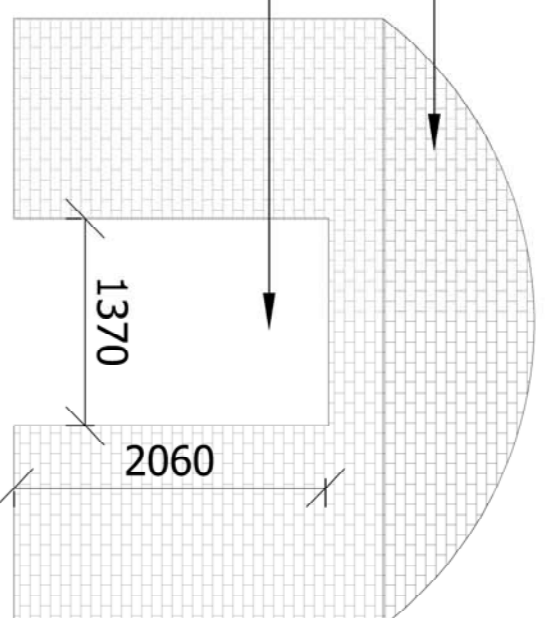
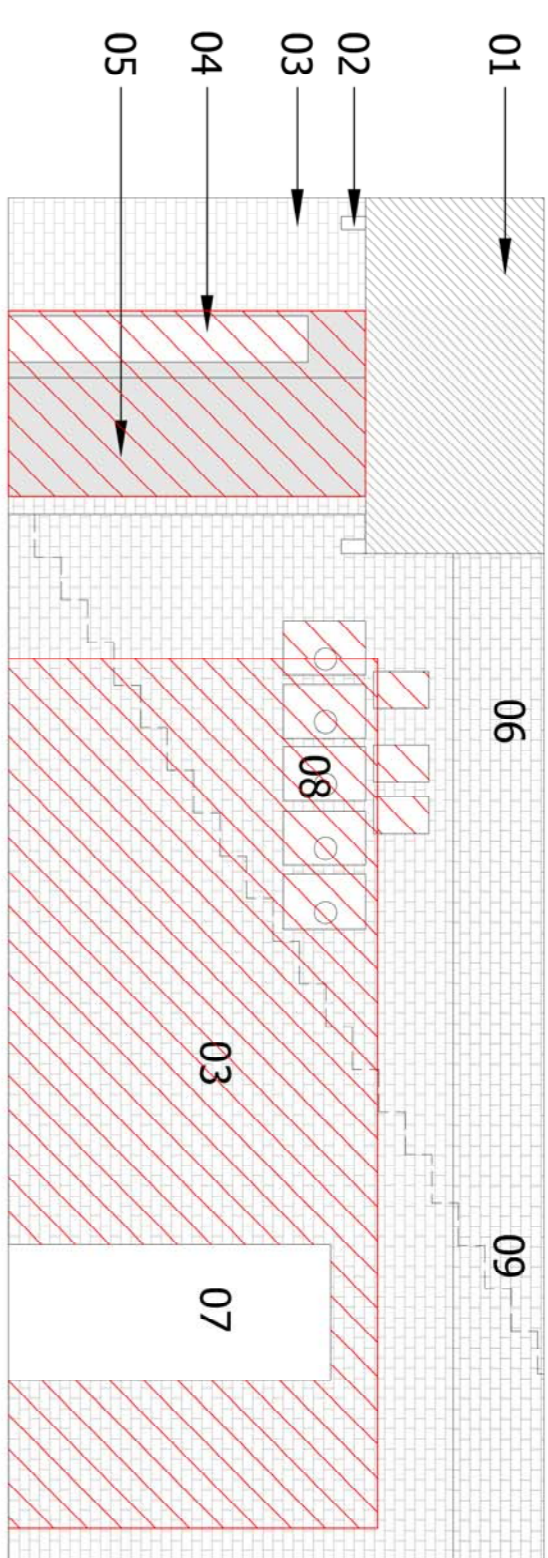


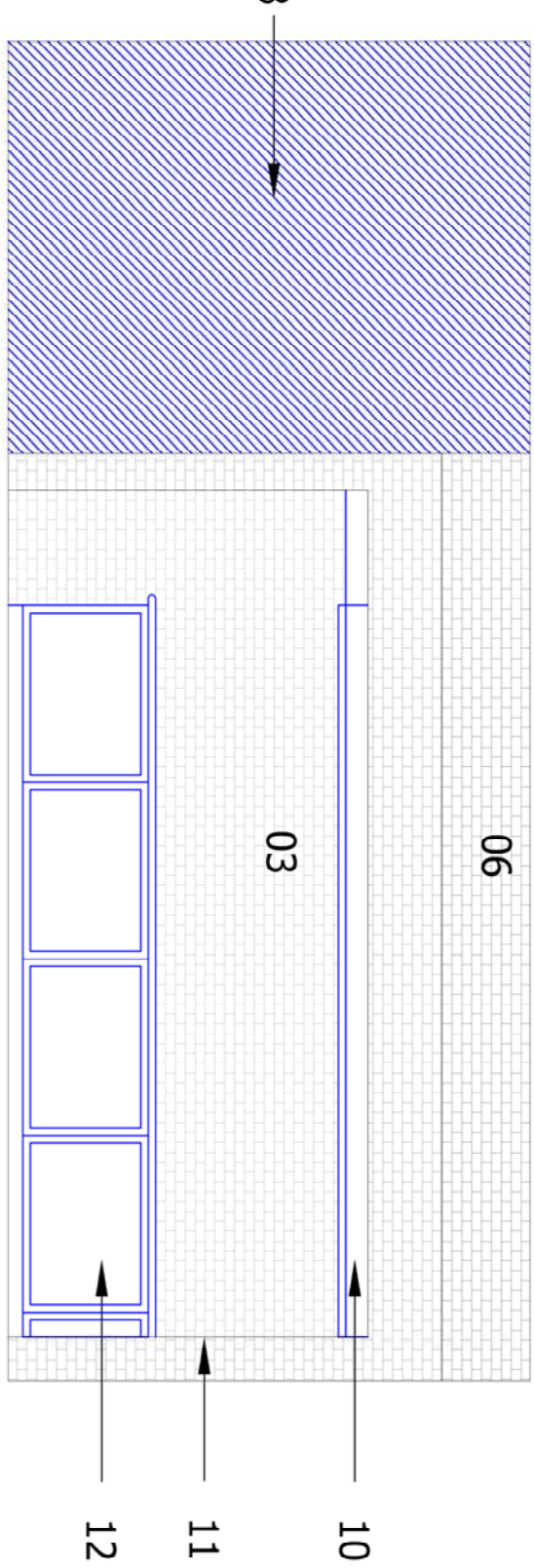
DEM 1.11 Existing



DEM 1.11 Proposed



DEM 1.12 Existing

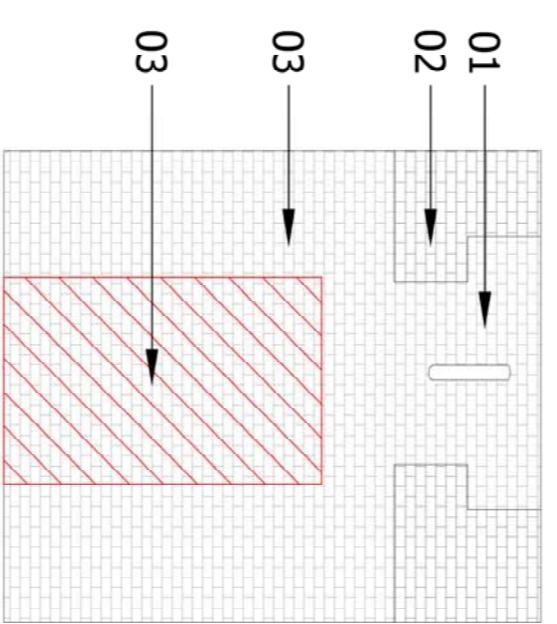


DEM 1.12 Proposed

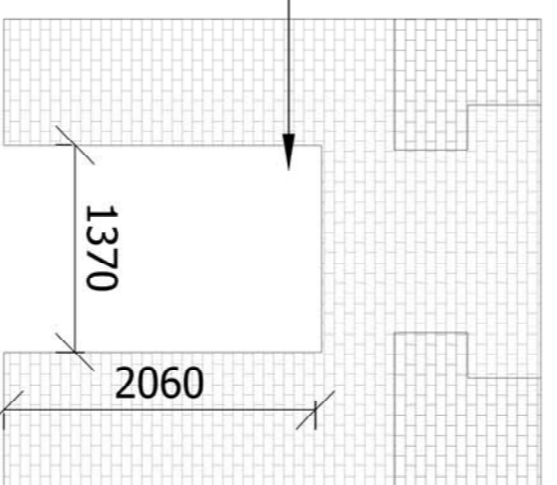
- 01 Vaulted ceiling
- 02 White painted brick
- 03 New opening to match similar openings within vaulted areas

- 01 Flat soffit to Services area
- 02 Steel Beams
- 03 White painted brick boundary wall
- 04 Opening to stairs
- 05 White painted modern stud partitions
- 06 Vaulted ceiling
- 07 Cupboard opening

- 08 Redundant Electric Meters and high voltage switching gear
- 09 Line of concrete service stairs beyond to be removed
- 10 Integrated cooker canopy
- 11 New opening in wall to allow for cooking equipment
- 12 New cooking equipment
- 13 New Services core to allow for lift, dumbwaiter and mechanical extract

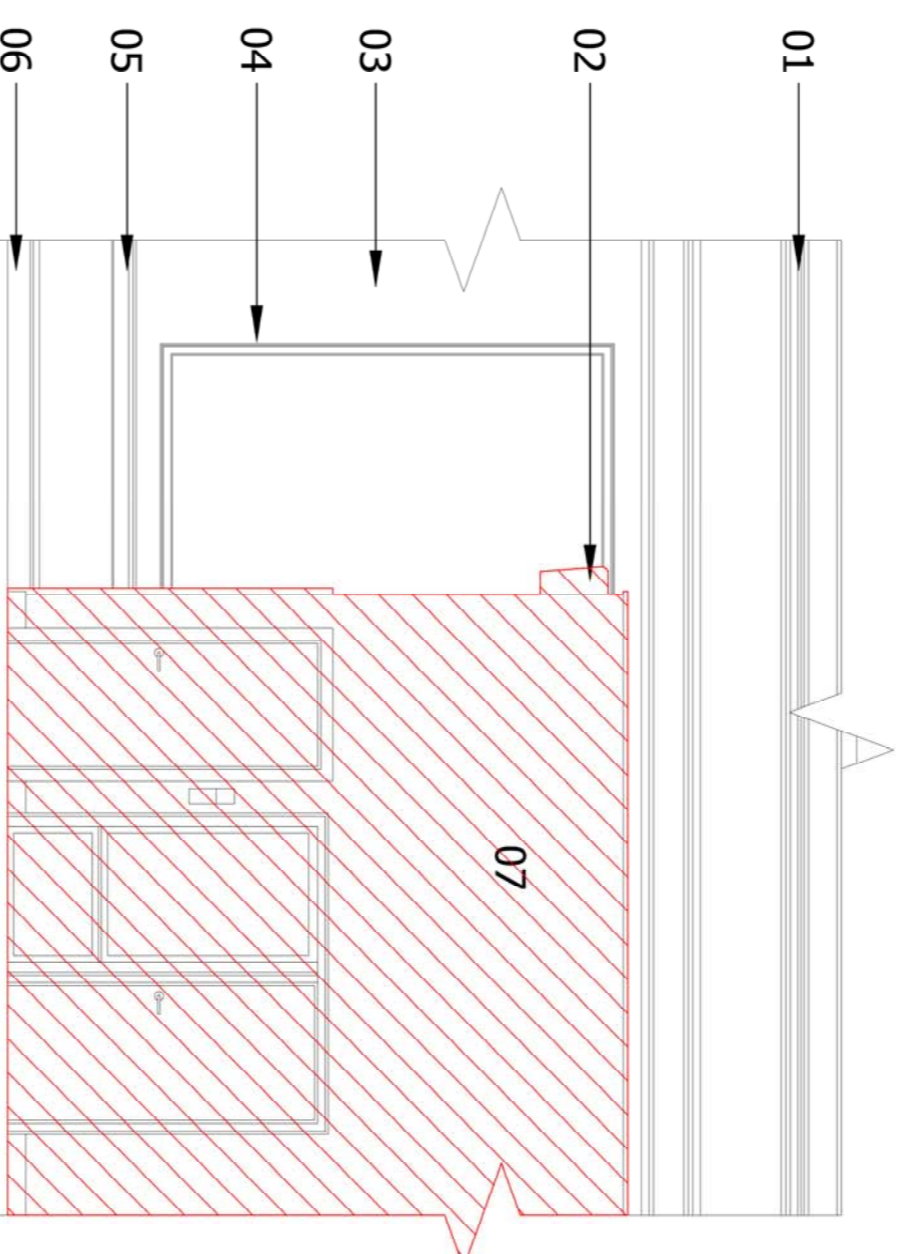


DEM 1.13 Existing

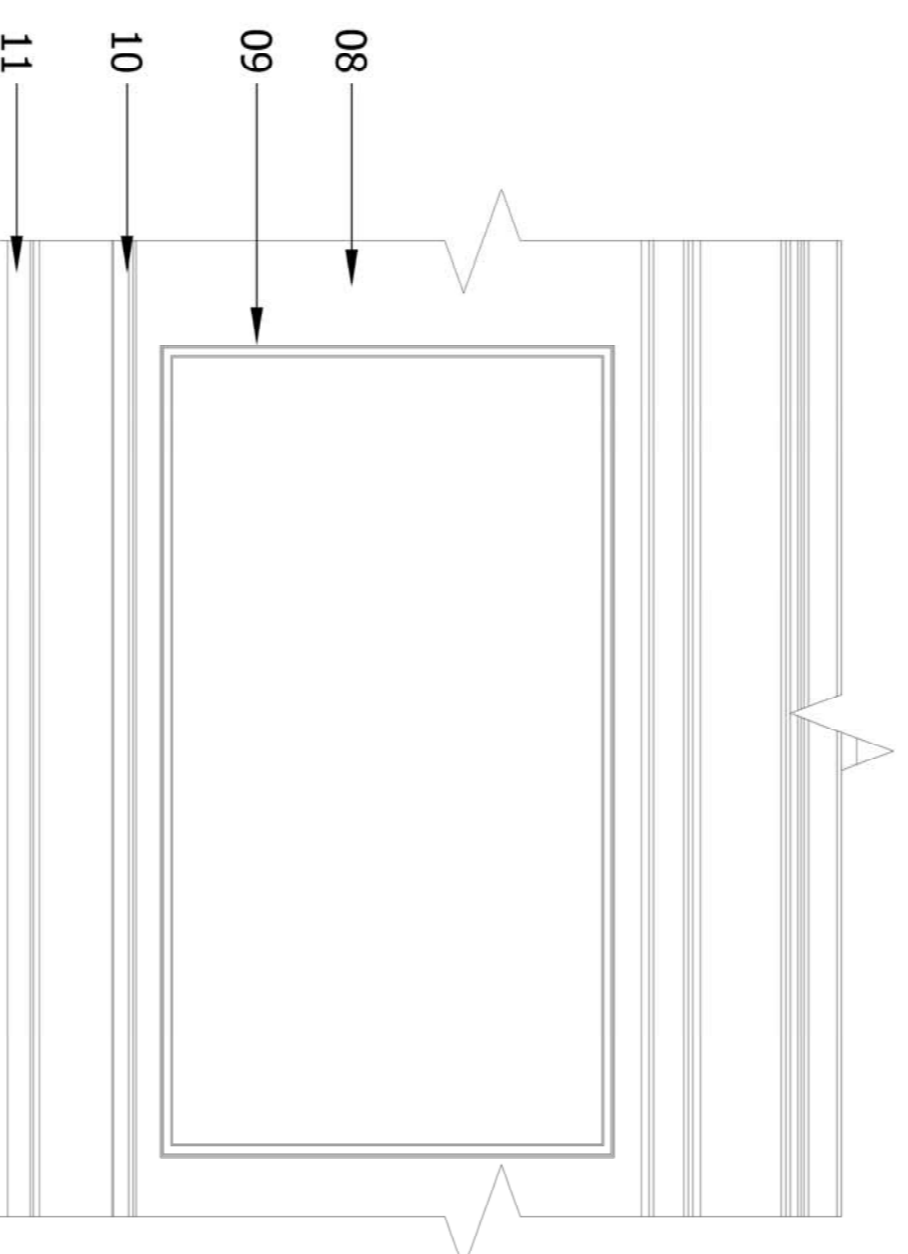


DEM 1.13 Proposed

- 01 Vault cut for lift operation (note lift and mechanics not shown for clarity)
- 02 Vaulted ceiling
- 03 White painted brick
- 04 New opening to match size of similar openings in basement



DEM 1.14 Existing



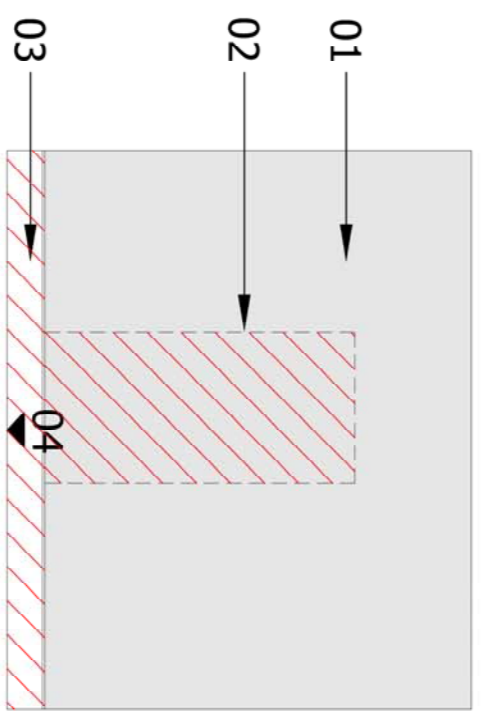
DEM 1.14 Proposed

- 01 Ceiling frieze detail
- 02 Air-Con unit
- 03 Main walls with peeling lining paper
- 04 Detailed wall moldings
- 05 Timber Dado Rail
- 06 Timber Skirting Board

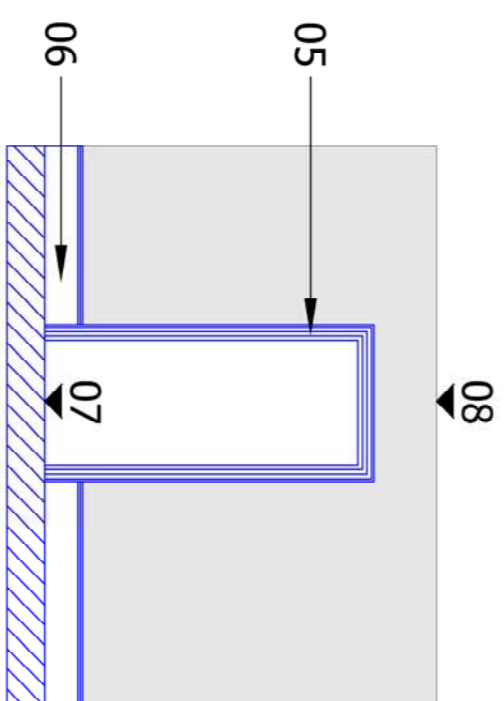
- 07 Modern stud partitions (1991)
- 08 Lining paper removed and walls made good
- 09 Moldings restored and made good
- 10 Dado rail restored and made good
- 11 Skirting restored and made good

FOR APPROVAL

General Note:
All repair and reinstatement works to match adjacent original in material, texture and profile.

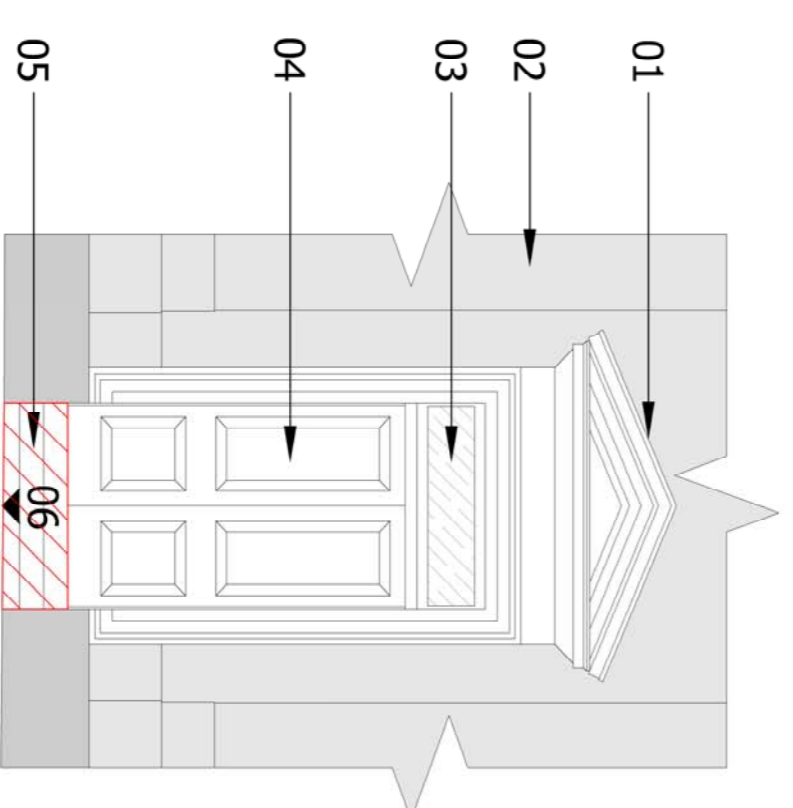


DEM 1.15 Existing

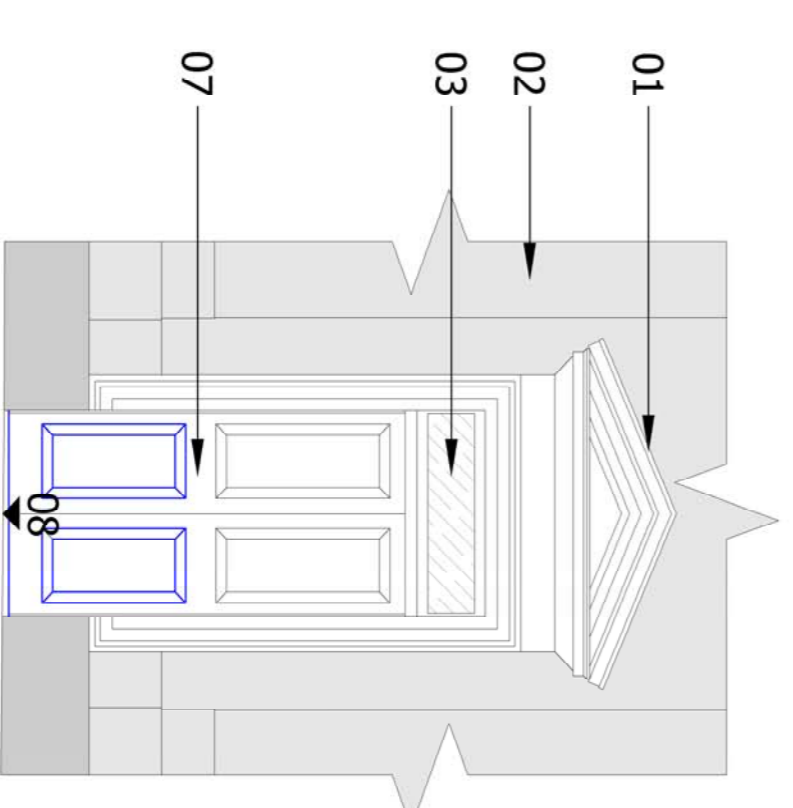


DEM 1.15 Proposed

- 01 White painted plaster finish
- 02 Location of historic door opening now plastered over
- 03 Modern Skirting (Note no cornice or ceiling detailing)
- 04 Lowered floor level (Note this is the only room with a lowered floor level throughout the ground floor and which corresponds to level inside adjacent entrance)
- 05 Reinstate historic opening with new architrave detailing to match existing doors
- 06 New skirting to match main hall
- 07 Reinstate floor level to match existing level throughout



DEM 1.16 Existing



DEM 1.16 Proposed

- 01 Pediment entrance detail
- 02 Painted plaster finish to Pilaster
- 03 Clear glazed fan light
- 04 Wooden double doors
- 05 Steps up to doors
- 06 Street level

- 07 Door modified with lower panels extended to ground level
- 08 Level access achieved from street level in compliance with DDA requirements and Building Regulations.

Osel
architects and
development consultants

PROJECT:
1 Cavendish Square
London, W1G 0DA
CLIENT:

DRAWING:
Proposed Demolitions
Detailed Proposals

DRAWING No.:
E17-011 DEM004

SCALE: 1:100 @ A3
DRAWN: RC
CHECKED: WTM

DATE: 15.01.18
DATE: 15.01.18
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