

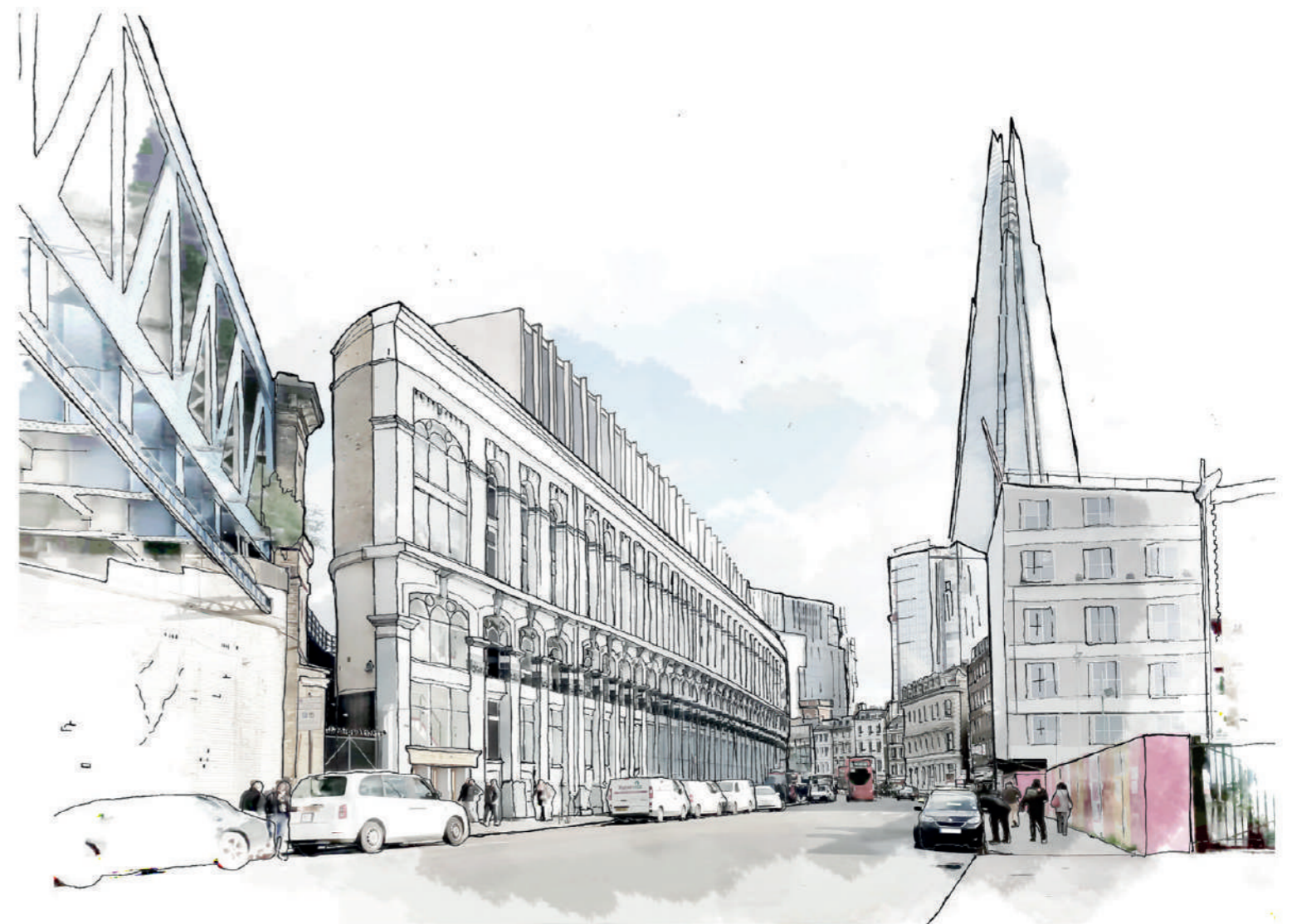
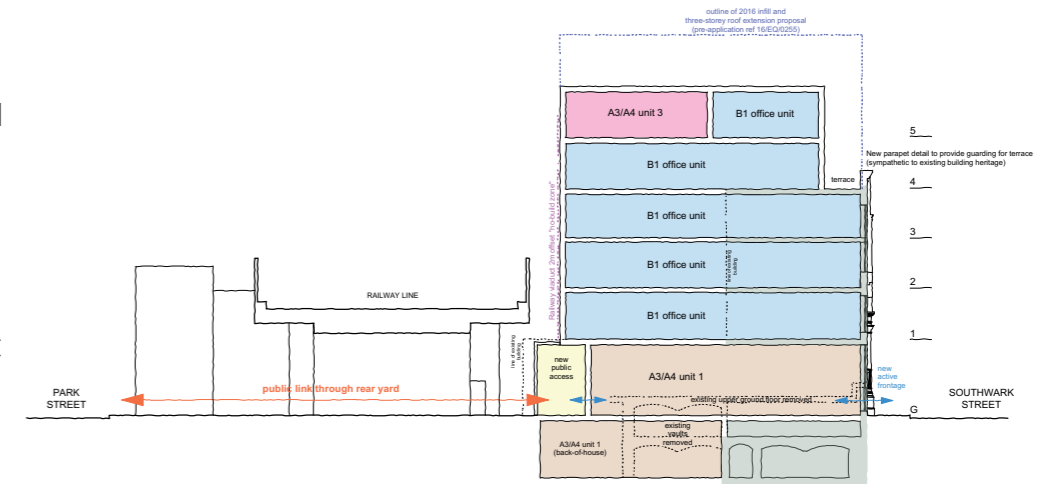
Pre-application 1 Comments 2019

London Borough of Southwark Comments 23.03.2020

- The principle of the development is acceptable extending the existing building and expand commercial use.
- A3/4 uses are likely to be deemed to be an acceptable as replacement for the B1 floorspace (Southwark Plan Policy 1.7.)
- BREEM Excellent rating is required for non-domestic refurbishment for non-residential floorspace over 500sqm
- Unlikely for there to be any impact on neighbouring amenity in terms of outlook or overlooking (this was a single storey extension)
- Two storeys may be acceptable if the design is appropriate to the existing building: “Officers consider that a two storey roof extension, in a lightweight appearance, following the rhythm and curve of the lower storeys could respond well to the context “ We clarified that the lightweight appearance doesn’t refer to material type masonry or cladding could be appropriate.
- New Doors to Southwark Street elevation, set within the two of the columns and at the pavement level would not interrupt the rhythm of façade and would likely assist in an improved connection at street level.
- Scope to alter the vaults in the areas where there have been previous alterations or they lack distinctiveness and quality. “At lower and upper ground floor, officers are concerned regarding the whole sale loss of floor plan. The corridor and historic partitions between units are of significance and tell the story of the past uses of the area. Some of these elements should remain with opening up retaining a sense of the divisions which previously existed”
- “Changes to the Atrium - this space and the series of rooms accessed from it is the most significant piece of the Hop Exchange jigsaw. The clunky beams installed in the late 20th century have little aesthetic quality, and require a simple elegant solution which would enhance the interior of this space”
- In conclusion – “Subject to the changes and further detail as set out above, and internal and external consultation, including response from Historic England, the application would likely be successful in gaining and officer recommendation for approval.

Historic England Comments 31.03.2020

- “Historic England broadly welcomes these proposals which seek to enhance some of the building’s most important features such as its main façade and central hall. We also have no major concerns at this stage regarding the proposed roof and lightwell extensions, although more visual testing either at pre-application or application stage would be helpful. We would, however, encourage greater retention of historic features internally where possible”
- “exciting opportunity to enhance the significance of the elevation by reinstating the original fenestration arrangement and paint scheme based on the historic research that has been carried out”

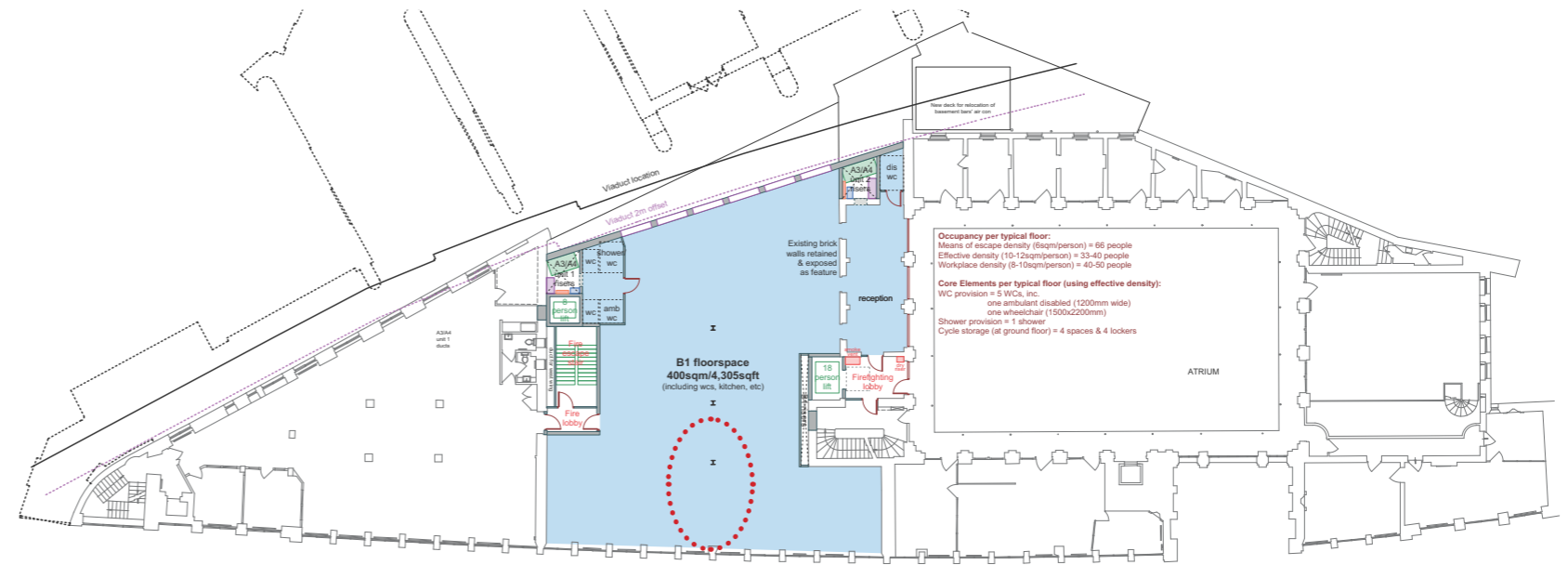


Pre app 1 Submission

Planning History -Pre-application 1 Development 2020

Architectural (Forge Architects)

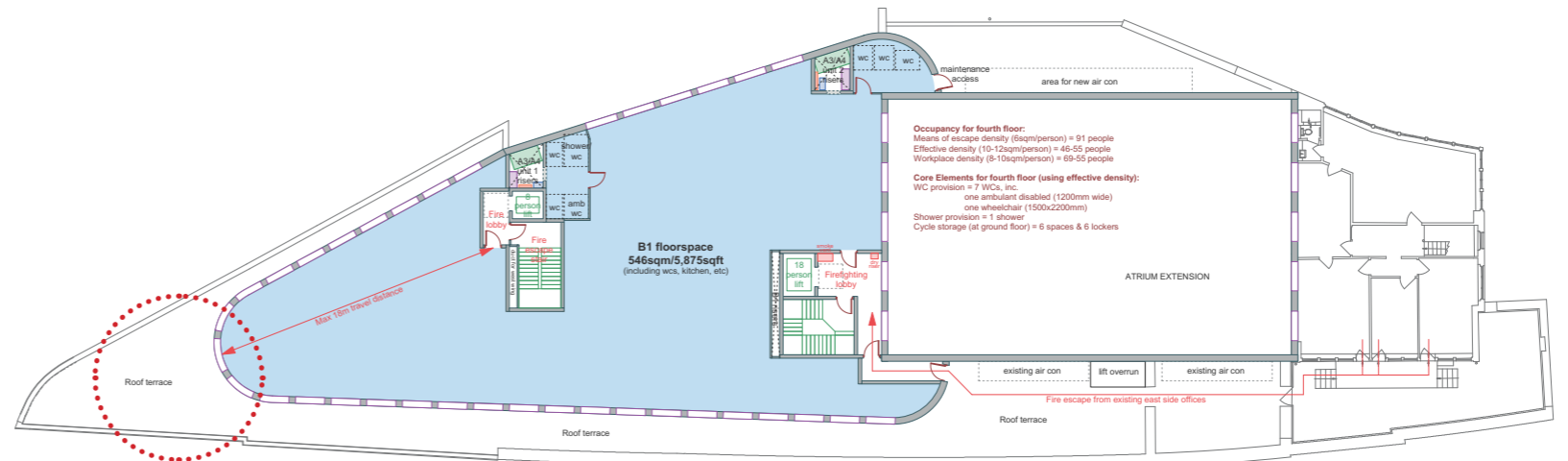
- Retained fireplaces / cast iron columns / features following Historic England comments.
- Historic spine walls retained at upper ground 1st, 2nd & 3rd. (See historic plans in appendix for further details)
- Formal front referencing the rhythm of the bay below becoming increasingly playful to the infill and new entrance at the rear
- Increased Roof amenity with external connection between terraces through additional false facade to the west.
- Reduction of screening to the front of the atrium (east) to balance the facade following addition to the west.
- Atrium referencing original hipped glazing with increase flank/plant areas.
- Limited new palette of materials to the masonry bays and red oxide cladding referenced at rear entrance through to the roof. This cladding will be fundamental to the wayfinding strategy, highlighting circulation and routes throughout the building.



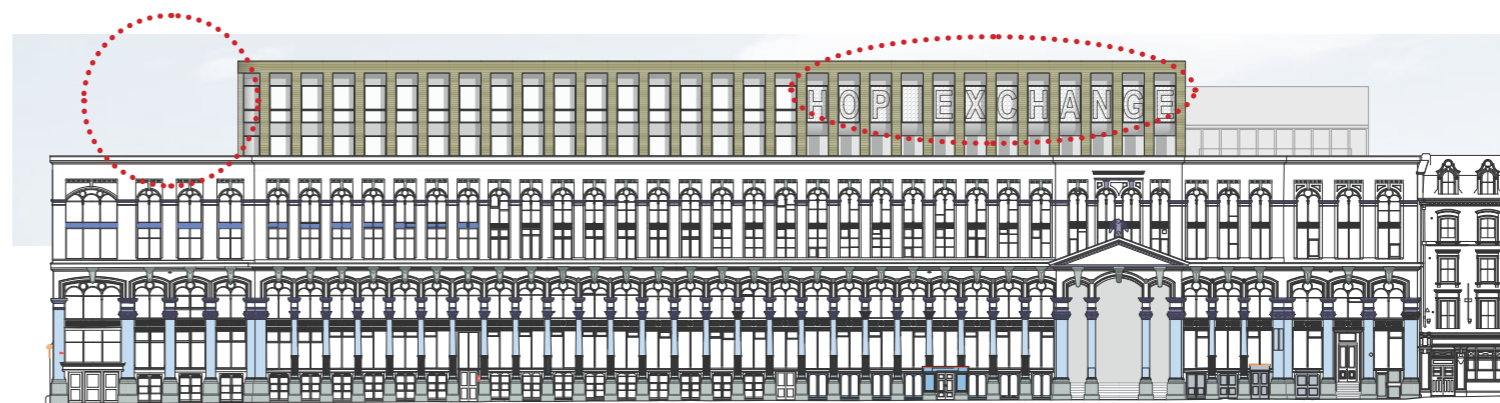
1st-3rd Floor

M&E/BREEAM (Max Fordham)

- Both flanks of atrium extension identified as location for plant.
- Plant to the roof has been reduced to optimise usable roof space as amenity.
- BREEAM /Sustainability strategy has been developed alongside the design.



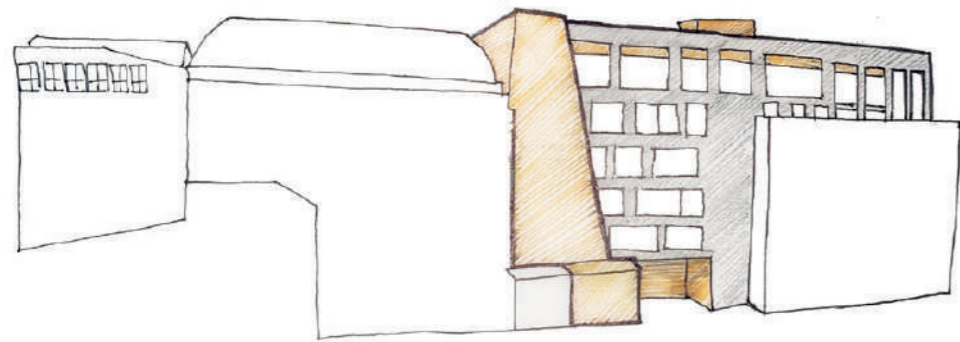
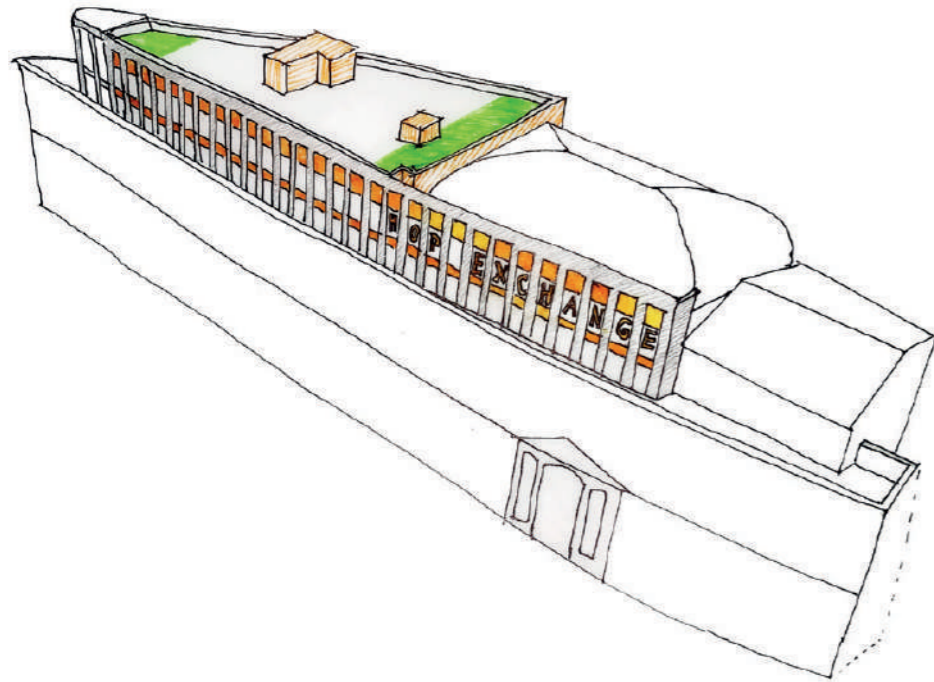
4th-5th Floor



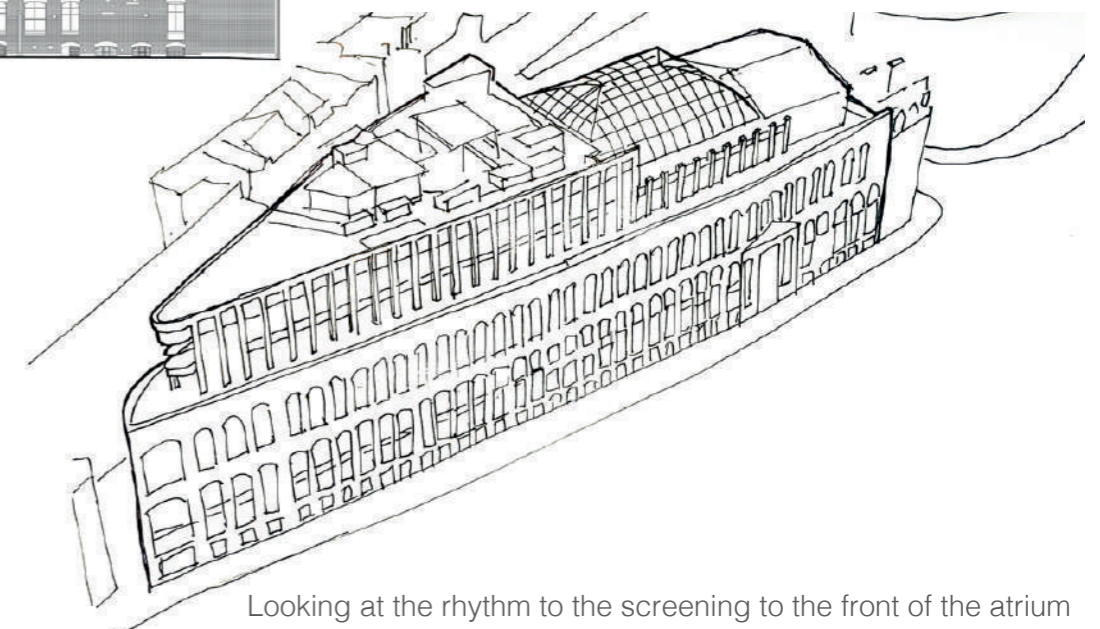
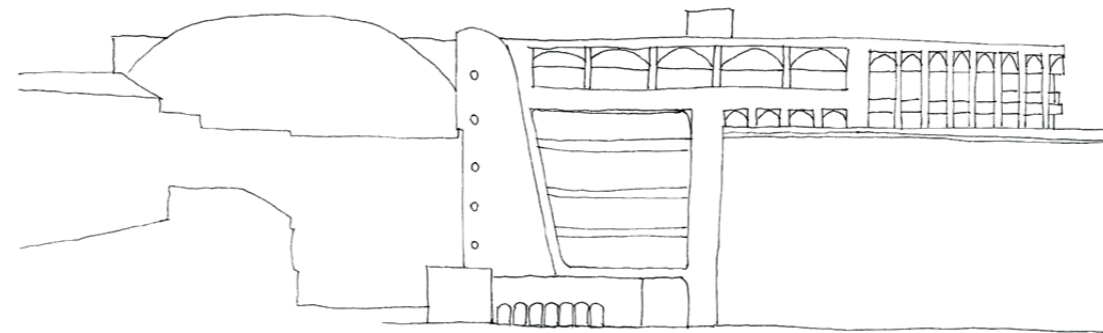
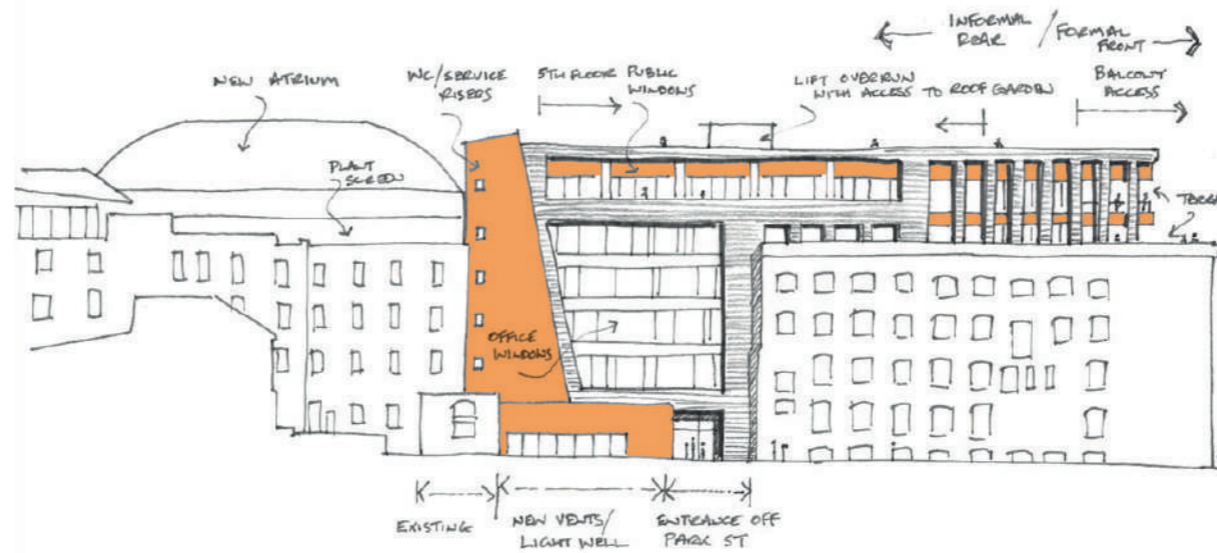
Front Elevation

Amended areas highlighted on pre-app 1 drawings above

Planning History -Pre-application 2 2020



Exploring continuing the rhythm of the windows on the front facade to the rear by breaking the grid down slightly but still retaining strong horizontal and vertical elements



Looking at the rhythm to the screening to the front of the atrium and to the external area over the west wing

Developing a language for the elevations taking the spacing/grid of the formal front facade as a basis.

Initially we were looking to continue this to the rear and create a more playful facade whilst retaining strong horizontal and vertical elements as can be seen on this page.

Initial comments from Historic England

- Principle of Roof Extension acceptable
- Vertical/horizontal relations to be indicated
- Concern over the rear extension being too bold/bulky especially diagonal façade line
- More contextual relationship ties more closely to host building is required.
- Simplification of proportions.
- Atrium roof too contemporary more contextual relationship required
- Atrium focal point of listing.
- Simplification of glazing panels and colour.

Pre-application 2 Comments

London Borough of Southwark Comments 13.01.2021

- Further information required in the application on materials and finishes. Oxide cladding needs further detail/justification.
- Atrium roof needs to be more elegant – further thought required but principle is acceptable.
- Details of joinery to be reviewed at application stage

Historic England Comments 06.11.2020

- “Internally, the most significant change is a notable increase in the retention of historic features within the west wing. The removal of features in order to create an open floorspace was an area of concern to us, and these revisions are therefore strongly welcomed.”
- “We are pleased to see that the emerging roof design has responded to these recommendations in its elegant and understated vaulted form which celebrates the volume of this central part of the listed building. It is clearly an improvement on the existing 1960s structure, and appears to draw influence from the original demolished roof structure on the basis of the historic drawing provided in the document.” More work is required on the panelling positions
- “We are pleased that the scheme as currently presented responds much more successfully to the orderly fenestration arrangement of the Hop Exchange, and of the many other commercial and industrial buildings found in this part of the Borough High Street Conservation Area.”
- “We maintain that we have no in-principle issues with the scale, massing or design of the roof extension at the front of the building. However we would encourage a more comprehensive visual assessment to be provided at application stage so we have a clear understanding of the visual effects on the Hop Exchange in views along Southwark Street.”



Pre app 2 Addendum developed rear elevation following historical study



Pre app 2 Submission

Consultation & Final Proposals

Due to the current COVID restrictions and guidelines on social distancing, the consultation was primarily done online through invitation to webinars and direct engagement with interested stakeholders. (see Cascade SCI Report)

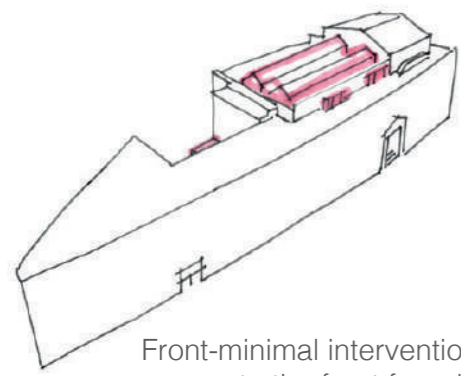
The consultation contacted over 800 addresses including distribution of a newsletter and a project website (www.hopexchangeproposals.co.uk) which was regularly updated to reflect milestones in the design proposals and consultations.

The consultation process has helped shape the proposals and has resulted in support and encouragement from local residents, businesses and interest groups; demonstrating an alignment of values and aspirations for the building and how it interfaces with its surroundings.

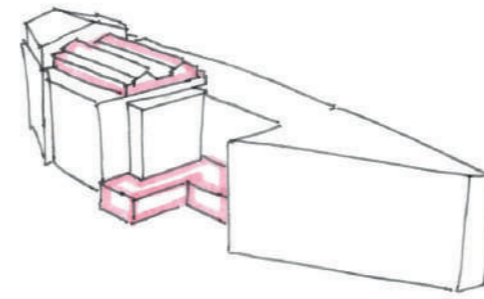
Those consulted were commonly pleased with the proposals to remove some of the less desirable mid-century structures and replace them with structures that are more sympathetic to the heritage architecture and the character of the neighbourhood. Most notably the proposed improvements to the Exchange Hall aesthetic, by way of a new domed glass roof structure was largely applauded.

The new rear entrances and increased permeability from the Low Line, Park Street and level access and activation from Southwark Street were supported. It was generally viewed that these improvements would allow for increased opportunity for public to enjoy the building and was commonly encouraged. It was also considered that the increased accessibility and business offerings would be a positive contribution to the local business eco-system.

Design Proposals- Demolition/Retention



Front-minimal intervention to the front facade



Rear-removal of the atrium roof and single storey element to the rear

Key

- Original 19th century construction
- Early/mid 20th century construction
- Late 20th / early 21st century construction



Demolition

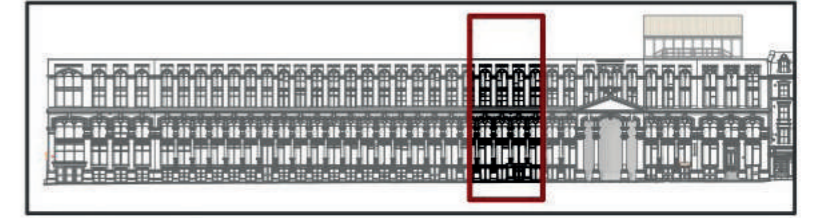
The scheme proposes to remove elements of damage such as the 20th century additions that have been made since the fire that are not in keeping with the Hop Exchange's original material.

- Minimal intervention is to be made to the front facade; new entrances are to be introduced to the restaurant units. Modifications are also to be made to some existing windows on the front facade where openings have been inserted creating additional transoms.
- Removal of the atrium roof and replacing it with a more beneficial steel glazed roof.
- Removal for the single storey modern element to rear.
- Internally the fabric has been retained as much as possible whilst creating an efficient open plan office space. Historic fireplaces, columns and spine walls are being retained where possible. (see plans and historical development for full details of items to be retained)



Design Proposals- Facade Colour Southwark Street

These colours have been taken from an architectural paint investigation carried out by Hirst documented in their report. This document should be read alongside the full report: 'Results of Preliminary Architectural Paint Research to selected features of the exterior The Hop Exchange, Southwark' December 2020



Design Proposals- Past colour scheme studies

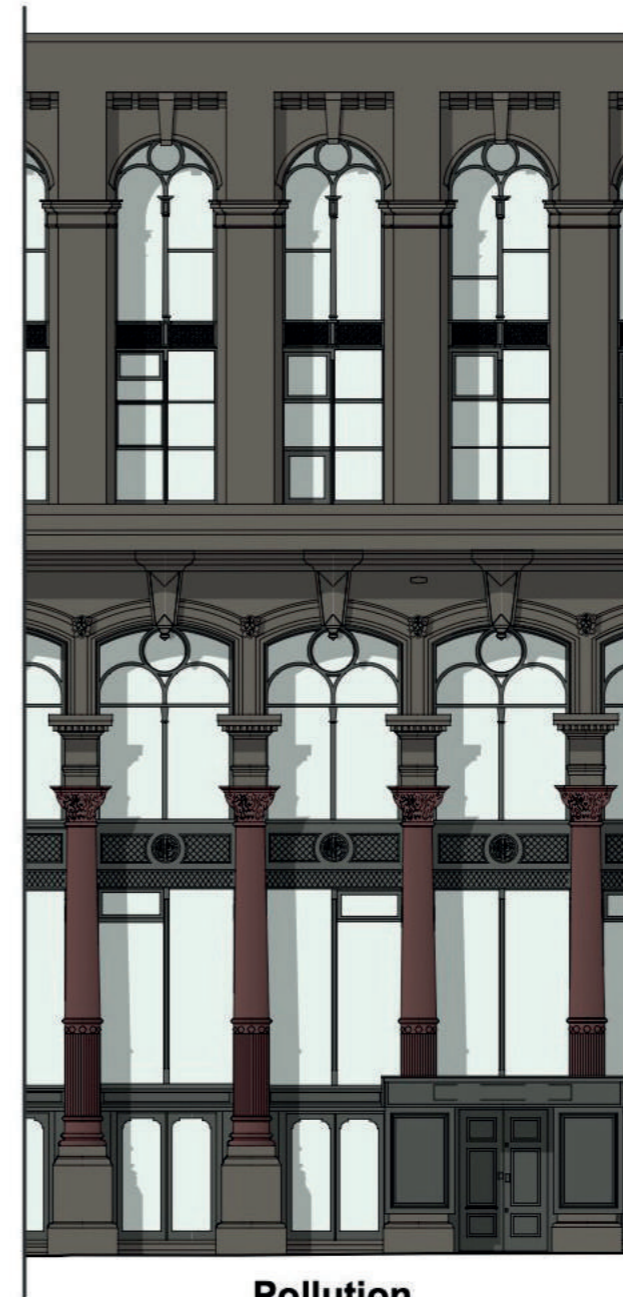


Inception
c.1867

- Window joinery: NCS S3020-Y20R
- Masonry: NCS S1010-Y30R
- Columns: NCS S6030-Y90R

Inception

- There is not enough information to establish that the that masonry was fair faced however the colour however the colour is an accurate a representation of the Hirst possible Stone NCS colour. Due to the fire in 1920 this stonework isn't able to be exposed.
- An assumption has been made that at inception the windows were untreated timber however this is an approximation.
- The red columns shown could be a foundry finish rather than the finished colour. No evidence of red at any other time therefore has been discounted.
- Overall there is not enough evidence to say this combination is exactly as shown therefore we aren't re-establishing this scheme.



Pollution
c.1870

- Window joinery: NCS S8005-G50Y
- Masonry: NCS S8005-Y20R
- Columns: NCS S7020-Y90R

Pollution

- This scheme shows the facade following significant discolouration due to the pollution at the time.
- Range of colours/tones from Hirst report due to uneven pollution discolouration choosing one tone would be arbitrary.
- This is not considered to be a suitable scheme to reinterpret as this wasn't the intended scheme by any party but a colouration due to pollutants.

Design Proposals- Past colour scheme studies

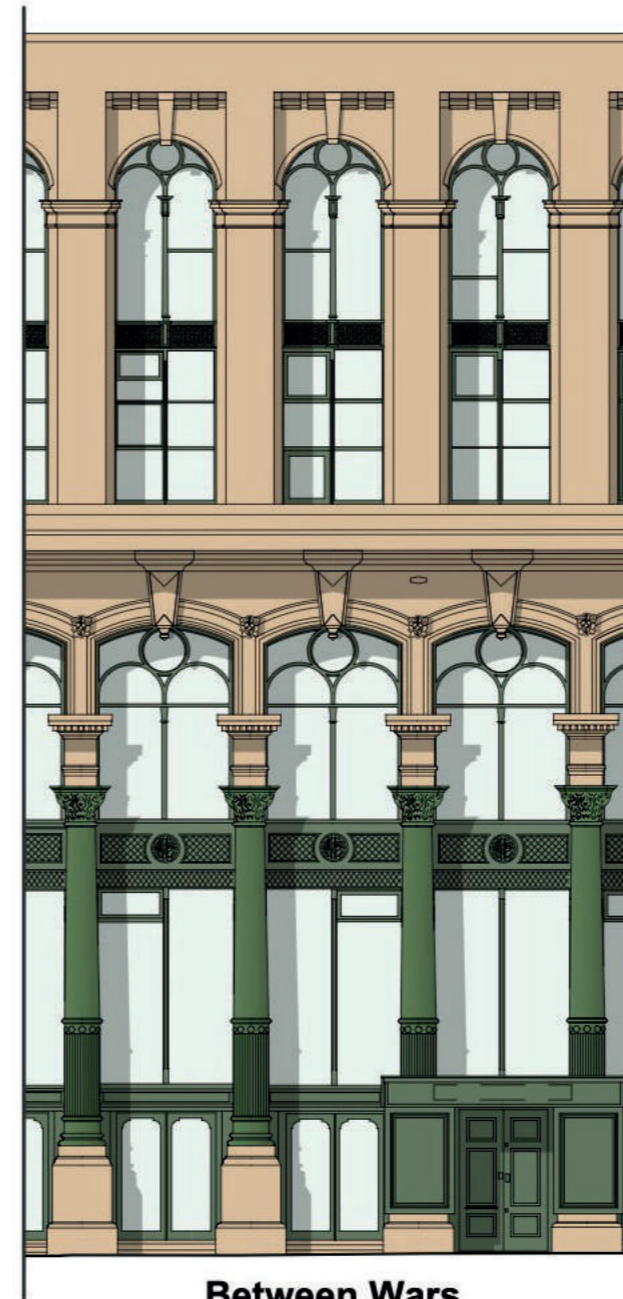


Secondary Phasing
c.1874 - 1920

- Window joinery: NCS S8010-G30Y
- Masonry: NCS S2020-Y20R
- Columns: NCS S6020-G10Y

Secondary Phasing

- The secondary phasing colour scheme is the report's best estimation of the earliest colour scheme. Anything since this date is a variation, and anything before this more an estimation.
- The greens were introduced during this era which have been the most used colour scheme on the building to date.
- Earliest evidence of dark green finish to the windows.
- Assumed masonry colour to the column bases.
- Missing information on the colour of the keystones it is suspected that any decoration was removed prior to redecoration during the later periods.



Between Wars
c.1920 - 1940

- Window joinery: NCS S6010-G30Y
- Masonry: NCS S2020-Y20R
- Columns: NCS S4550-G30Y

Between Wars

- Lighter green colours were introduced, with this scheme taking place post the fire in 1920.
- Missing information on the colour of the keystones it is suspected that any decoration was removed prior to redecoration during later periods.
- Assumed masonry colour to the column bases.

Design Proposals- Past colour scheme studies

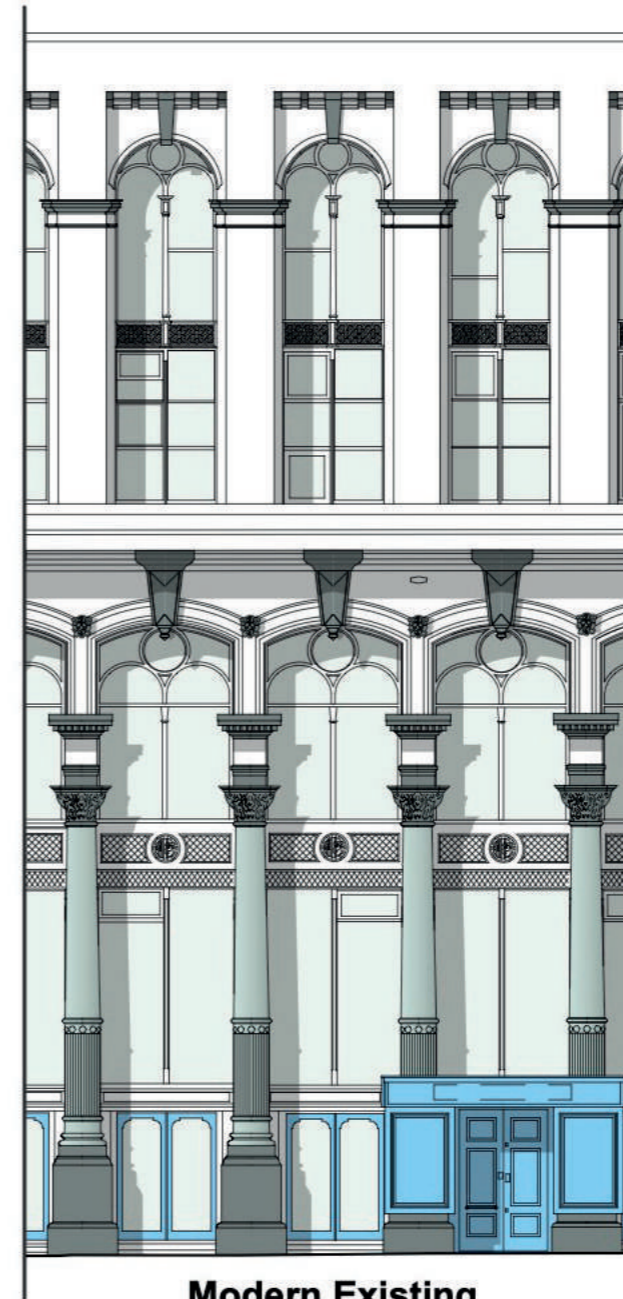


Post Wars
c.1940

- Window joinery: NCS S4040-G10Y
- Masonry: NCS S1010-Y20R
- Columns: NCS S0515-Y20R

Post Wars

- Post the war building colour scheme became more neutral.
- Incomplete evidence on the colours of the column bases, disruption to paint sample therefore masonry colour shown. There is evidence that the bases of the columns were darker within the 60s
- Possible cream keystones evidence unclear.



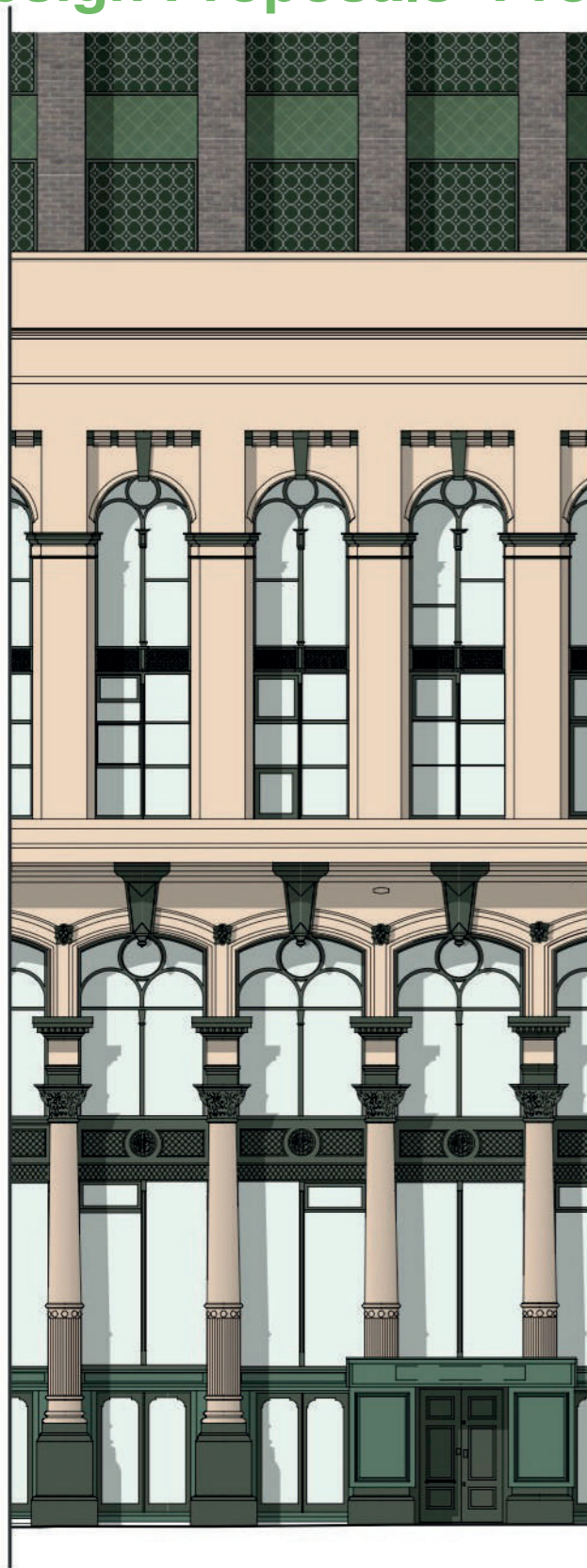
Modern Existing

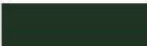
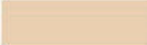
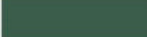
- Window joinery: Grey
- Masonry: Off White
- Columns: Pale Bue
- Door joinery: Sky Blue

Modern (Existing)

- The modern scheme is based on a neutral lighter range of colours with introduction of a modern blue colour.
- The features of the building are lost with the windows and masonry elements being one tone. The rhythm of the columns and windows are lost along the grand formal curved façade.
- To retain the existing colour scheme would be inappropriate to the historic material and a missed opportunity to reinstate and repair some changes that have happened over the years.

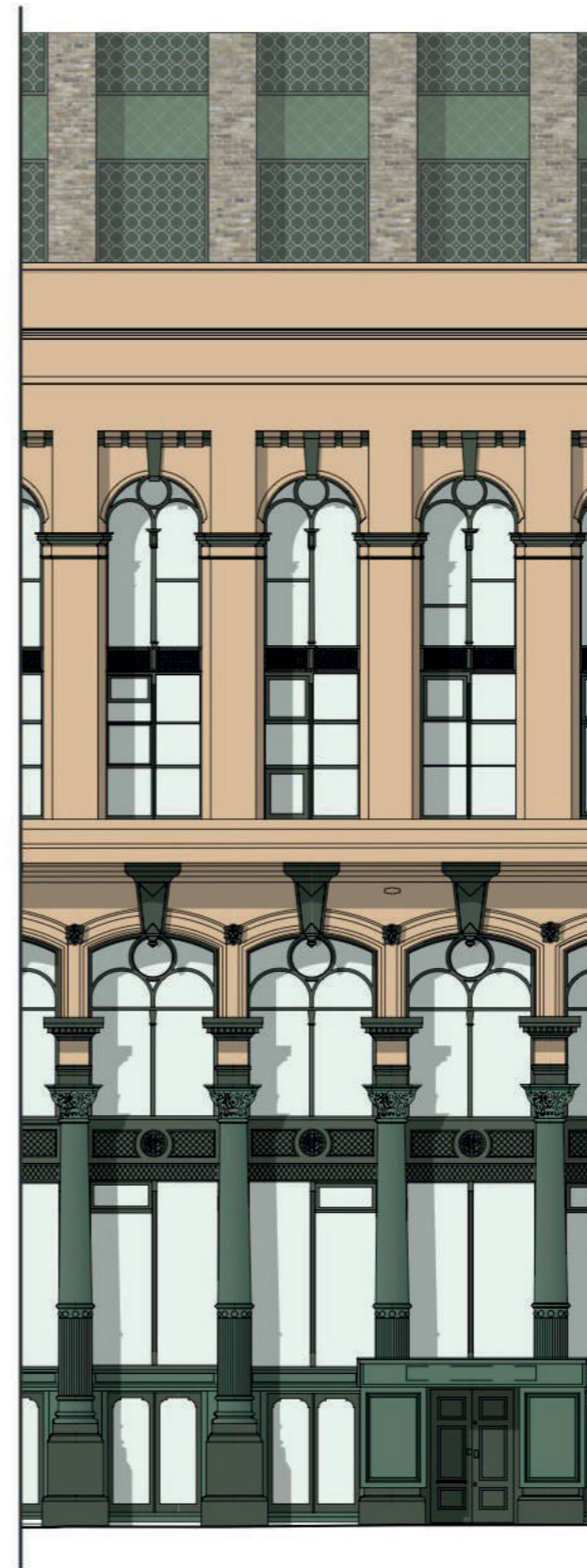
Design Proposals- Proposed colour options

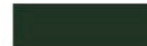




-  Window joinery: NCS S8010-G30Y
-  Masonry & Column: NCS S1010-Y30R
-  Column Base & Ornament: NCS S6020-G10Y

Proposed

- The masonry colour matches that at inception however this is a finish colour rather than stone.
- The columns are to be the same colour as the masonry. The green columns shown within the considered option opposite would have been less dominating against the backdrop of the original full height stone coloured building. Using the same colour pallet overall, but introducing the stone colour to the columns has served to balance out the contrast (necessary due to the loss of building height) and also aligns somewhat with the 1940's scheme
- However the green hues have been reflected within the proposed colour palette of copper or zinc cladding to the extension.
- This proposed scheme shows the earliest recorded window frame colour. This darker tone reintroduces the rhythm of the façade and accentuates the existing reveals.
- The keystones above the windows are to be painted dark as the original stone is unlikely to be restored, thereby protecting it from weathering, and highlighting features of the stonework.
- A complimentary grey brick has been chosen to sit well against the cream masonry colour of the existing.



-  Window joinery: NCS S8010-G30Y
-  Masonry: NCS S2020-Y20R
-  Columns: NCS S6020-G10Y

Considered Option

- This option is based on the secondary scheme which is the earliest known colour scheme.
- The masonry within this option is darker to match that of the secondary phasing. As the air quality today is better than that within the 1920s we feel that the colour within the proposed is preferred.
- The green columns shown within this option have been discounted for the proposed as the dark colour is too dominating on the scaled down facade that remains after the fire.
- All other elements on the existing facade don't vary from option 01.
- A different lighter brick has been chosen on this option to sit against the darker masonry colour.