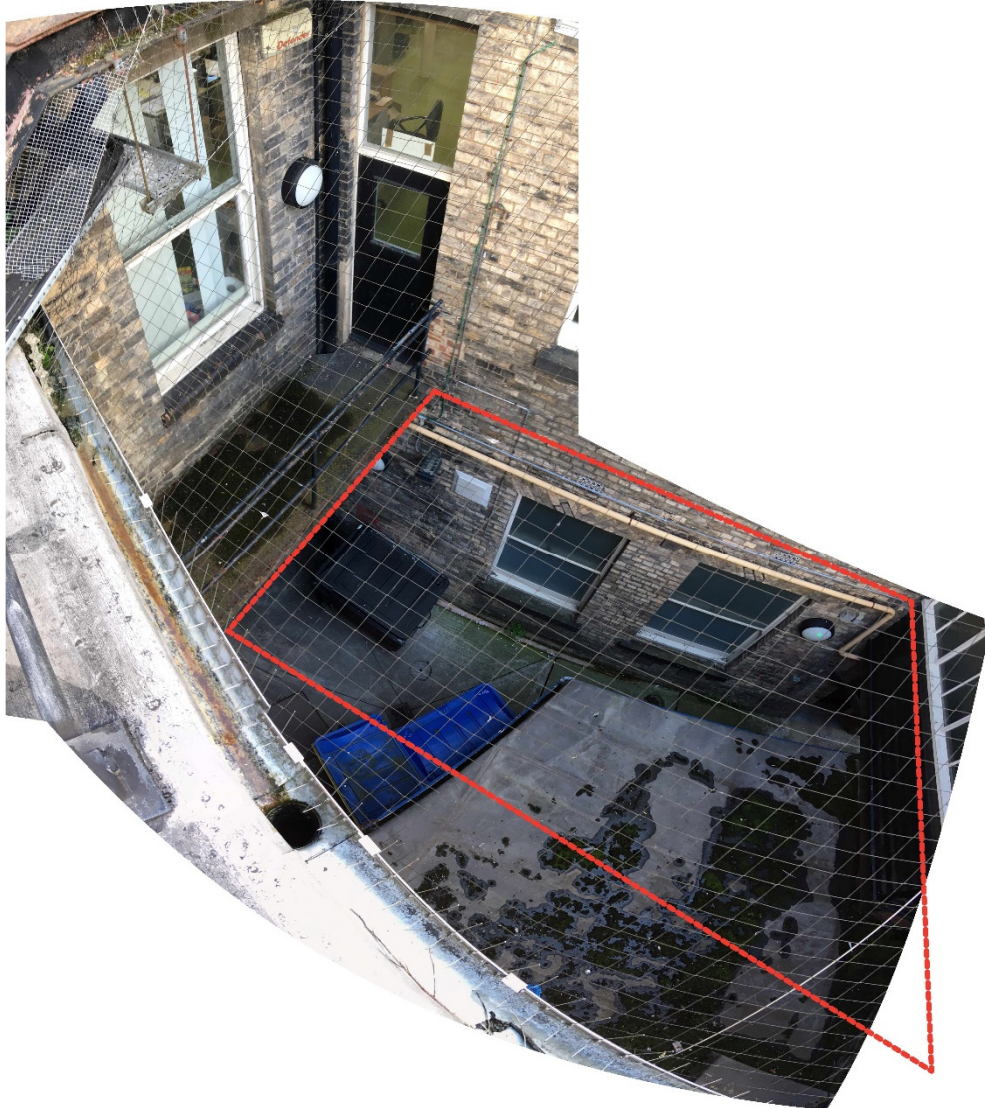
APPENDICES: EXISTING PHOTOS OF DOCK OFFICE CHAMBERS COURTYARD



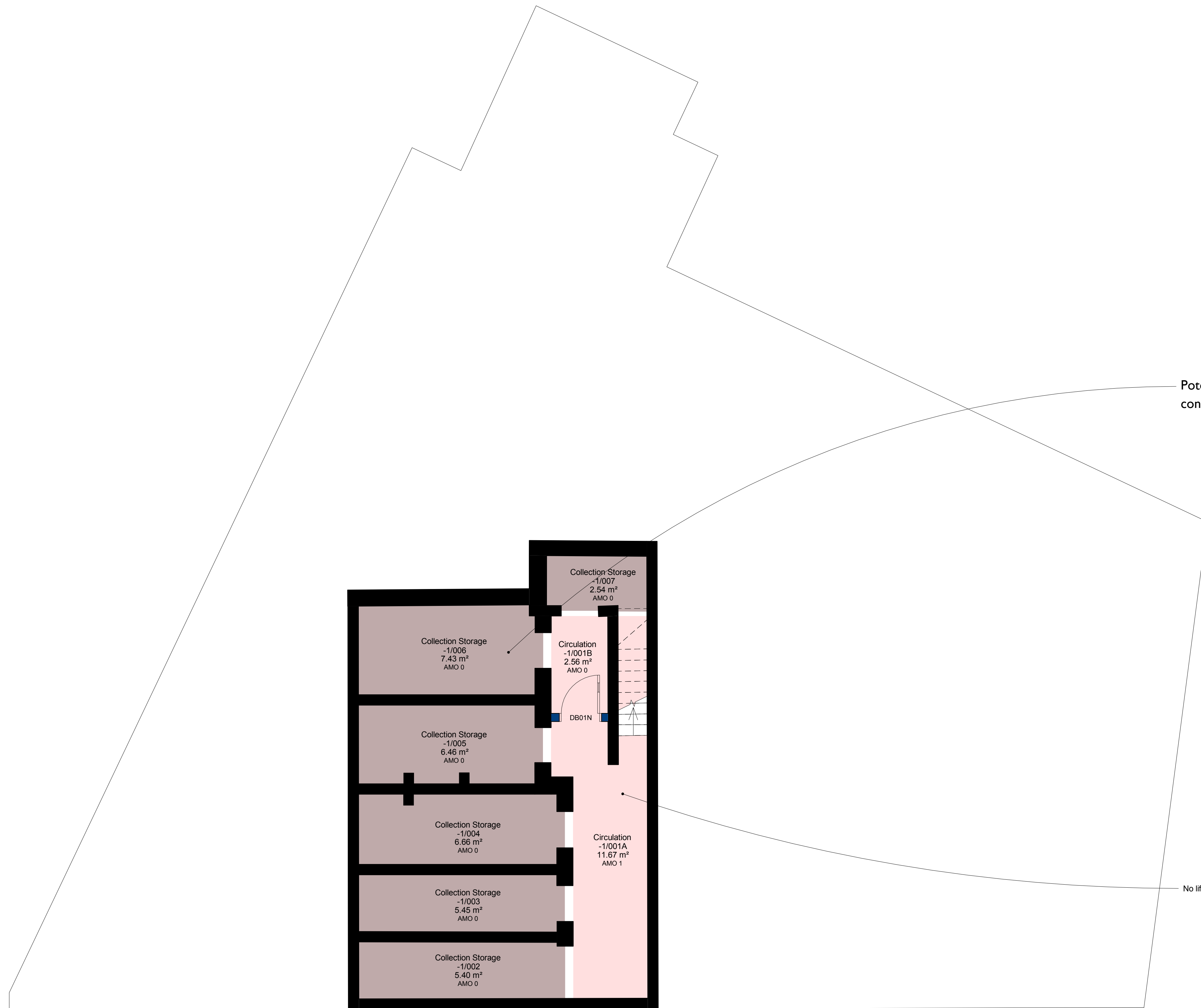
Looking down on courtyard from the East as existing with the extent of plant deck marked in red (single storey building to be demolished under previous proposals)



View of the Courtyard from roof of adjacent building (to North East of courtyard). Top of proposed plant denoted in red



*View of the Courtyard from roof of adjacent building (North West corner of courtyard)
Extent of proposed plant denoted in red. (single storey building to be demolished under
previous proposals)*



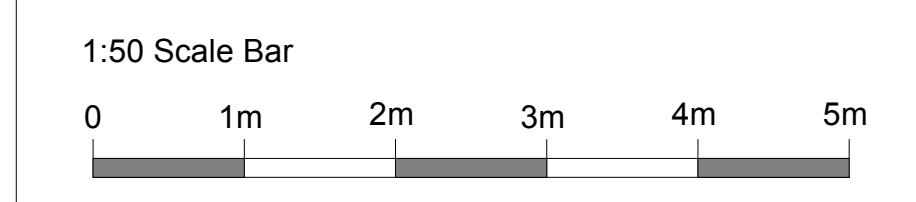
Notes:
 Drawings are based on survey data and may not accurately represent what is physically present.
 Do not scale from this drawing. All dimensions are to be verified on site before proceeding with the work.
 All dimensions are in millimeters unless noted otherwise.
 Purcell shall be notified in writing of any discrepancies.

Key AMO: Assumed Maximum Occupancy
 Circulation
 Collection Storage

NB: Generic storage units shown. Study/ meeting required with client needed to determine storage requirements.

Potential ammunition store with security controlled access.

No lift/disabled access to basement as no means of escape.



HYMC-PUR-02-BI-DR-A-2010_S4_P08

P08	03/05/2019	JB	AD	Planning
P07	04/04/2019	MP	CP	Room Area Computation Method Changed
P06	26/03/2019	JB	CP	Issued for Co-ordination
P05	05/03/2019	JB	CP	Issued for Information
P04	15/02/2019	MP	CP	Issued for Client Review
-	01/15/19	Author	Checker	

ISSUE	DATE	DRAWN	CHECKED	DESCRIPTION
CLIENT				Hull City Council
PROJECT				Hull Yorkshire's Maritime City
DRAWING TITLE				DOC - Basement Floor Plan as Proposed
SIZE & SCALE				[A1] 1 : 50

DRAWING STATUS Issued for Planning

JOB NUMBER 239058
DRAWING NO. A-2010
REVISION P08
 PRINTED: 03/05/2019 15:34:39

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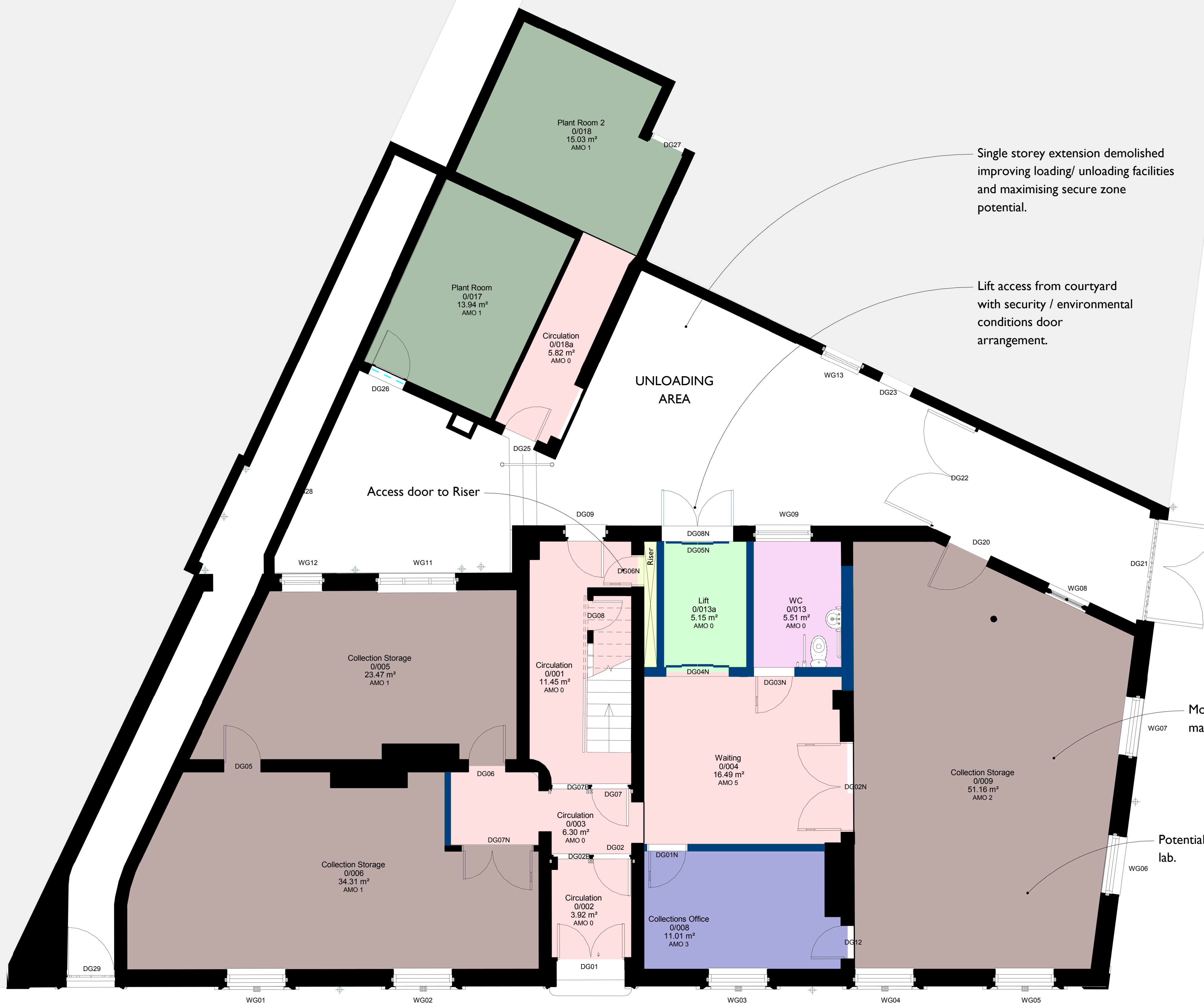


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Key AMO: Assumed Maximum Occupancy

- Circulation
- Collection Storage
- Lift
- Plant
- Services
- Staff
- WC

NB: Generic storage units shown. Study/ meeting required with client needed to determine storage requirements.

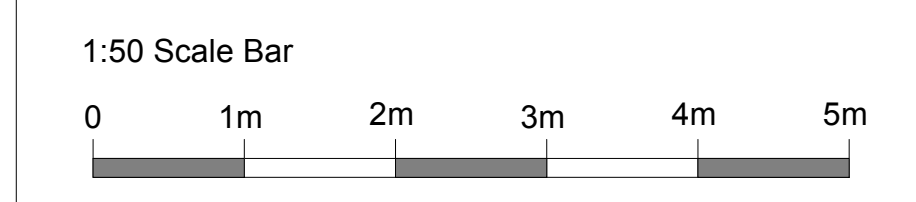


Single storey extension demolished improving loading/ unloading facilities and maximising secure zone potential.

Lift access from courtyard with security / environmental conditions door arrangement.

Modern internal partitions removed to maximise floor area and flexible use.

Potential to reallocate as quarantine & lab.



HYMC-PUR-02-GF-DR-A-2011_S4_P09

P09	03/05/2019	JB	AD	Planning
P08	26/04/2019	JB	CP	Internal fit out removed
P07	04/04/2019	MP	CP	Room Area Computation Method Changed
P06	26/03/2019	JB	CP	Issued for Co-ordination
P05	05/03/2019	JB	CP	Issued for Information
-	01/14/19	Author	Checker	

ISSUE	DATE	DRAWN	CHECKED	DESCRIPTION
CLIENT				Hull City Council
PROJECT				Hull Yorkshire's Maritime City
DRAWING TITLE				DOC - Ground Floor Plan as Proposed
SIZE & SCALE				[A1] 1 : 50
DRAWING STATUS				Issued for Planning

JOB NUMBER 239058

DRAWING NO. A-2011

REVISION P09
 PRINTED: 03/05/2019 15:34:47

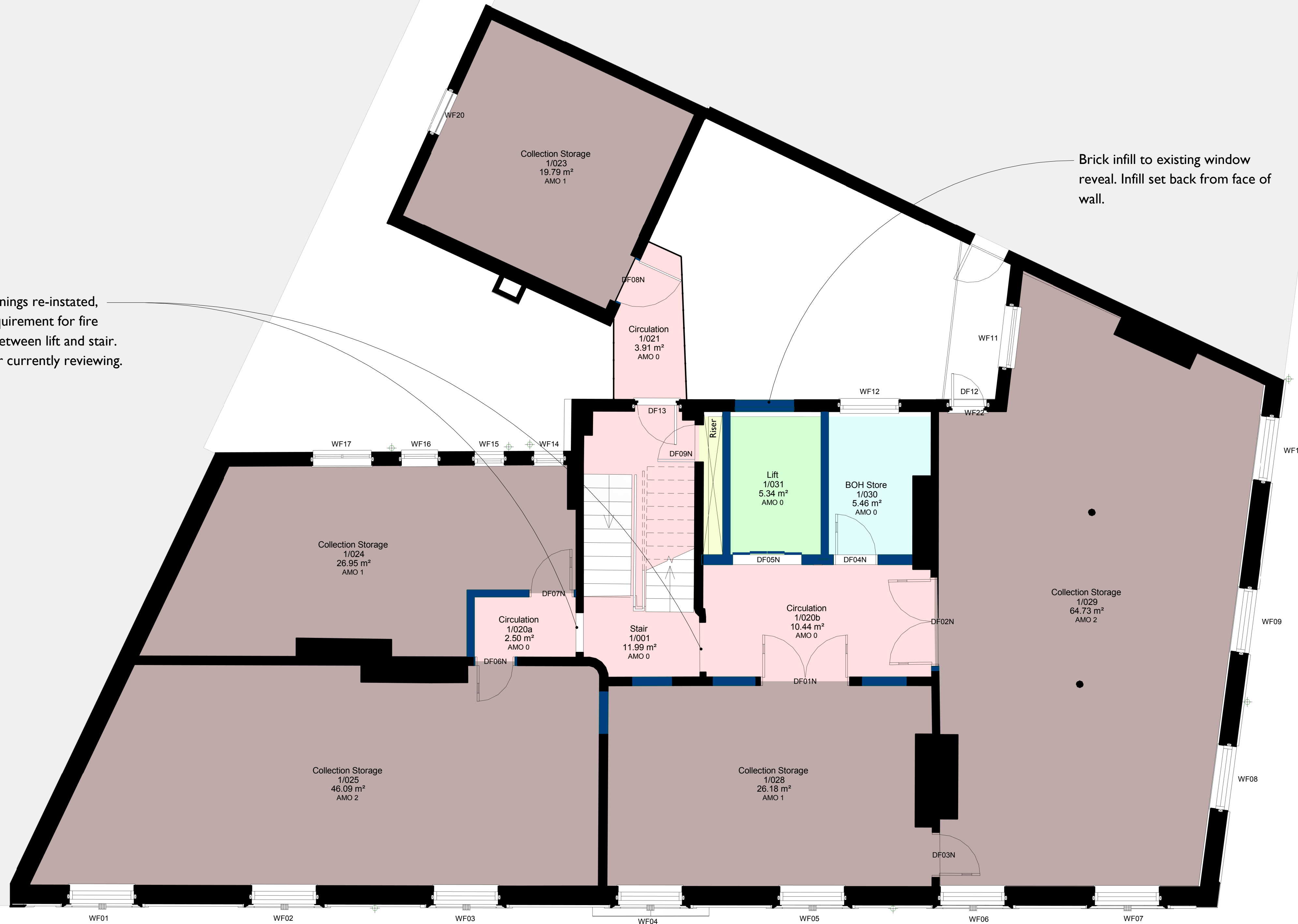
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1 Ground Floor Plan as Proposed
 2011 | 1 : 50



Arched Openings re-instated,
potential requirement for fire
seperation between lift and stair.
Fire Engineer currently reviewing.

Brick infill to existing window
reveal. Infill set back from face of
wall.



Notes:

Drawings are based on survey data and may not accurately represent what is physically present.

Do not scale from this drawing. All dimensions are to be verified on site before proceeding with the work.

All dimensions are in millimeters unless noted otherwise.

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Key AMO: Assumed Maximum Occupancy

- Back of House Store
- Circulation
- Collection Storage
- Lift
- Services

NB: Generic storage units shown. Study/ meeting required with client needed to determine storage requirements.

1:50 Scale Bar



HYMC-PUR-02-01-DR-A-2012_S4_P09

P09	03/05/2019	JB	AD	Planning
P08	26/04/2019	JB	CP	Internal fit out removed
P07	04/04/2019	MP	CP	Room Area Computation Method Changed
P06	26/03/2019	JB	CP	Issued for Co-ordination
P05	05/03/2019	JB	CP	Issued for Information
-	01/15/19	Author	Checker	

ISSUE	DATE	DRAWN	CHECKED	DESCRIPTION
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CLIENT Hull City Council

PROJECT Hull Yorkshire's Maritime City

DRAWING TITLE DOC - First Floor Plan as Proposed

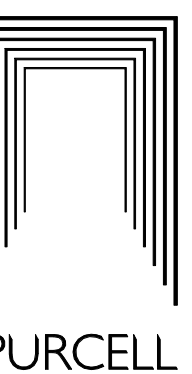
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DRAWING STATUS Issued for Planning

JOB NUMBER 239058

DRAWING NO. A-2012

REVISION P09
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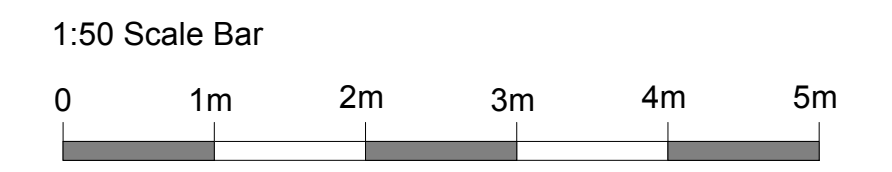
Notes:
 Drawings are based on survey data and may not accurately represent what is physically present.
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Key AMO: Assumed Maximum Occupancy

- Back of House Store
- Circulation
- Collection Storage
- Lift
- Staff
- WC

NB: Generic storage units shown. Study/ meeting required with client needed to determine storage requirements.

Brick infill to existing window reveal. Infill set back from face of wall.



HYMC-PUR-02-02-DR-A-2013_S4_P09

P09	03/05/2019	JB	AD	Planning
P08	26/04/2019	JB	CP	Internal fit out removed
P07	04/04/2019	MP	CP	Room Area Computation Method Changed
P06	26/03/2019	JB	CP	Issued for Co-ordination
P05	05/03/2019	JB	CP	Issued for Information
-	01/14/19	Author	Checker	

ISSUE	DATE	DRAWN	CHECKED	DESCRIPTION
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CLIENT Hull City Council

PROJECT Hull Yorkshire's Maritime City

DRAWING TITLE DOC - Second Floor Plan as Proposed

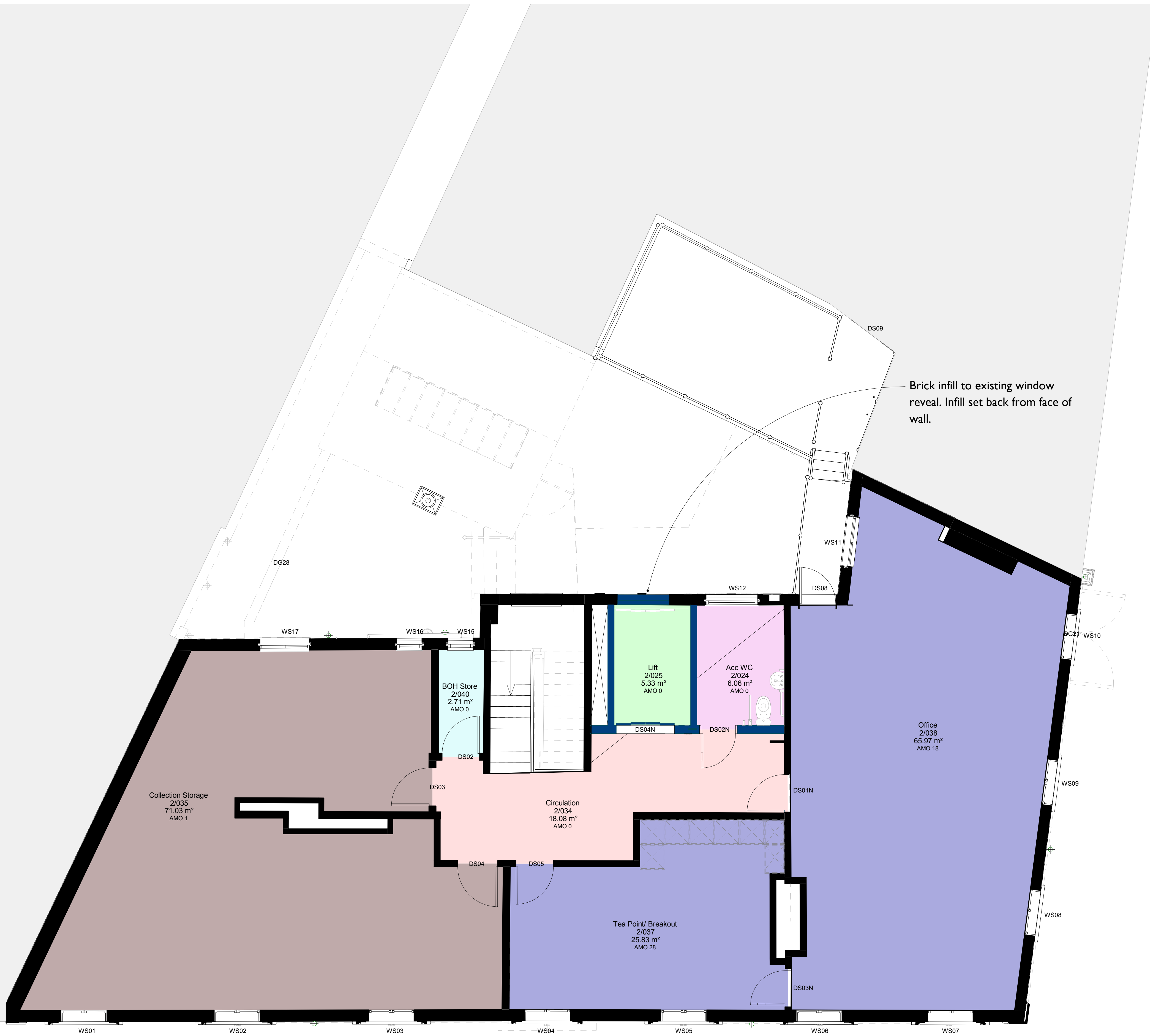
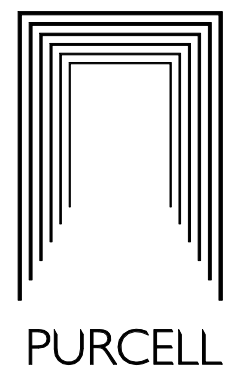
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DRAWING STATUS Issued for Planning

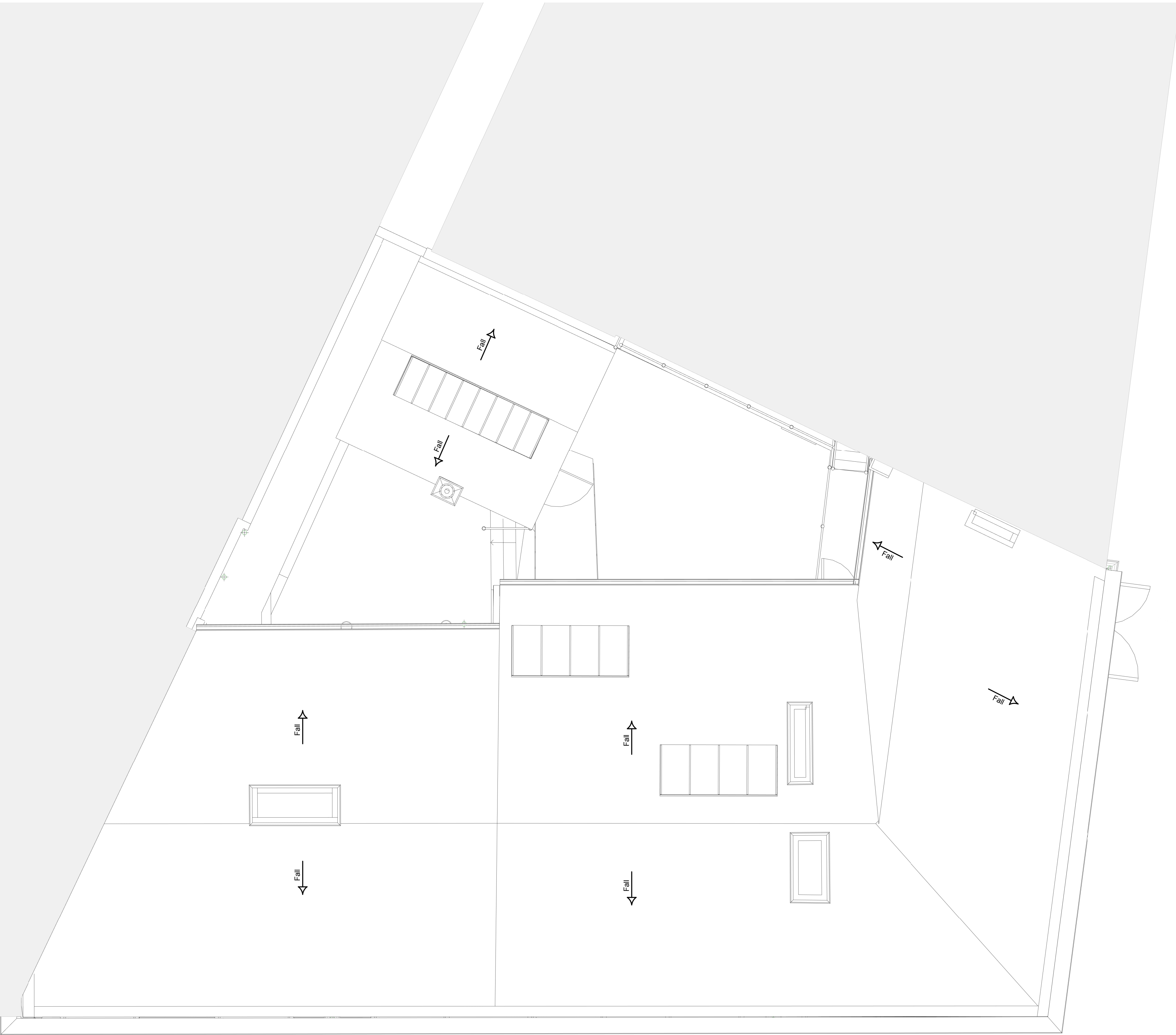
JOB NUMBER 239058

DRAWING NO. A-2013

REVISION P09
 PRINTED: 03/05/2019 15:35:02



2013 Second Floor Plan as Proposed
 1 : 50



Notes:

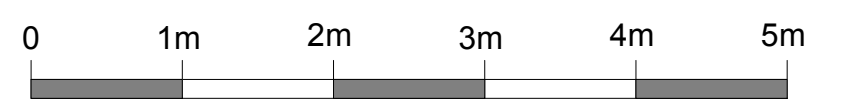
Drawings are based on survey data and may not accurately represent what is physically present.

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1:50 Scale Bar



HYMC-PUR-02-RF-DR-A-2014_S4_P05

P05	03/05/2019	JB	AD	Planning
P04	04/04/2019	MP	CP	Room Area Computation Method Changed
P03	26/03/2019	JB	CP	Issued for Co-ordination
P02	15/02/2019	MP	CP	Issued for Client Review
P01	01/02/2019	MP	CP	First Issue
-	02/01/19	Author	Checker	

ISSUE	DATE	DRAWN	CHECKED	DESCRIPTION
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CLIENT Hull City Council

PROJECT Hull Yorkshire's Maritime City

DRAWING TITLE DOC - Roof Plan as Proposed

SIZE & SCALE [A1] 1 : 50

DRAWING STATUS Issued for Planning

JOB NUMBER 239058

DRAWING NO. A-2014

REVISION P05
PRINTED: 03/05/2019 15:35:14

