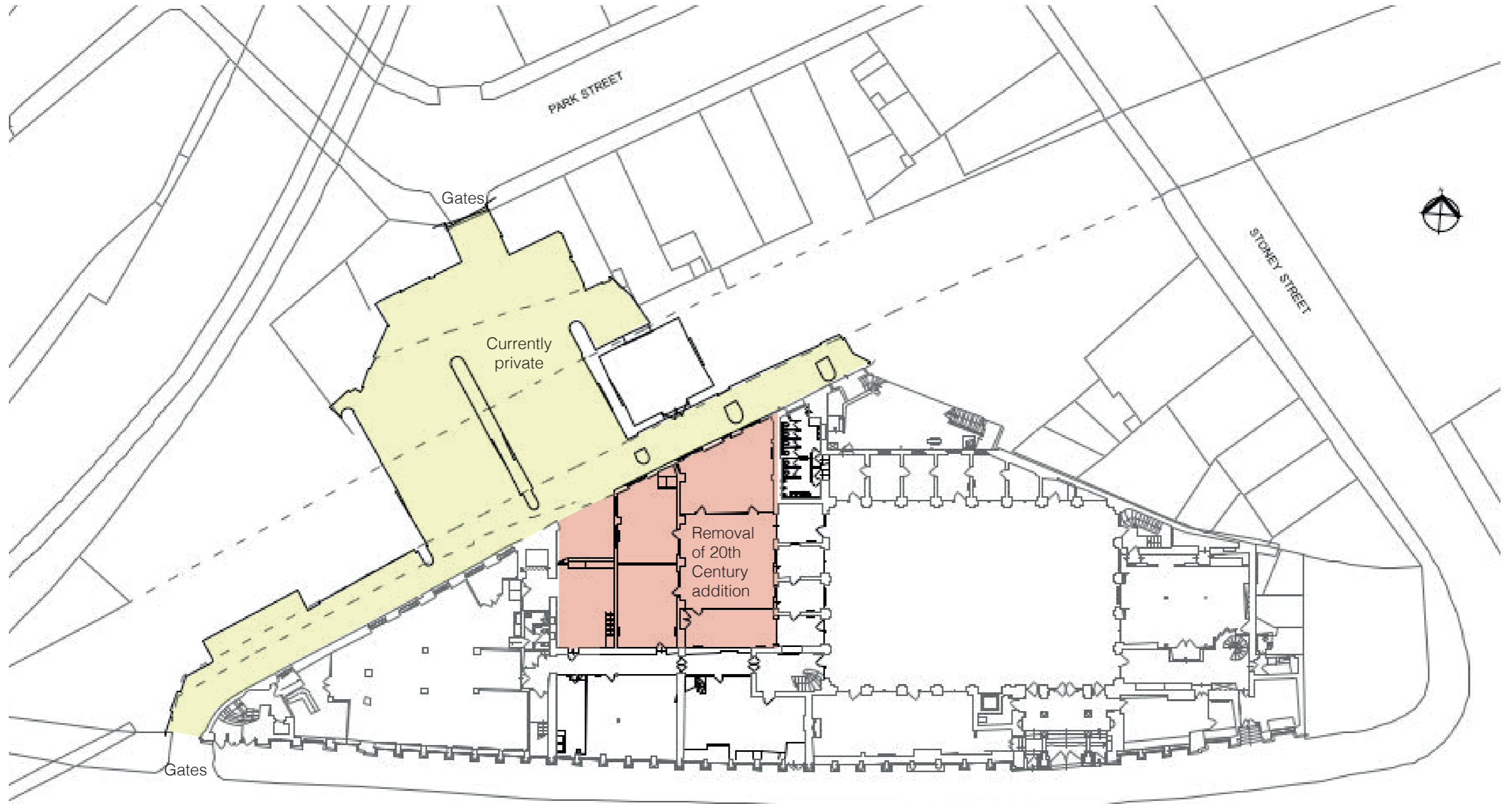


Evaluation of Site- Private/Public



- The area hatched in yellow is currently private and not accessible by the public. The proposal seeks to open this area up when the Hop Exchange is open to allow access to the rear of the Hop Exchange. Each end of the area is gated, these gates will remain but will be opened up during business hours.
- Removal of the 20th century addition hatched in orange will remove the existing loading dock and replace it with new rear entrances for both the ground level restaurants, as well as an independent lobby and lift to the fifth-floor restaurant. A secondary link will also be provided through to the Exchange Hall atrium for office users travelling from the north or the west. These new entrances can be accessed via the Southwark Street Lowline Gate, the Park Street Gate, or both, subject to opening hours.

Historic Context- Conservation Area & Listed Buildings

The Hop Exchange is a Grade II listed Victorian building in neo-classical style, located at 24 Southwark Street

The building was built in 1866 to trade hops from many merchants in the area. It was a key building on Southwark Street, newly built, which cut through several slum areas by the Metropolitan Board of Works (forerunner of the London County Council) in a major engineering scheme to link London Bridge and Blackfriars.

The building is situated in a prominent location with Borough Market and London Bridge Station to the east within the Borough and Bankside Ward of LBS and within the Borough High Street Conservation Area. This area is very architecturally mixed with other listed buildings close to the site.

The Conservation Area Appraisal (2006) locates The Hop Exchange 24 Southwark Street in sub area 1 of Borough High Street Conservation area.

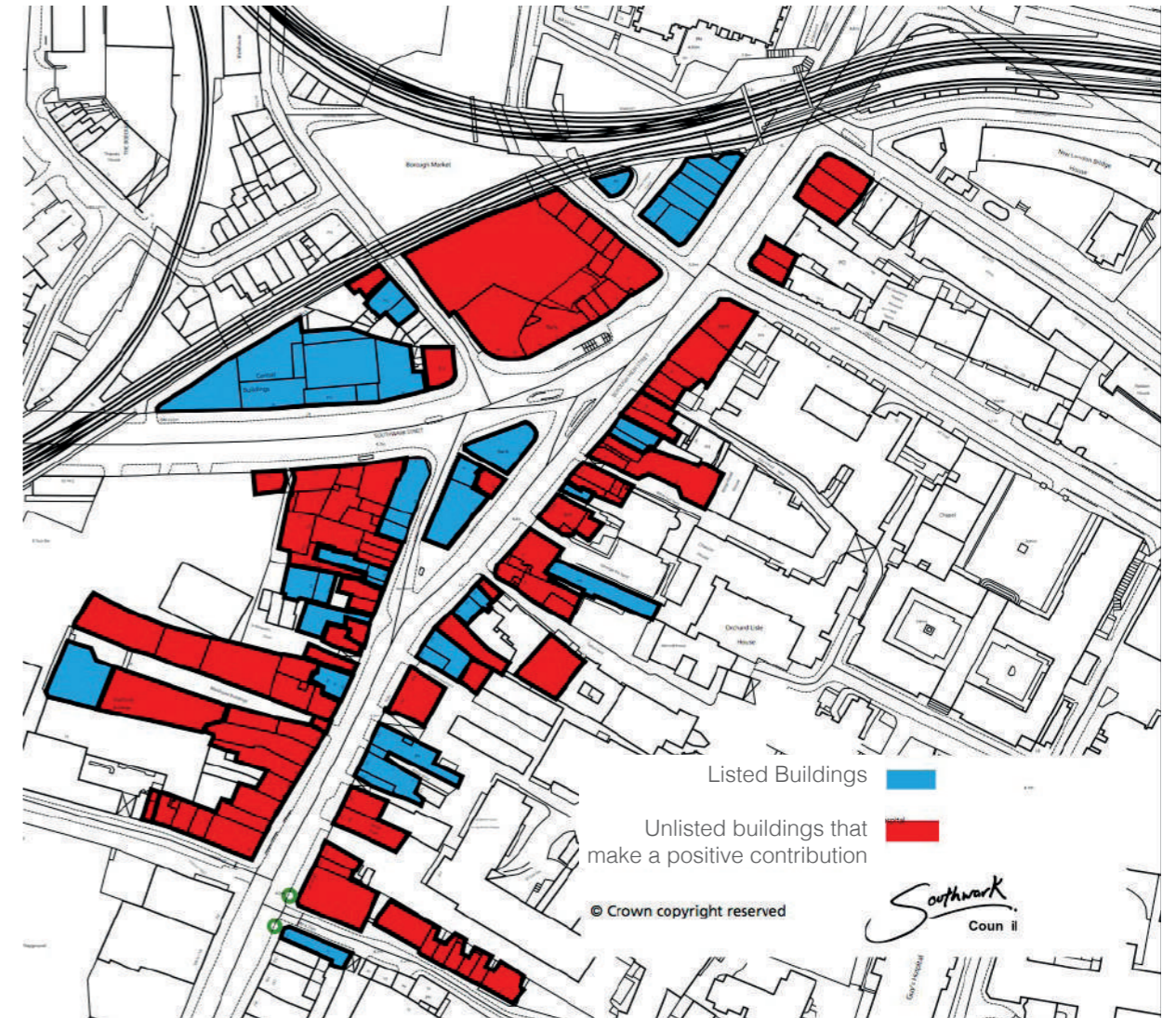
Borough High Street Central Area: focus of activity and vitality in the Conservation Area.

Within this document it's stated that the Hop Exchange has *one of the most important frontages in the central area.*

Within Sub area 1 there are many other listed buildings as well as other unlisted buildings which are seen to make a positive contribution to the area, these can be seen on the map opposite. These aspects have all been carefully considered in conjunction with the Hop Exchange and its Grade II listing when working up our proposal.



Borough High Street Conservation area
Sub Area 1: Borough High Street central area:
focus of activity and vitality in the Conservation Area



Sub Area 1 Listed/Buildings that make a positive contribution

Historic Context- Listed Building

The Hop Exchange, a commercial premises built as a hop and malt exchange with office and showrooms in 1866 by RH Moore is Grade II listed.

To summarise the listing

External:

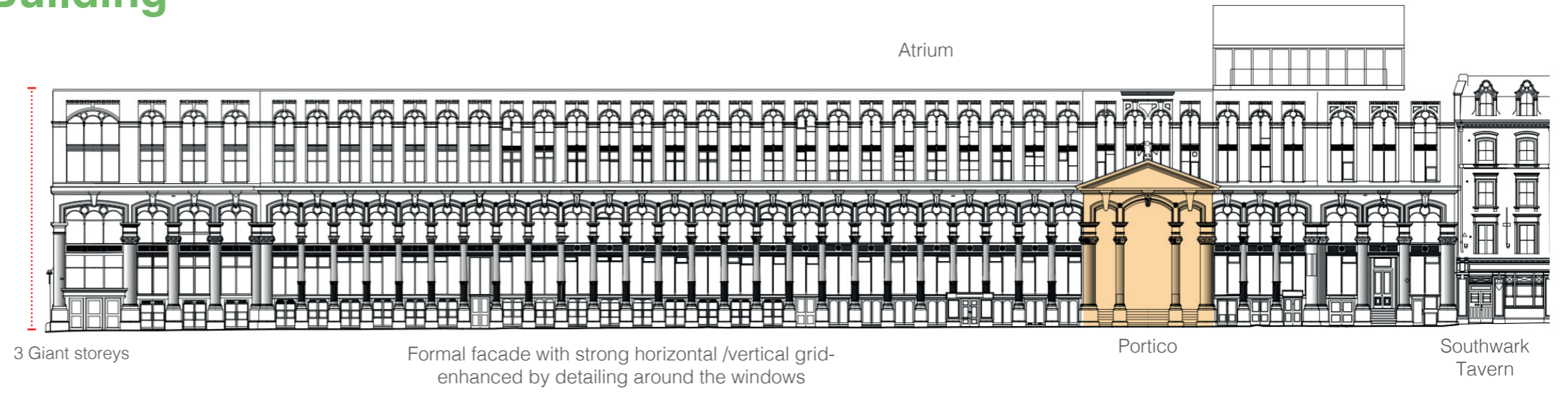
- External front facade consisting of 3 giant storeys and basement, stuccoed with cast iron columns.
- Grand off-centre portico with an eagle at the apex and elaborate decoration depicting brewing.

Internal:

- Galleried court of 4 levels beneath a sky light.
- Cast iron balconies with hop decorations and monograms.
- Top storey rebuilt at a reduced height, and original glass and iron roof to exchange hall replaced after fire of 1920.



Atrium internal photograph



3 Giant storeys

Formal facade with strong horizontal /vertical grid- enhanced by detailing around the windows

Portico

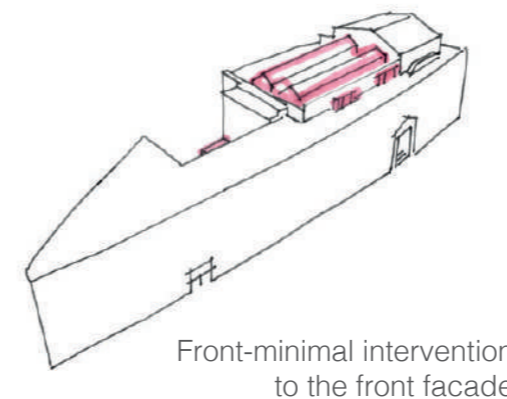
Southwark Tavern

Front Facade

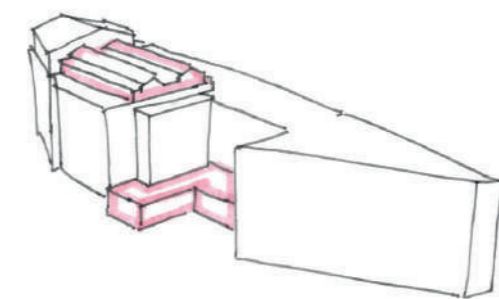


Rear facade acts as more of a back of house and is obscured by the railway viaduct

Rear Facade



Front-minimal intervention to the front facade



Rear-removal of the atrium roof and single storey element to the rear

Historic Context- Area Characteristics

Buildings within the context of the Hop Exchange generally follow the design principles of 18th & 19th century classic design. Balancing the wall to window area with vertical proportions to give a rhythm to the building's facade.

Strong parapet and cornices are present within many of the buildings in the area, giving them a horizontal site line from the street. This can be seen in particular in the area's commercial buildings where classical and revivalist styles are used with many decorative features enhancing the horizontal and vertical structural elements: floor levels, columns and buttresses.

Many windows within the local vicinity have curved elements to reflect the railways arches present in the area however these sit within an orthogonal grid, any development should observe the strong horizontal and vertical elements of the facade. Guidance states The proportions of the main elevation elements and groups of elements tend to be taller than they are wide. The proportion of window to wall area is controlled visually by the detail of surrounds and pediments, helping to exaggerate the apparent area of windows without losing the visual strength of masonry. Thus the impressive weight of some buildings is balanced by a lightness of detail.

Buildings within the vicinity are generally four to five storeys with additional storeys behind the parapet line.



56-58 Southwark Street
Yellow stock, parapet roof, arched windows, strong grid and rendered to the ground floor



49 Southwark Street
Yellow stock, parapet roof, arched windows, strong verticality and horizontal elements



67&69 Borough High Street
Arched windows, decorative elements and parapets



239 Long Lane
Yellow stock, parapet roof and arched windows

Commonality of materials in the area as described with the Conservation Area Guidance:

- Yellow London stock brick as the basic construction material, or red facings in some buildings.
- Façade elements arranged in Classical proportions, usually with parapet roofs to provide a horizontal cornice line.
- Portland/artificial stone or stucco dressings.
- Terracotta or rubbed brick decorations.
- Rusticated or arcaded ground floor elevations.
- Painted timber shop-fronts and fascias.



28 Borough High Street,
Yellow stock, parapet roof with loft floor and a strong grid

Building History & Proposals

A more detailed account of the historical development of the site can be found in the accompanying heritage statement prepared by Edwards Hart.

1867

In 1920 The Hop Exchange building suffered fire damage



The photograph shows the damage caused by the fire; the upper storeys were consequently demolished

Photograph dated 1977 showing extent of remaining building



1940 / 1941

1980's Peer Group bought the property and carried out extensive refurbishment and rebuilding of the west wing. The planning use changed from light industrial to office

Image showing current extent of building with red line showing existing.



1997

The Hop Exchange was built in 1867 designed by Architect R H Moore



Etching of the Hop Exchange, published in 1874



Drawing of Exchange atrium showing the original height and atrium roof

1920

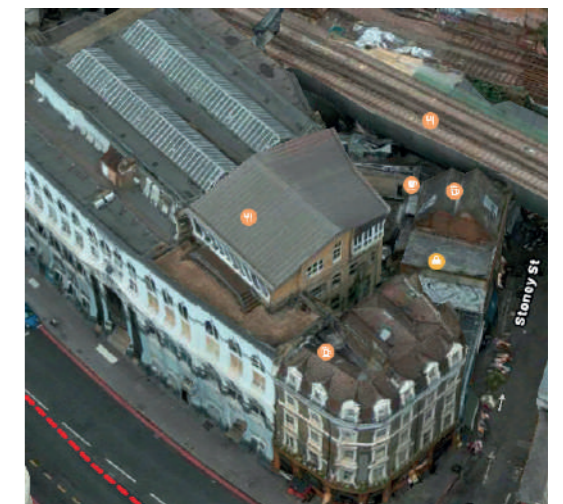
WW2 bombs fell close to the Hop Exchange between Oct 1940 & June 1941.



London bomb damage map showing west wing "seriously damaged, but repairable at cost" - the west wing upper two storeys were however demolished .

1980

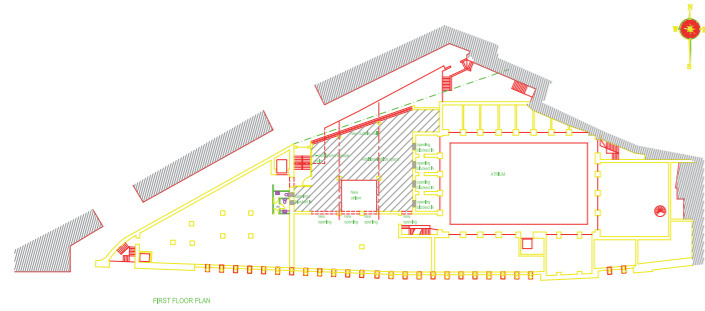
Proposal by D H Design



In 1997 an application 97/AP/0416 was approved for a roof extension to create additional office suite and roof terrace for Peer Group's use. Aerial view showing office suite next to roof atrium. Atrium roof assumed 1950's / 60's.

Building History & Proposals

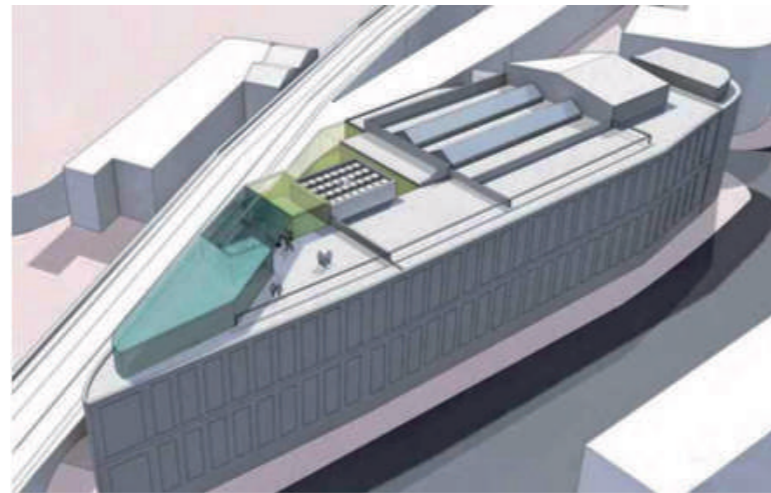
Proposal by Ridge & Partners (see page 10 for full details)



Ridge & Partners had a planning application approved 03/AP/0279 proposing a 3 storey extension to infill the rear of the building.

2003

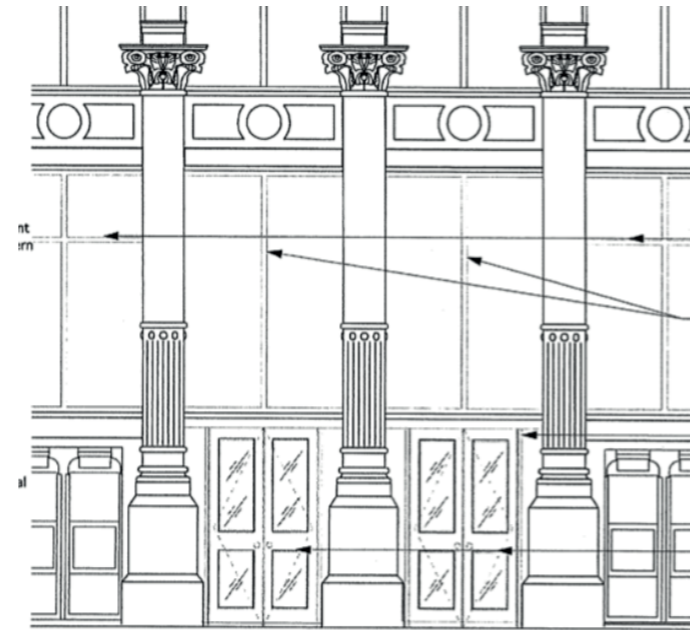
Proposal by Harper Downie (see page 11 for full details)



Harper Downie submitted a pre-planning application 13/EQ/0211 proposing part change of use of the building to hotel with a roof extension and infill extension to the rear

2014

Proposal by Smiths of Smithfield (see page 12 for full details)



Smiths had a planning application approved 14/AP/2245 to change the use of the west wing from B1 office to A3 restaurant

2013

2016

Proposal by Forge Architects (see page 14-18 for full details)



Forge Architects submitted a pre-planning application: 19/EQ/0419 proposing a roof extension of 2 storeys.

2019

Proposal by Witherford Watson Mann (see page 13 for full details)

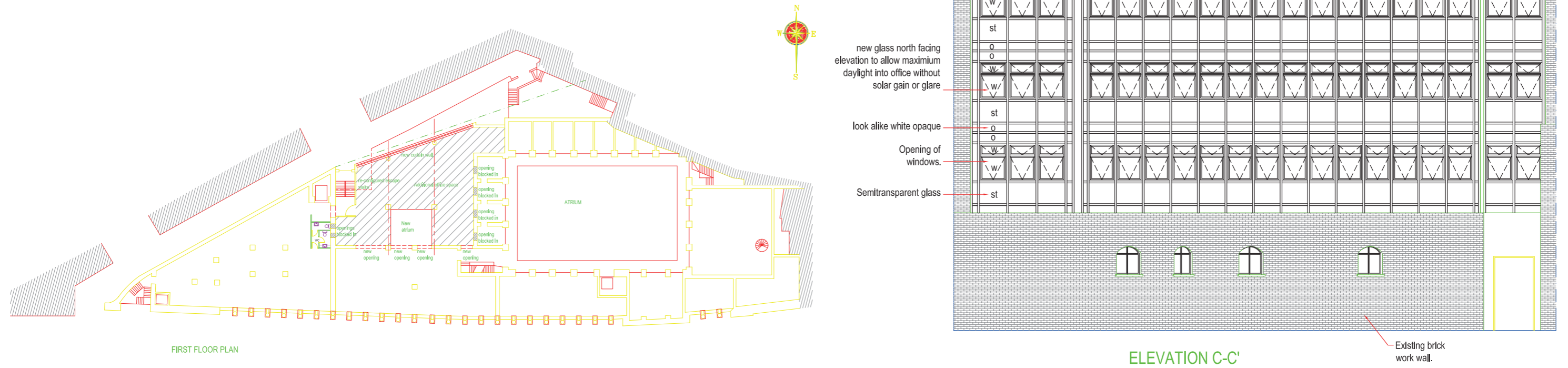


Witherford Watson Mann submitted a pre-planning application 16/EQ/0255 proposing a roof extension of up to 3 storeys.

Planning History - 2003 Ridge & Partner scheme

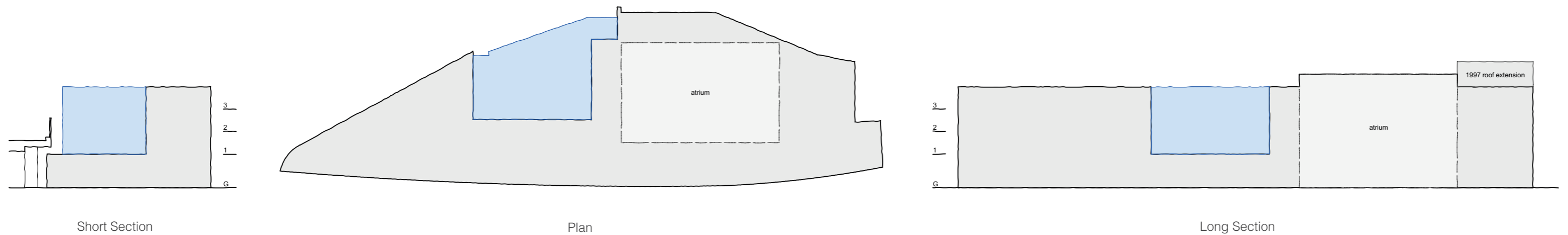
In 2003 Peer Group appointed Ridge & Partners to produce a design to infill the rear with three new floors of office accommodation. The scheme also included the demolition of structure and reconfiguration of floorspace at upper ground floor level. An application for listed building consent (ref 03/AP/0279) was submitted and approved in the same year, though the scheme was never implemented.

A rear elevation of regular curtain walling was proposed to enclose the infill. It could be argued with hindsight that the quality of this proposal is not sympathetic to the heritage of the existing building particularly through the choice of purely modern materials. In the intervening years since 2003, much improvement of both buildings and public realm has occurred in the area. As such our proposals will seek to achieve a higher architectural quality, and one that works more harmoniously with the existing building.



Typical floor showing area of infill extension

Rear elevation showing area of infill extension



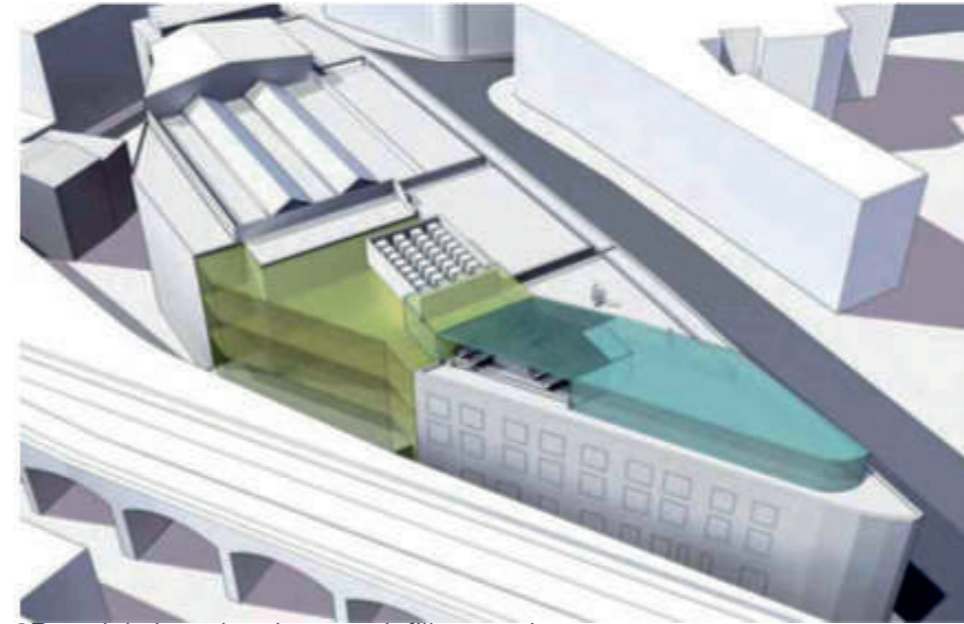
Planning History - 2013 Harper Downie scheme

In 2013 Z Hotels approached Peer Group regarding the possibility of re-purposing part of the Hop Exchange into a hotel. They commissioned Harper Downie to produce a design that infilled the rear area with office use and convert the west wing and existing central areas into hotel use. In addition, a single storey roof extension for a bar and plant areas was proposed.

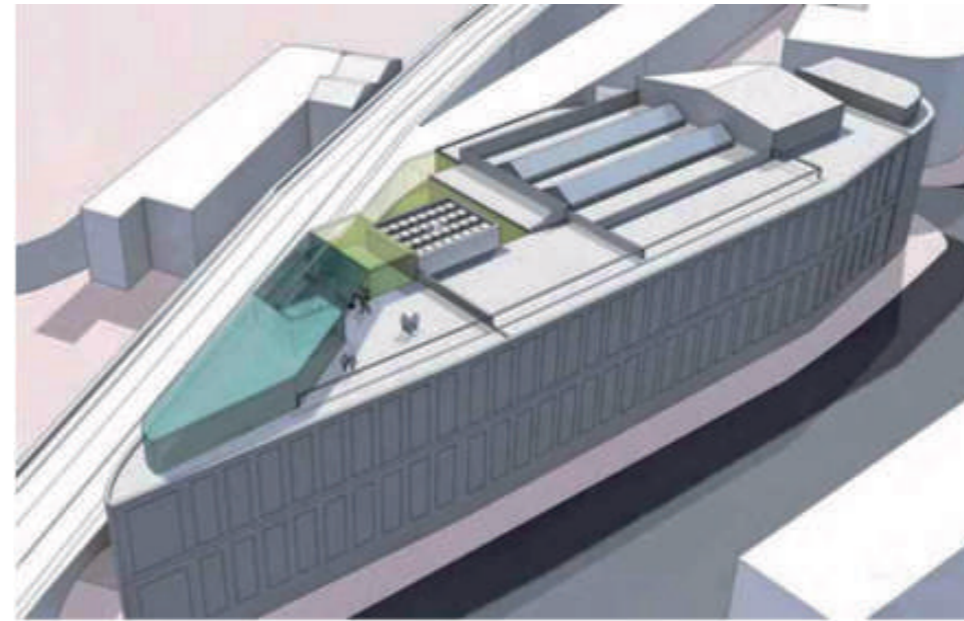
A pre-application (ref 13/EQ/0211) was submitted, and Southwark's response included the following advice:

- Justification required for the overall loss of B1 office floorspace.
- Rear infill elevation should be designed to avoid visual harm to the listed building.
- Massing of infill and one-storey set-back roof extension acceptable in principle.

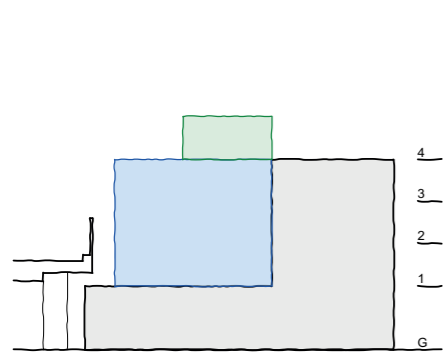
Ultimately, Z-Hotels decided not to continue, and the scheme was never taken further.



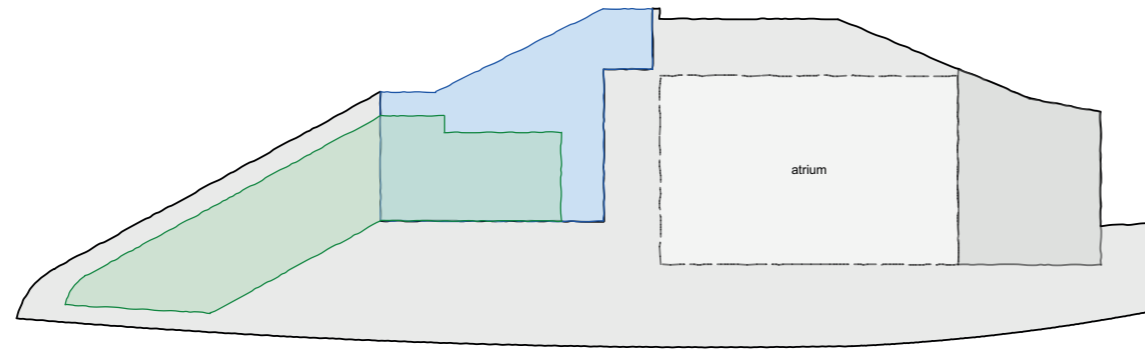
3D aerial view showing rear infill extension



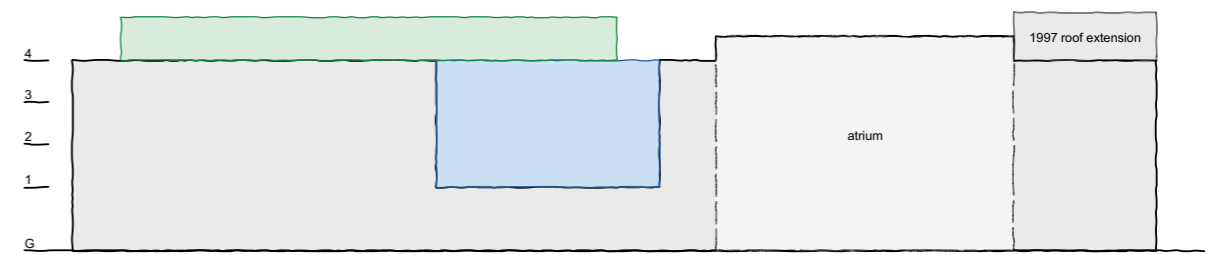
3D aerial view showing roof extension



Short Section



Plan



Long Section

Planning History - 2016 Witherford Watson Mann scheme

In 2016 Peer Group appointed Witherford Watson Mann to produce a design to infill the rear and add new storeys onto the roof. The scheme was the most ambitious to date, with three additional floors to most of the building footprint and replacement of the existing 1950s/60s atrium roof. This would have made the overall mass of the Hop Exchange very close to the size of the original building, prior to the catastrophic fire in 1920. The new storeys were flush with the front façade and proposed modern facing materials.

A pre-application (ref 16/EQ/0255) was submitted, and Southwark's response included the following advice:

- Principle to expand the commercial use of the building is acceptable.
- Understands that reinstatement of the original (pre-1920) building scale and character is impractical due to current structural conditions (including underground tube line beneath).
- Three-storey roof extension too dominant, particularly in relation to the Southwark Tavern at the eastern end.
- Two-storeys would be acceptable and should be of a construction appropriate to existing building (not lightweight in appearance, such as curtain walling or cladding).
- A single-storey addition should not be evident from the street.
- Rear infill elevation should be of well-ordered, simple and lightweight modern design.

Historic England were also consulted, and their advice (ref PA00419890) was similar:

- Reduce roof extension to no more than two storeys.
- Set the roof extension back from the front façade, particularly at the western and eastern ends.
- Contemporary design & materials acceptable if responding to the proportions of the original elevation.
- New atrium roof welcomed, and to be glazed as much as possible.

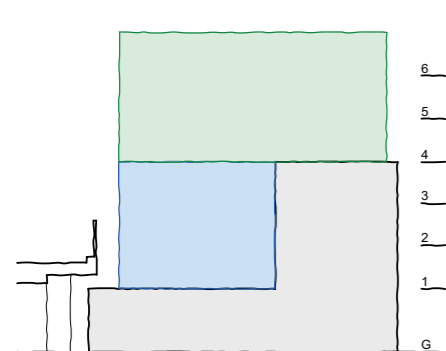
Though this scheme again has not been progressed to a planning application, the advice from Southwark and Historic England is useful and strongly guides the current brief and the aspirations of Peer Freeholds Ltd and the design team.



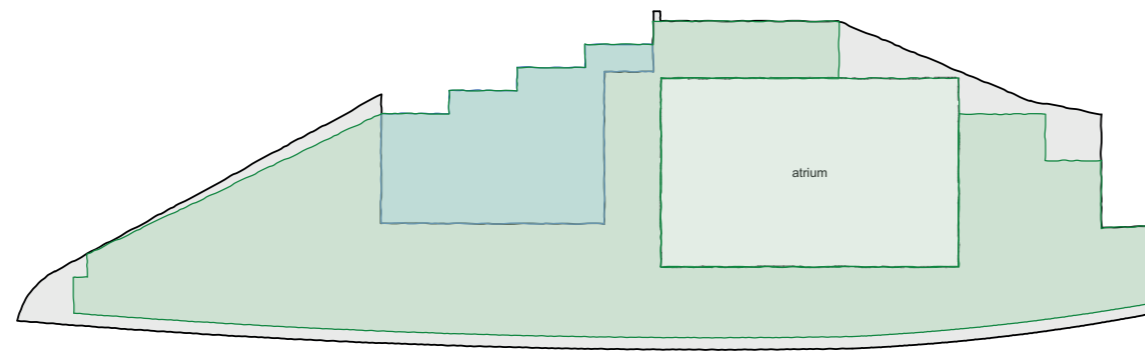
Proposed view west down Southwark Street



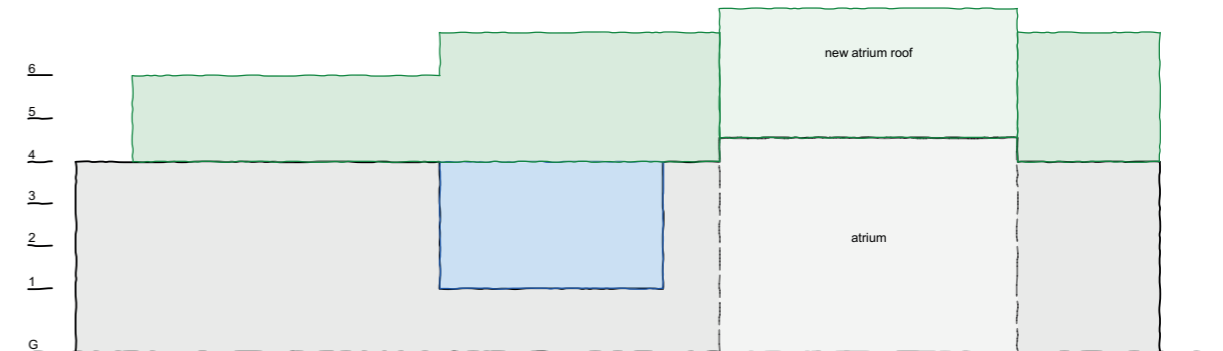
Proposed view east towards London Bridge



Short Section



Plan



Long Section

Planning History - Forge Architects Pre-application 1 2019

