

KITCHEN GARDEN BARN, WADENHOE,  
NORTHAMPTONSHIRE  
AN HERITAGE IMPACT STATEMENT

A Report by Paul Stamper Heritage

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## **1 INTRODUCTION**

This Heritage Impact Statement has been prepared for the Wadenhoe Trust to support its planning / LBC application to renovate and make minor alterations to a redundant agricultural building – Workshop Barn – and to remove detached modern outbuildings on its south side. This is intended to put the building into a good state of repair. The renovated building will be called Kitchen Garden Barn, and is referred to as such in this report. This project follows on from similar undertakings by the Trust, notably the conversion in 2020 of a neighbouring barn (its two parts now named Trust Barn, and Gable Barn) and a single-storey stable range (Dairy Cottage) for residential and office use.

Workshop Barn is listed at Grade II (see below, Designations), and stands within the setting of several listed buildings within the village's conservation area. Accordingly, as best practice the Trust has already commissioned a separate Level 2 record of the barn from this consultancy, anticipating a planning condition requiring such. This was prepared once the barn had been cleared of a large amount of builder's equipment stored there.

## **2 THE SITE: HISTORY AND DESCRIPTION**

The agricultural building, now and for a long period in general use as what could loosely be termed a barn (as it is here termed for convenience), was probably stables for working horses for much of its history. It has a complex history, and at some stage fairly early in its history – it may have 18<sup>th</sup> century origins, but this is uncertain - was doubled in size. This building, together with the aforementioned barn (Trust Barn, and Gable Barn), the single-storey stable range, and the neighbouring listed dovecote, formed elements of an irregular farmyard, now disused, in the centre of Wadenhoe. It may be that this was historically the home farm of what is now Wadenhoe House (the core of which is of the 1650s), but for the moment that remains uncertain. The later Home Farm was the complex labelled '6' on the 1793 map (Figure 1).

Latterly the barn was used as a builder's store and workshop.

In the later 20<sup>th</sup> century wooden sheds associated with the cultivation of the former kitchen garden were constructed close to the south-east end of the barn.



Figure 1: Map of Wadenhoe 1793 (Wadenhoe Trust) showing location of the barn (ringed). At this date the walled garden to the east had yet to be constructed, and the barn had an extension (later removed) into this area. (Northants RO Map 2847).



Figure 2. OS 25 inch Northants sheet XXVI.4 (1886) showing the barn (ringed) with the walled garden to its east. The barn's eastward extension has been removed.



In 1793 a range of some sort ran off at a right-angle from the barn's north end; no trace of this can be seen in the fabric today. It was presumably removed when Wadenhoe House and its extensive service buildings were substantially reconstructed c.1858 and its walled kitchen garden was introduced abutting the farmyard and barn to the east (Figure 2).

### 3 DESIGNATIONS

The barn is believed to be included in the Grade II-listing of the kitchen garden walls of Wadenhoe House, although the List entry of 1987 (1265355) is brief and rather ambiguous, with what is probably the barn (there described as an outbuilding) variously described as being to the east, and to the north-west, of the garden. The List entry reads (here with bold used for emphasis):

*WADENHOE PILTON ROAD (South side) Kitchen garden walls approx. 20m. W of Wadenhoe House and **attached outbuilding to E** and coach house to NW*

*Kitchen garden walls and **attached outbuilding** and coach house. Mid/late C18. Squared coursed limestone. Buildings have Collyweston slate roofs and walls have ashlar copings. Walls enclose 4 sides of kitchen garden. 2 square-head gateways have gauged stone heads and 2 other gateways have C19 iron gates. **Outbuilding attached to north-west is rectangular plan, single storey with ashlar gable parapets**. Coach house attached to east of T-shape plan, of single storey, with hipped roof, and plank doors in end of projecting wing. Interiors not inspected.*

Also listed is the farmyard's prominent dovecote of c.1800; Dovecote House to its north; The Cottage, which stands north-west of the barn; and South Lodge to the south of the barn's south gable.



Figure 3. To show location of the barn (ringed) relative to nearby listed buildings. (Historic England).

The whole of the former farmstead lies within the Wadenhoe conservation area.

### 3 THE BARN, AND MODERN OUTBUILDINGS: A BRIEF DESCRIPTION

For a fuller description, please see the accompanying Level 2 record.



*Figure 4. The barn from the west, with The Grade II-listed The Cottage to the right.*

The barn is of roughly coursed limestone, now and for a long period with a Collyweston slate roof but with at least its north half originally thatched. Overall the barn is c.25m long and 5m wide internally with six irregular bays. As can be seen to the rear, the east, (although not to the front) it is clear that at some stage, probably early in its history, the barn was doubled in length. The north half, where the gable wall has been raised to support a Collyweston slate, rather than thatched, covering, is the older part. There are three doors to the west side, opening on to the former farmyard; two others are blocked. These, together with two openings to a former loft, suggest the whole range's use, at least at some stage, as stables for working horses. To the rear there is a door from the south part of the barn, perhaps an insertion of c.1858, which opens into the walled garden. There is also a blocked door towards the north end. The gables have triangular ventilator holes, as does the internal mid-point dividing wall, once a gable end. Off the north end is a single-storey outshut, possibly a privy. A 19<sup>th</sup>-century outshut against the south-west end of the barn now forms part of the adjoining property, The Cottage.

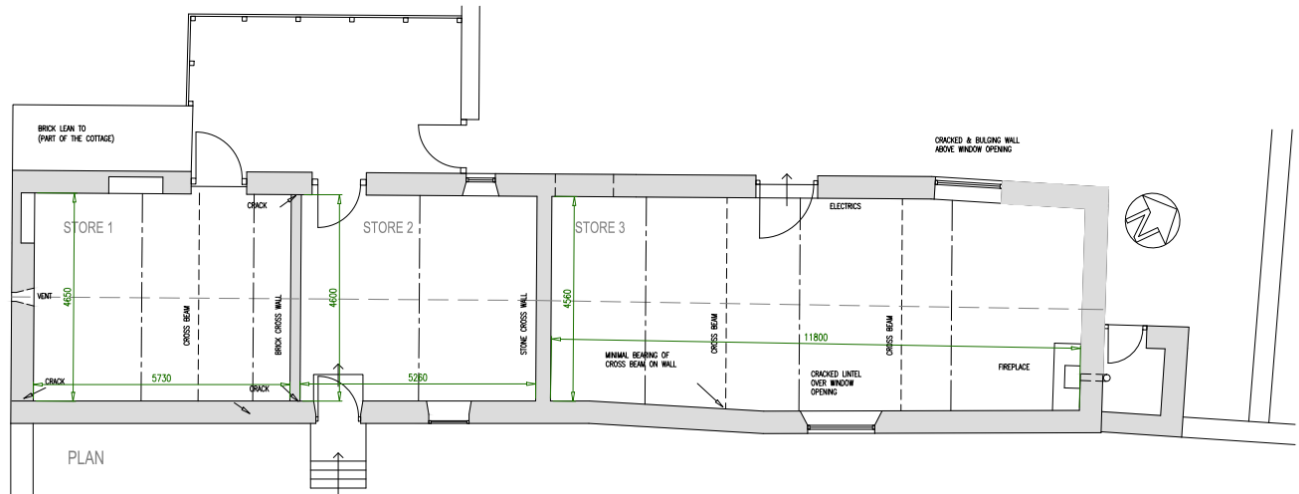


Figure 5. Plan of barn at present (Colin Moore Architect).

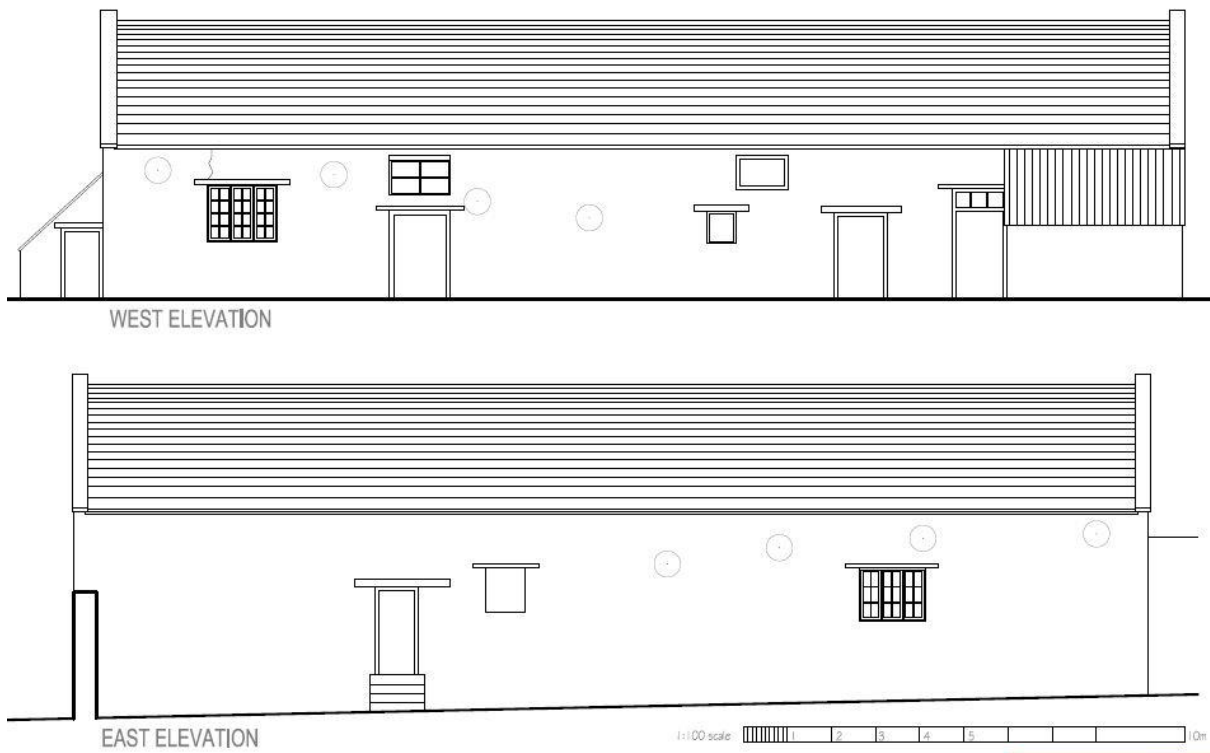


Figure 6. Elevations at present (Colin Moore Architect).

Internally the roofs have been much altered, although some trusses and purlins appear original. The north half of the barn (Store 3 on Figure 5) has a roughly inserted modern loft over its north, end, bay. Below is a probably 19<sup>th</sup>-century fireplace, a farm smithy. Store 2, also with an inserted, perhaps later 19<sup>th</sup>-century, loft is plastered. It opens into the walled garden, and at least latterly was used as an apple store. It is separated from Store 1 by a perhaps early 19<sup>th</sup>-century brick wall. Store 1 itself remains fitted out as a stable, with a part-cobbled, part-brick floor, and a hay rack, although with a wooden trough with tying rings below showing it was also used for cattle. At some stage a door was crudely punched through the gable wall; later this was blocked.



The outbuildings which stand off the south-east corner of the barn are of the later 20<sup>th</sup> century, and are an L-plan arrangement of wooden, felt-roofed sheds (Figures 7-8). These were associated with the cultivation of the adjoining garden.



*Figure 7. The outbuildings, to left of picture.*



*Figure 8. To show the location of the outbuildings when the garden remained in production. (Google Earth 2018).*

## 5 THE BARN RENOVATION PROPOSALS

As noted in the Introduction, the application is to renovate and make minor alterations to the barn, and to remove detached outbuilding on its south side. This is intended to put the barn into a good state of repair. Full details of the proposed works can be found in the accompanying applications, including the schedule of works, reproduced below.

### STRIP OUT

Remove first floor joists, boards and linings from central section of barn.

### COLLYWESTON ROOF

Strip & salvage Collyweston slates. Retain for re-use.

Strip & remove roof battens & rafters. Check wall plates and replace any rotten or infested sections. Provide lateral support to eliminate roof spread.

Principal trusses and purlins to be retained. Check for rot and infestation and repair as necessary. Strengthen existing structural members by adding additional timbers. All works to structural engineer's design and specification.

Remove render from gable copings and prepare masonry for new Clipsham stone gable copings bedded on slate with lead soakers at abutments.

Supply and fix new rafters and battens on semi permeable roof membranes. Trim for three roof windows.

Re-lay Collyweston slates in diminishing courses. Lime mortar fillets at abutments with gable copings.

### RAINWATER GUTTERS & DOWNPIPES

Black powder coated round section gutters on rise and fall brackets and round downpipes.

### MASONRY

Dismantle and rebuild sections of external masonry above window opening in northwest corner and to corner of south east gable.

Carry out Hellfix crack repairs to south gable end wall and at abutment of internal cross walls.

Fill in two window openings on west elevation with masonry in materials coursed to match existing. New masonry recessed 50mm.

Block vent on south gable with stone retaining recess on outside.

Rake out & re-point external masonry with lime mortar flush pointed.

### LINTELS

Check existing lintels for rot and excessive deflection. Replace with new kiln dried oak lintels where existing lintels are incapable of repair.

### EXTERNAL DOORS & WINDOWS

See drawing numbers 20.05.12 & 20.05.14.

All windows & doors are to be replaced with bespoke oak windows and doors glazed with 12mm "heritage" double glazing units. Casement to be flush. Block "antique" window & door furniture.

### ROOF WINDOWS

Velux Conservation roof windows. MK06 (78 x 118)

### FLOORS

Existing floors cleaned down & retained.

### FIXTURES & FITTINGS

Retain fireplace in Store 3. Remove external flue vent & make good masonry.

Retain wooden troughs in Store 1.

### DRAINAGE.

Provide below ground storm water drainage connected into existing system and /or soakaway.

Figure 9. Schedule of work (Colin Moore Architect).

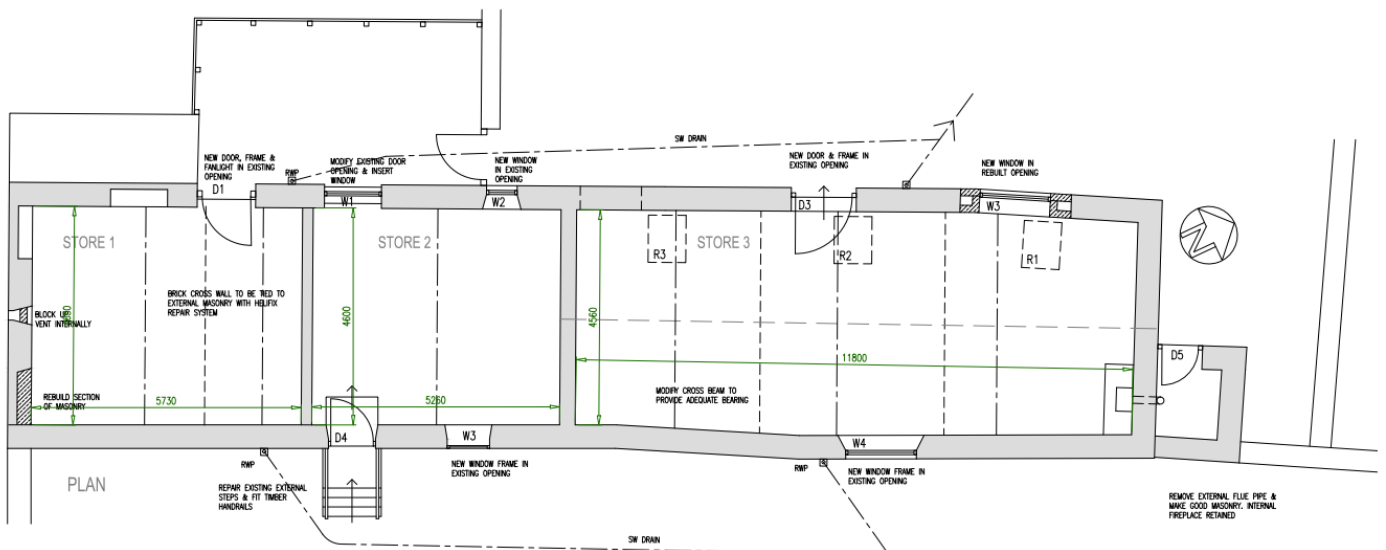




Figure 10. Proposed renovation works (Colin Moore Architect).

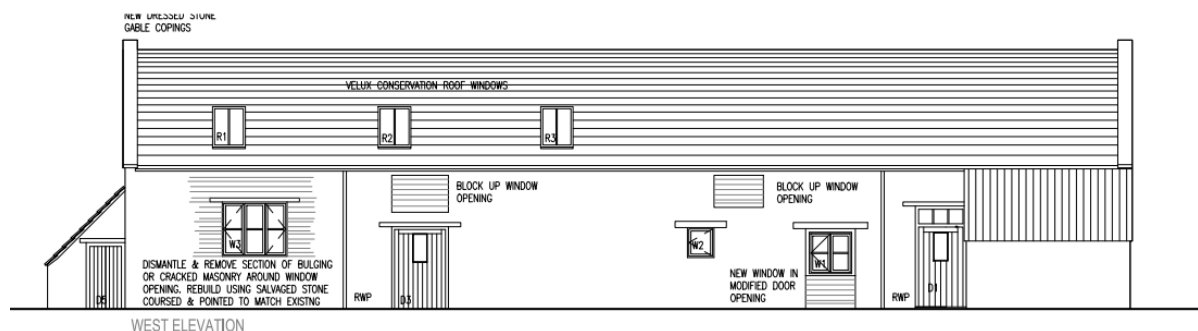


Figure 11. West elevation, as renovated. (Colin Moore Architect).

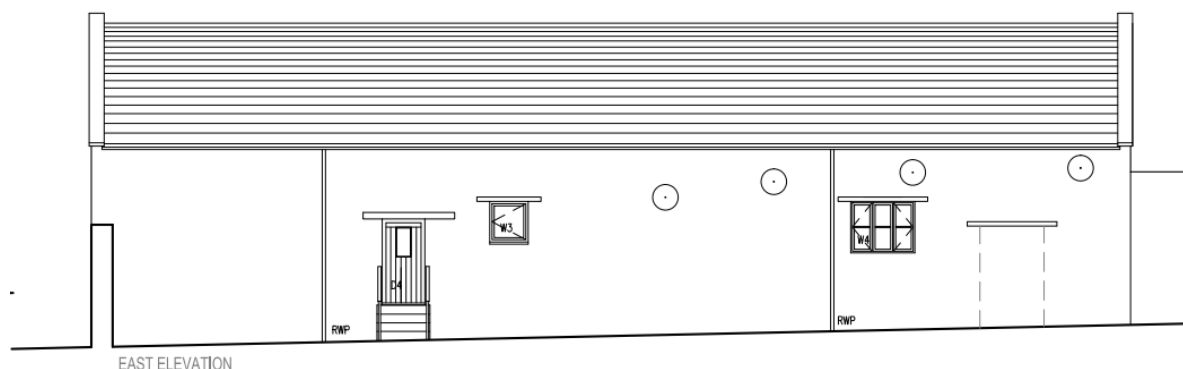


Figure 12. East elevation, as renovated. (Colin Moore Architect).

In summary, the renovation works will see the removal of many poor-quality insertions and alterations of 20th-century date, and the sympathetic repair and conservation of the walls and roof.

## 6 SETTING ISSUES

As noted above (Section 3, Designations), the barn stands within the setting of several listed structures, perhaps most notably The Cottage, to its west (as seen in Figure 4). However, as the successful conversion of Trust Barn, and Gable Barn, alongside the barn shows, a sympathetic repurposing of a redundant building in poor condition can be achieved without detrimental impact either upon the building's defining features and character, or on its setting. In this case, the the barn's renovation will not only ensure the long-term survival of the building, but will also safeguard the settings both of the listed structures, and of the wider conservation area, for generations to come.

The removal of the modern wooden outbuildings to the rear of the barn will improve its setting, and that of this part of the conservation area.

## 7 FORMAL ASSESSMENT

The NPPF requires that for planning applications either related to or impacting on heritage assets a written statement is required (such as the present document) which analyses the history and character of the building or structure, assesses its significance, and sets out the principles of and justification for the proposed works and their impact on the special character of the asset. Any impact on its setting of the structure or that of adjacent listed buildings will also be required.

Impact can be a direct physical one on the asset itself, or an impact on its wider setting, or both. Interventions can be harmful, beneficial, or neutral in effect, as set out below:

### *Very High Impact*

**Adverse:**Impacts will destroy cultural heritage assets resulting in their total loss or almost complete destruction.

**Beneficial:**The proposals would remove or successfully mitigate existing and significant damaging and discordant impacts on assets; allow for the substantial restoration or enhancement of characteristic features.

### *High Impact*

**Adverse:**Impacts will damage cultural heritage assets; result in the loss of the asset's quality and integrity; cause severe damage to key characteristic features or elements; almost complete loss of setting and/or context of the asset. The asset's integrity or setting is almost wholly destroyed or is severely compromised, such that the resource can no longer be appreciated or understood.

**Beneficial:**The proposals would remove or successfully mitigate existing damaging and discordant impacts on assets; allow for the restoration or enhancement of characteristic features; allow the substantial re-establishment of the integrity, understanding and setting for an area or group of features; halt rapid degradation and/or erosion of the heritage resource, safeguarding substantial elements of the heritage resource.

### *Medium Impact*

Adverse: Moderate impact on the asset, but only partially affecting the integrity; partial loss of, or damage to, key characteristics, features or elements; substantially intrusive into the setting and/or would adversely impact upon the context of the asset; loss of the asset for community appreciation. The asset's integrity or setting is damaged but not destroyed so understanding and appreciation is compromised.

Beneficial: Benefit to, or partial restoration of, key characteristics, features or elements; improvement of asset quality; degradation of the asset would be halted; the setting and/or context of the asset would be enhanced and understanding and appreciation is substantially improved; the asset would be brought into community use.

### *Low Impact*

Adverse: Some measurable change in asset's quality or vulnerability; minor loss of or alteration to, one (or maybe more) key characteristics, features or elements; change to the setting would not be overly intrusive or overly diminish the context; community use or understanding would be reduced. The asset's integrity or setting is damaged but understanding and appreciation would only be diminished not compromised.

Beneficial: Minor benefit to, or partial restoration of, one (maybe more) key characteristics, features or elements; some beneficial impact on asset or a stabilisation of negative impacts; slight improvements to the context or setting of the site; community use or understanding and appreciation would be enhanced.

### *Negligible Impact*

Barely discernible change in baseline conditions.

### *Nil Impact*

No discernible change in baseline conditions

<b>Fabric or asset affected and significance</b>	<b>Potential impact</b>	<b>Mitigation</b>
Physical impact on exterior of barn.	Low impact: beneficial	As much as possible existing openings will be retained, and where closed will be left as legible elements of the fabric which can be read. The building is currently in a poor condition, and the extensive repairs, and re-roofing to best conservation standards, will ensure the building's future.
Physical impact on interior of barn.	Low impact: beneficial	Again, the renovation has been planned to respect and retain as much as possible of the original fabric where possible. Intrusive modern additions will be removed.
Impact on setting of nearby listed buildings.	Negligible	There will be very little change to the exterior of the building, whose conservation will ensure its survival as an element of the immediate built environment.
Impact on setting within conservation area.	Negligible	The building's conservation will ensure its survival as an element of the wider



		conservation area. Removal of the modern wooden buildings will be beneficial.
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## 8 CONCLUSIONS

Workshop Barn, if not fully understood, is an agricultural building with a long history of adaptation. Never well-constructed (for instance lacking large quoins) it was probably originally a thatched, three-bay, structure (the north half of the present building). Before 1793, but perhaps not long before, it was doubled in length, and its roof was slightly raised and covered with Collyweston slates. It may have been from this point that the whole range was used as stables for working horses. A range seen on the map of 1793 extending at a right-angle off the barn's north end was presumably removed c.1858 when Wadenhoe House gained a walled garden abutting the barn to the east. Probably from this date the barn became more multi-functional, albeit still with a stable at its south end.

For some considerable time the barn has been effectively redundant, and in low-key use as a builder's store and workshop. Parts are in a poor, if not dangerous, structural condition. The proposed renovation works, which it is acknowledged will inevitably see some fairly minor alterations to its fabric, will safeguard its future. While on private land the barn is, and will be, visible from the listed dovecote to which there is permissive access. Taken overall, the proposed works can be reckoned to have a considerable public benefit.

In conclusion, it is suggested that the proposed works can be consented, and supported.