

3.0 Design Development

Design Rationale

The following section includes a series of concept diagrams to illustrate the sequence of design rationale which has informed the development of the proposals. The design concept has been informed by both the client requirements for a high-quality development, a need to restore the heritage assets which make up the bulk of the development, whilst regenerating an important town centre site.

The response also seeks to ensure that additions to the Post Office complex, are sympathetic to the existing architecture and character of the heritage buildings and are well-considered additions to the existing built form, positively contributing to their overall character.

The design proposal involves the demolition of some sections of the existing buildings on the site, which have fallen into disrepair. These demolitions have previous approval by virtue of the previous planning applications. This will allow the consolidation of the existing buildings into a single development via the newly built connection, with the retention of most of the existing built fabric.

The design rationale can thus be divided into three key approaches – Removal and replacement, concerned with the required demolitions and features requiring replacement, Enhancement and Connection, concerning the enhancements and additions being proposed to form a high quality and coherent scheme which satisfies the brief, and Retention and Restoration, concerned with the retained and restored elements of the heritage assets.

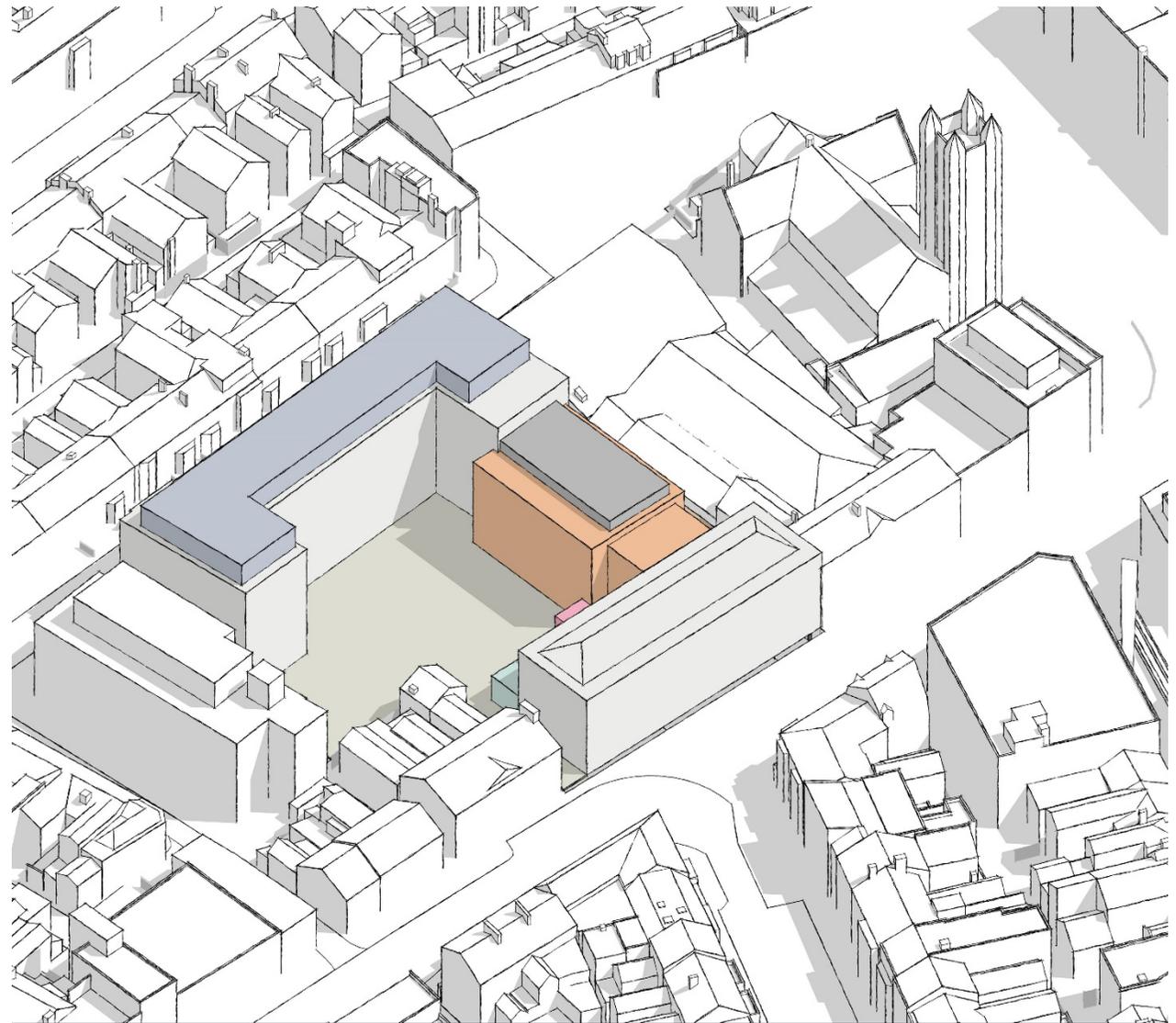


Figure 3.01 – Design Development Sketches

Built Form – Removal and Replacement

The proposals include several interventions within the existing built fabric where removal and replacement are required, either due to dilapidation of existing fabric or the requirement to ensure that the fabric of the proposed hotel is fit for purpose. It is proposed that the Post Office Building will include a refurbished roof, to match the existing in form and external materials, whilst upgrading its specification to ensure its long-term viability. The existing rear single storey extension will be removed, alongside the multi storey stair core, both later editions to the fabric of the original post office building which are inappropriate for integration into the proposed development, facilitating the space for the connection between the Post Office and Sorting Office.

The Sorting Office will also require the removal of its top storey, primarily a later addition to the Edwardian building and in a state of relative disrepair. This will facilitate the introduction of a more appropriate and sympathetic upper storey which will provide further quality accommodation for the hotel. Several remnants of additional structures in the courtyard adjacent the Sorting Office, which are neither integral to nor sympathetic to the overall character of the building, will also be removed to facilitate the new build connection. For further details on the proposed demolitions, please consult the planning drawings.

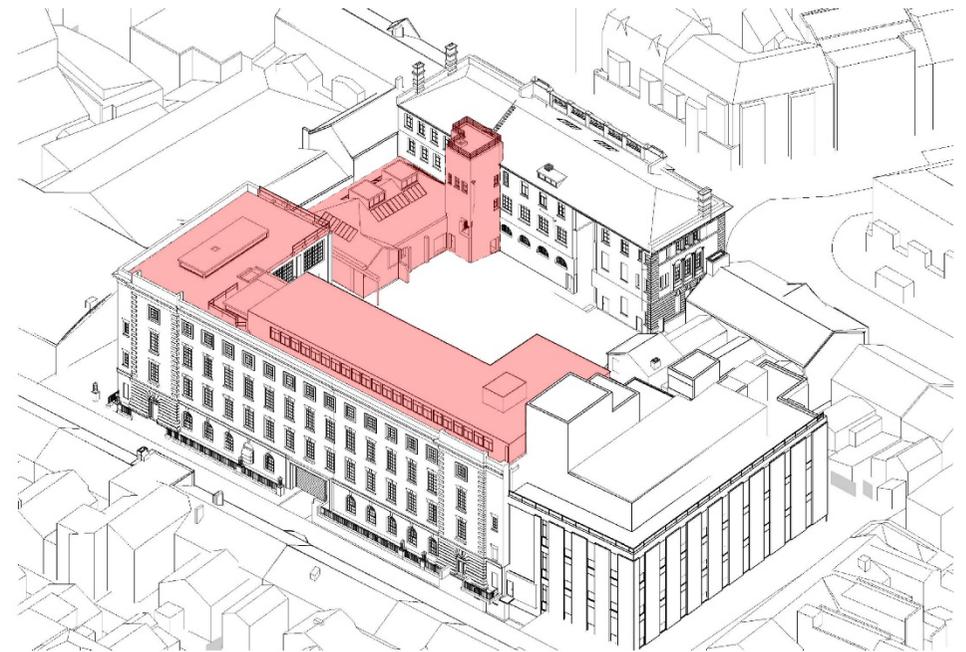
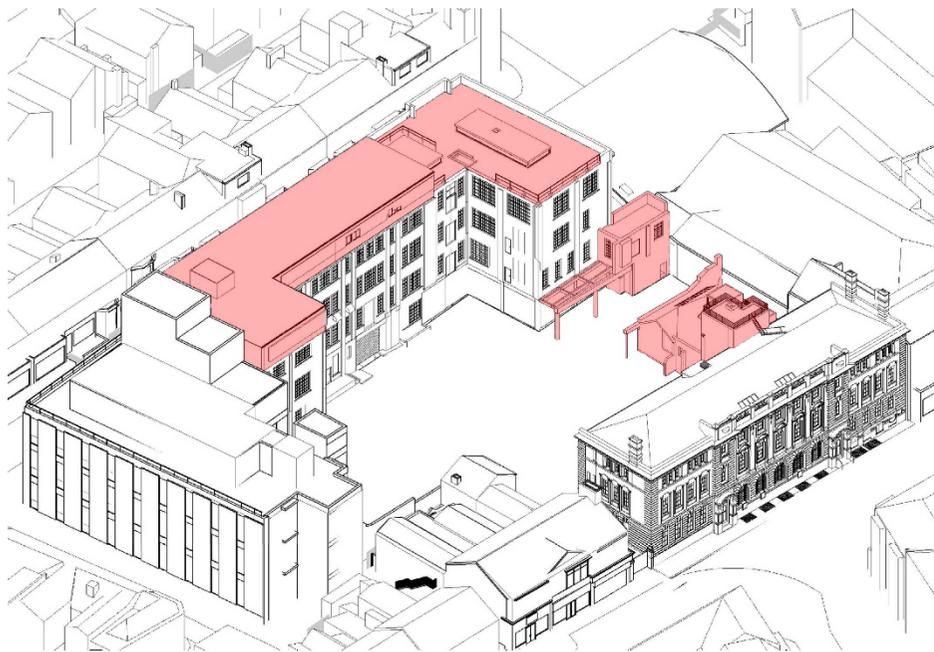


Figure 3.02 – Axonometric Views highlighting proposed Demolition

The adjacent elevations highlight the key elements of the courtyard façades where demolition of existing fabric or replacement is proposed.

These diagrams are not exhaustive and are for indicative purposes. Please see the planning drawings for further details.

Key

- (A)** Roof, refurbished
- (B)** Existing Roof light removed.
- (C)** Existing Stair Core & Extension removed.
- (D)** Windows removed where conflicting with proposals.
- (E)** Doors removed where conflicting with proposals.
- (F)** Existing Fourth floor removed.
- (G)** Existing drainage and extract plant removed.
- (H)** Windows removed where conflicting with proposals.
- (I)** Existing external structures removed.
- (J)** Existing doors removed.

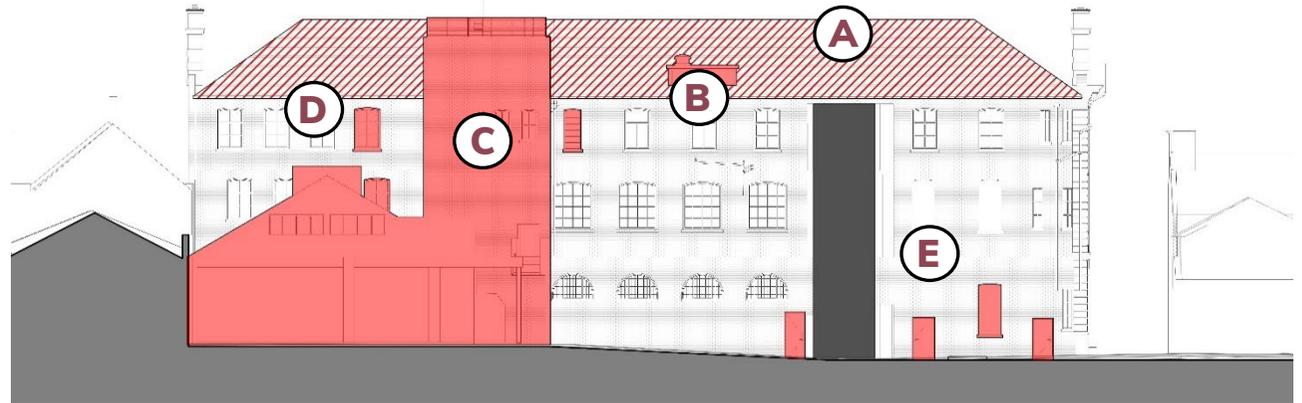


Figure 3.03 – Proposed Demolition, Courtyard Façade, Post Office

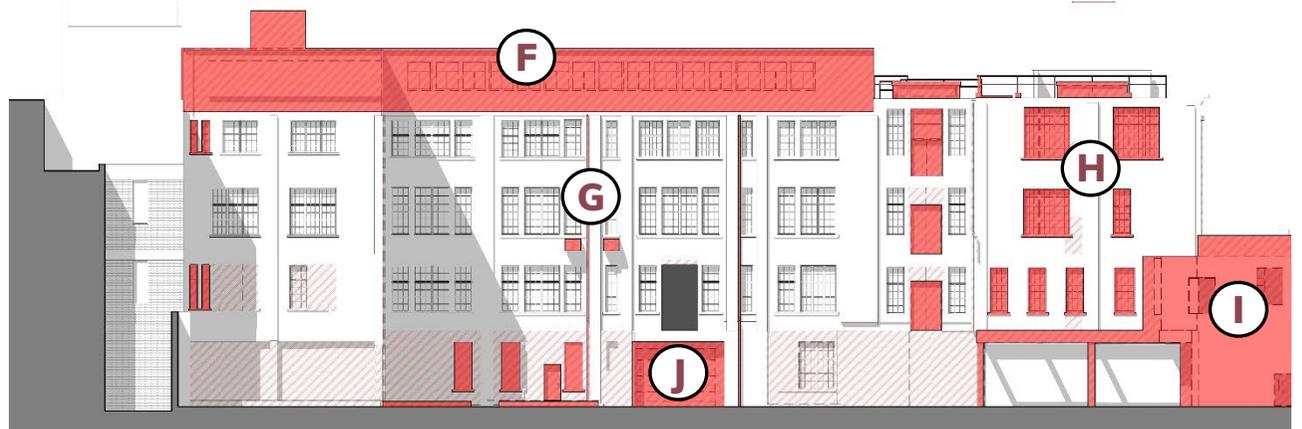


Figure 3.03 – Proposed Demolition, Courtyard Façade, Sorting Office

Built Form – Enhancement and Connection

The proposals include several areas of enhancement to the existing fabric of the current buildings on the site as well as a proposed new build connection between the Post Office Building and the Sorting Office, allowing for the development of a fully integrated hotel scheme. An appropriately scaled and sited connection is proposed to the southern edge of the site, inclusive of guest room accommodation at the upper levels and amenity and servicing at the ground floor level. Circulation is included to allow for seamless movement between the Post and Sorting office buildings. The new linking block assists in creating a sense of enclosure to the inner courtyard, which will be enhanced to include space for external amenity, landscaping, and guest parking, offering the potential for an attractive and multi-functional external space. The rear façade of the Post office will also include a proposed new stair core, which will provide

vertical circulation from the ground floor through to the guest room levels above, and a toilet block, which will serve the front of house restaurant and bar, enhancing amenity for users. The stair core will be appropriately sited on the existing area of façade to the Post Office which has seen prior demolition and is in its current state open to the elements, whilst the toilet block is appropriately scaled and sited to enhance enclosure to the courtyard. The primary enhancement to the Sorting Office is on the Fourth Floor, where further guestroom accommodation is proposed in a considerably scaled addition, recessed on Edward Street to remain recessive to the existing building – and including a space on the southern wing for an open terrace, providing further external amenity for guests with views across Blackpool towards Blackpool Tower and the sea beyond.

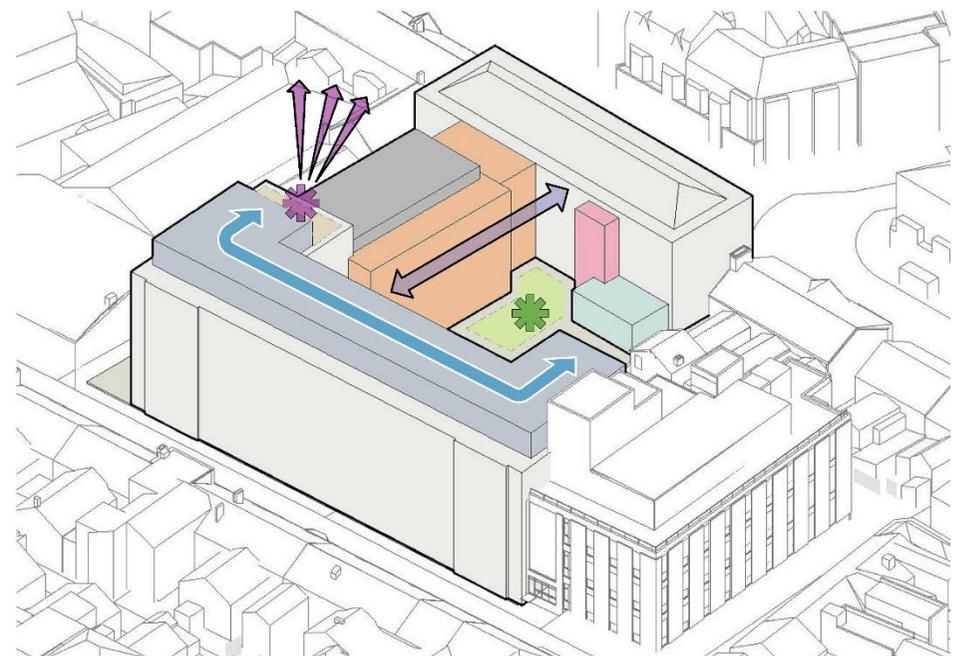
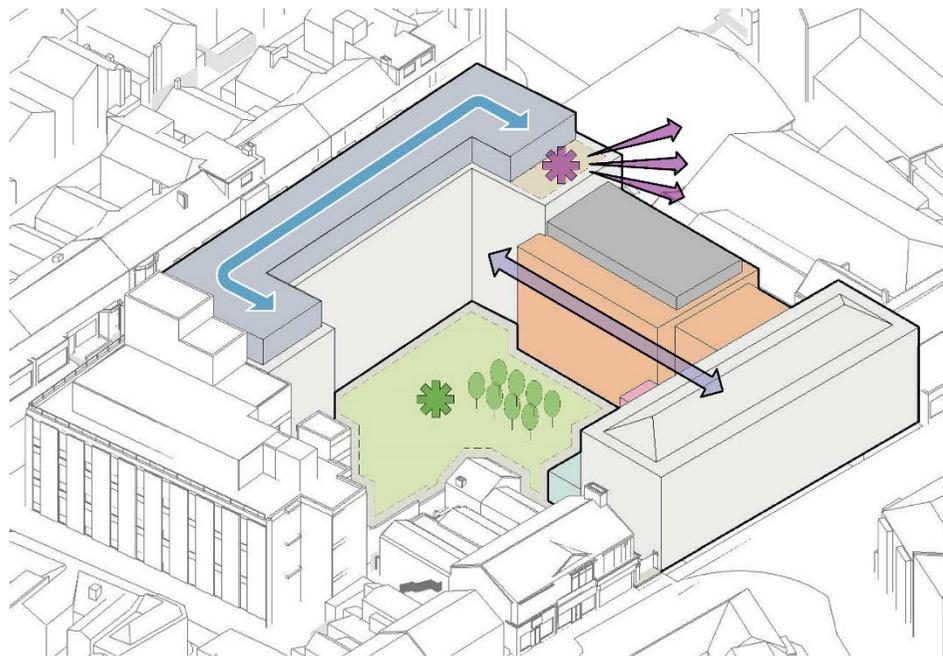


Figure 3.04 – Design Development Sketches – Enhancement and Connection

The adjacent elevations highlight the key elements of the courtyard facades where additions and enhancements are proposed.

The elevations highlight the proposed connecting block between the existing buildings, as well as the proposed new stair core and toilet block, and new fourth floor to the Sorting Office. Also highlighted is the refurbished roof to the Post Office, to match the existing in appearance, as well as proposed fenestration to enhance the visual coherence of the façades, and lastly, adjustment to the façade of the Sorting Office, particularly at Ground level and parapet level. The introduction of appropriate fenestration, a clear rusticated 'base' referencing the existing architecture, and the levelling of the parapet to a consistent and appropriate scale, assist in creating a more coherent 'tripartite' appearance utilising the existing intermediate piers, without replacing an excessive amount of existing fabric.

These diagrams are not exhaustive and are for indicative purposes. Please see the planning drawings for further details.

Key

- | | |
|---------------------------------|-------------------------------|
| (A) New Connecting Block | (F) New Fourth Floor |
| (B) New Roof | (G) New Fenestration |
| (C) New Stair core | (H) Façade redesigned |
| (D) New Toilet Block | (I) Parapet redesigned |
| (E) New Fenestration | |

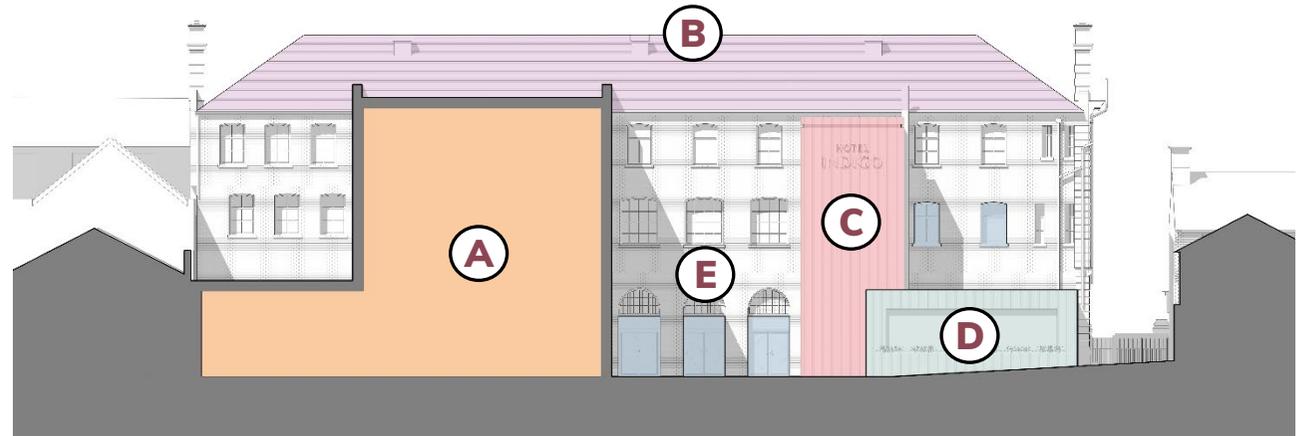


Figure 3.05 – Proposed Alterations & Additions, Courtyard Façade, Post Office

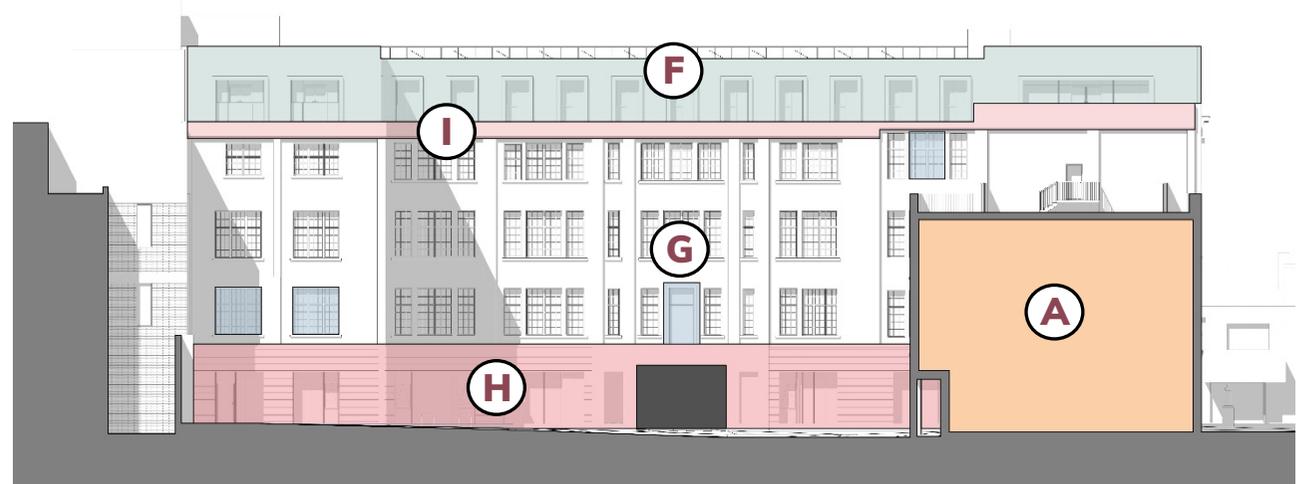


Figure 3.06 – Proposed Alterations & Additions, Courtyard Façade, Sorting Office

Built Form – Retention and Restoration

The proposed development of the Hotel will include the retention and restoration of much of the historic fabric of the Post Office and Sorting Office, particularly regarding the street facing frontages, ensuring their viability for the future whilst guaranteeing that the historical fabric and detail features are appropriately restored.

Regarding the Abingdon Street façade to the Post Office, the proposed works will include the restoration, and, where appropriate, replacement of all retained windows and frames, the refurbishing of the primary entrance doors, restoration of stone cladding and detail elements, and the repair and where appropriate replacement of weatherproofing such as lead flashings and drainage elements. The Edward Street façade to the Sorting Office will be restored under much the same

circumstances, with the renovation of existing windows and doors, with replacement of fenestration where appropriate, repair of stone elements and brickwork, and repointing where necessary, and the repair of existing weather proofing and drainage. Further restoration will be carried out on the existing ironmongery and historic lighting fixtures to the external railings. Appropriately designed and positioned brand signage and lighting will be included to enhance the setting and appearance of the facades and provide appropriate wayfinding for arriving guests. The remaining facades will be treated much the same – with repairs and restoration prioritised where required. Further details can be found in the planning drawings submitted.

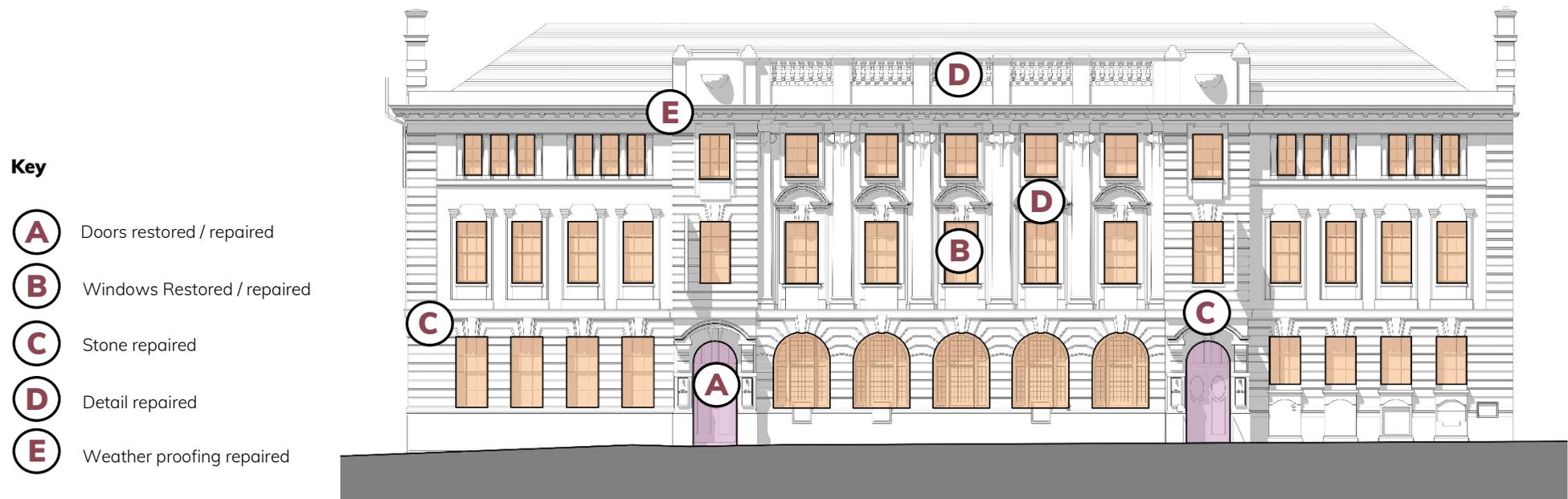


Figure 3.02 – Proposed Restoration, Abingdon Street Façade, Post Office

Key

- A** Windows Restored / repaired
- B** Doors restored / repaired
- C** Brick repaired
- D** Stone repaired
- E** Weather proofing repaired
- F** Ironmongery repaired

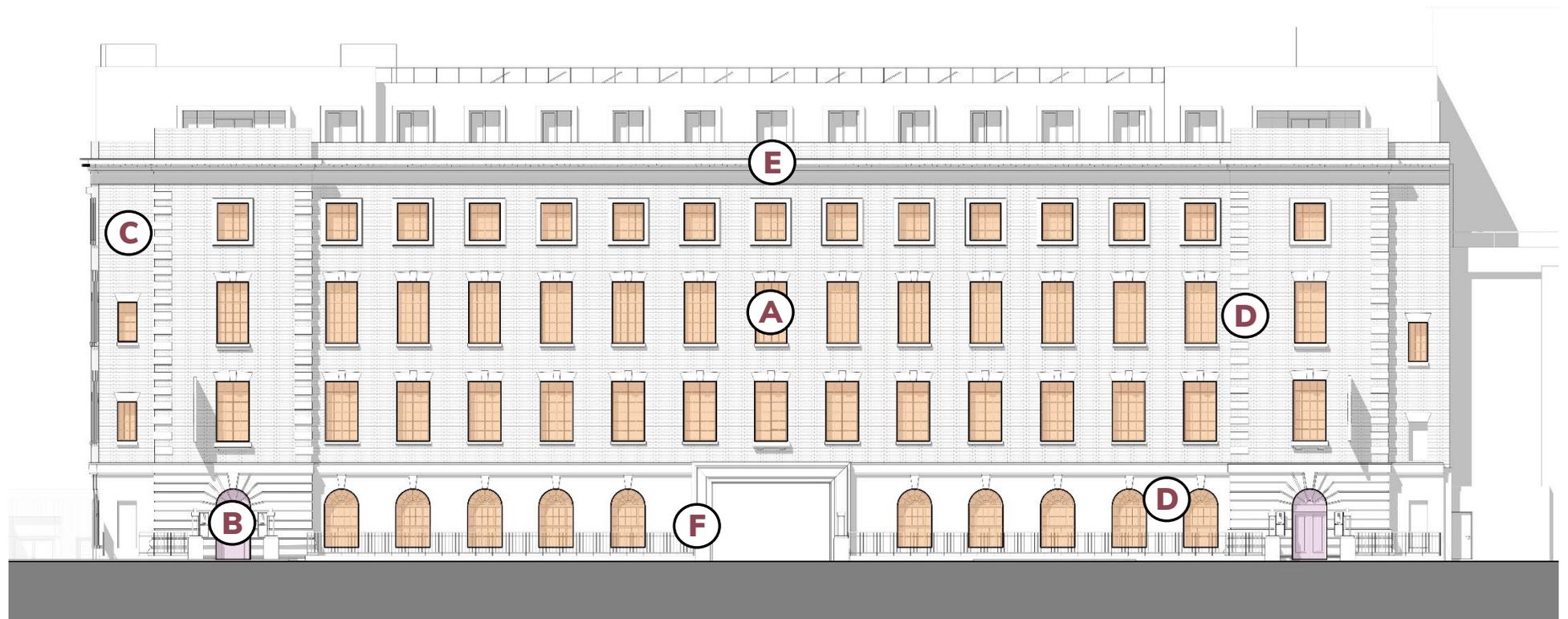


Figure 3.02 – Proposed Restoration, Edward Street Façade, Sorting Office

Built Form – Layout and Spaces Ground Floor Level

The sketch concept floor plans illustrated on the following pages show the design intent for the layout of the development, including how the new connection interfaces and interacts with the existing buildings.

Entrance - The primary entrance is ideally located fronting Abingdon Street, within the retained Post Office entrance.

External Amenity - External amenity is located within the central courtyard, providing a high-quality outdoor space for guest use and potentially for corporate and hospitality functions.

Front of House Amenity – Front of House Amenity provision is ideally located fronting onto Abingdon Street and Edward Street, ensuring activity and animation is provided to the adjacent streets. The amenity provision may include public restaurant provision onto Abingdon Street, further enhancing the development offering.

Circulation - Efficient and effective means of movement through the proposals is provided, with the addition of the connecting block between the Post Office and Sorting Office forming a fully integrated scheme across both buildings.

Back of House – Back of House and servicing is primarily located in the Edward Street Sorting Office, ideally located due to existing vehicular access on Queen Vera Road and through the vehicular entrance of the Sorting Office.



Figure 3.03 – Ground Floor Sketch Plan

Upper Floor Level

Bedrooms - Bedrooms are situated along the external facades – with adequate views, daylighting and adequate distances to adjacent properties ensured.

Circulation – The circulation strategy is kept as simple as possible for maximum efficiency. The new link provides seamless access between the Post Office and Sorting Office whilst the lift and stair cores are optimally positioned for ease of movement across floors.

Back of House – Linen facilities are positioned adjacent the primary cores in order to allow for efficient servicing of rooms.

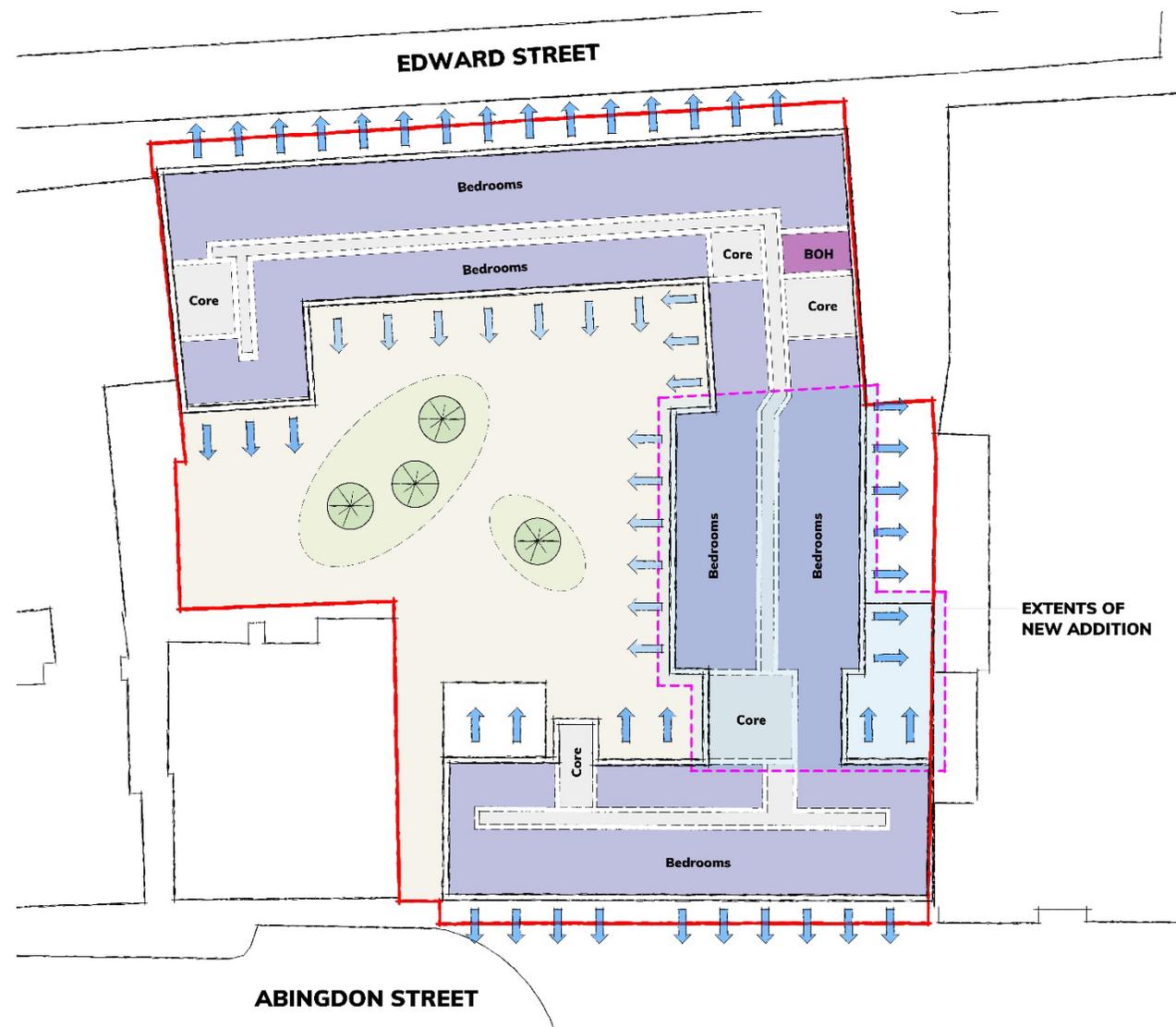


Figure 3.04 – First Floor Sketch Plan