

NOTES:  
 1. COPYRIGHT ©  
 2. PLANNING DRAWINGS ONLY ARE TO BE USED FOR OTHER PURPOSES REFER TO THE DRAWING ALL DIMENSIONS OR WORK COORDINATES TO BE SHOWN ON THE DRAWING BETWEEN DRAWINGS AND BETWEEN DRAWINGS AND REFERRED TO THE DRAWING THROUGHOUT THE DRAWING. DO NOT SCALE THE DRAWING.

3. C.A.M. REGULATIONS 1994  
 This design has been prepared to minimise the risk to health & safety during construction. The design, planning supervisor and contractor should be responsible for ensuring that the design is followed in full and that the health and safety officer under the C.A.M. regulations. The contractor should inform the engineer or designer of any operations that require inspection. All work must be carried out in accordance with the following details:-  
 The construction (Design & Management) 1994. Electricity of Work 1989. Part 17. A method statement for erection of scaffolding to be erected with safety in mind. All work to be carried out in full compliance with the relevant regulations. All working areas are to be fenced off and the site kept safe after working hours.

4. THE PARTY WALL ETC ACT 1996  
 The Party Wall etc Act 1996 may apply in which case proper notice should be given to the adjoining owner clearly describing the work to be carried out and enclosing a copy of this drawings.

5. PLANNING AND BUILDING REGULATIONS:  
 This drawing is prepared for the purpose of obtaining Building Approval only. Sections and other details will be subject to a separate submission for Building Regulations. It is recommended that work should not commence until Building Regulations Approval is received and any conditions therein have been discharged. It is the Contractor's responsibility to ensure that the drawings are in working form and comply with the relevant regulations of these approved under Building Regulations.

A 5.5.21 Additional side elevation added

REV. DATE DETAILS.

PROJECT PROPOSED SINGLE STOREY EXTENSION

DRAWING GROUND FLOOR PLAN SECTION AND ELEVATIONS

LOCATION

24 BAYVIEW CRESCENT  
 LITTLE OAKLEY

CLIENT MR C SMITH

SCALE: 1:100

DRAWING NO. 2101.3/4A

DATE: 31.3.21

ISSUE: PLANNING

John McPherson Architectural.

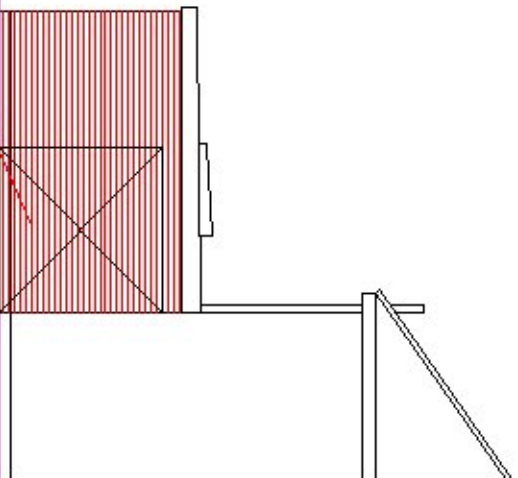
First Floor  
 29 Station Road  
 Dovercourt  
 Essex CO12 3AL



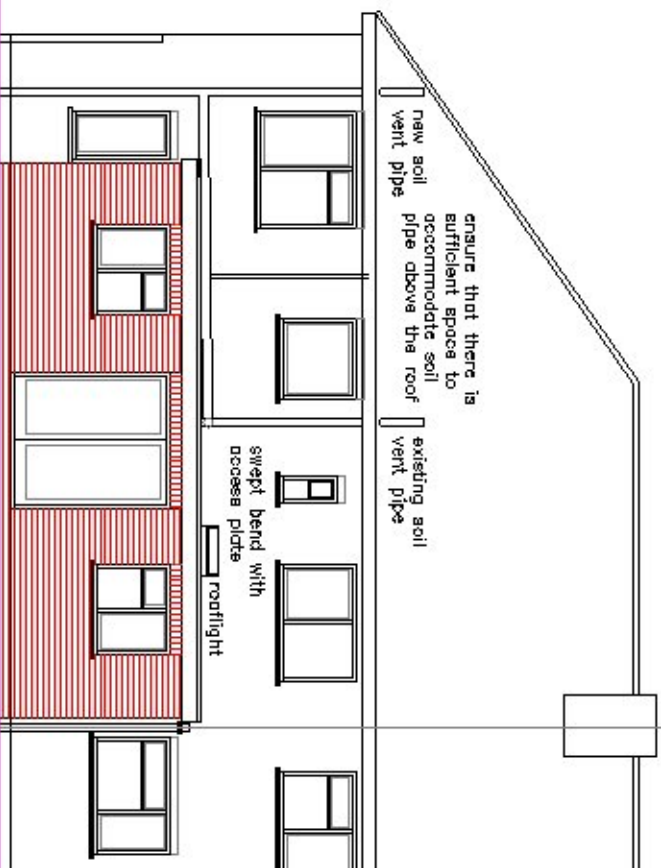
tel: [REDACTED]

This elevation is partially obscured by the existing party garden wall

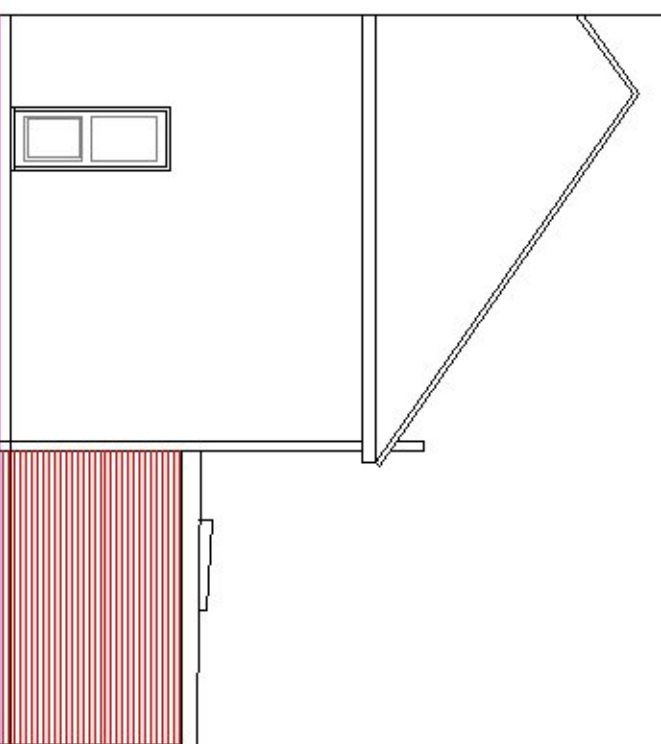
SIDE ELEVATION



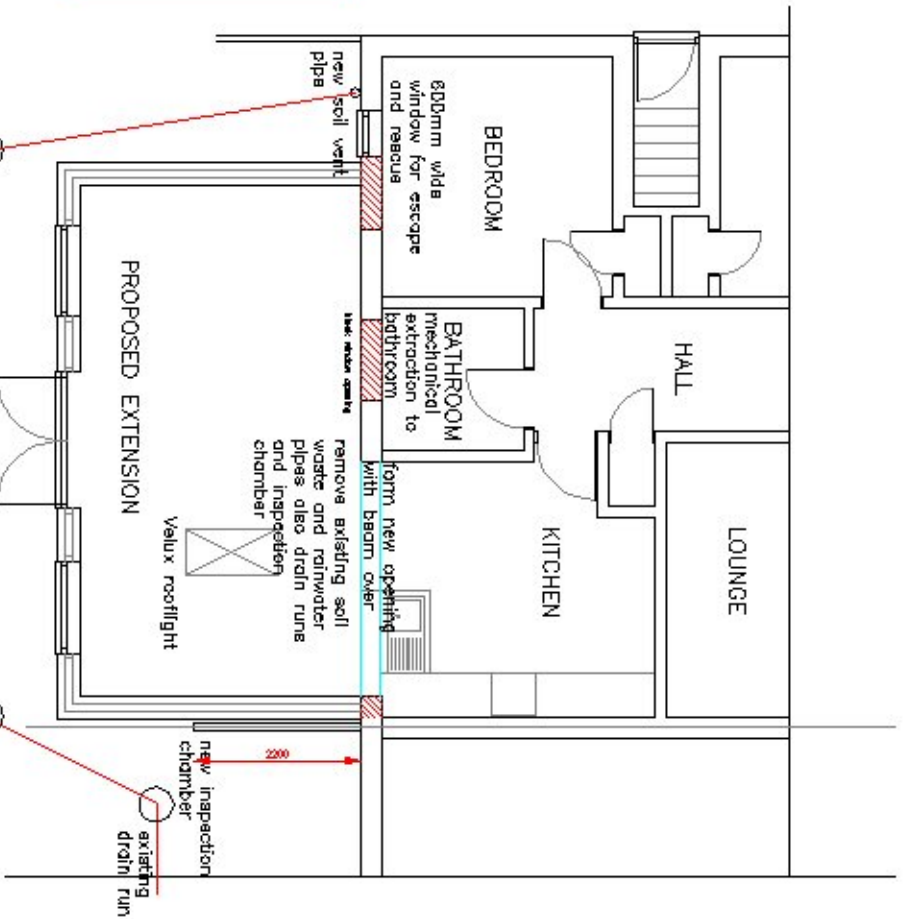
REAR ELEVATION



SIDE ELEVATION



9.3



GROUND FLOOR PLAN

SECTION

