

**SCHEDULE OF WORKS**

**STRIP OUT**  
Remove first floor joists, boards and linings from central section of barn.

**COLLYWESTON ROOF**  
Strip & salvage Collyweston slates. Retain for re-use.  
Strip & remove roof battens & rafters. Check wall plates and replace any rotten or infested sections. Provide lateral support to eliminate roof spread.  
Principal trusses and purlins to be retained. Check for rot and infestation and repair as necessary. Strengthen existing structural members by adding additional timbers. All works to structural engineer's design and specification.  
Remove render from gable copings and prepare masonry for new Clipsham stone gable copings bedded on slate with lead soakers at abutments.  
Supply and fix new rafters and battens on semi permeable roof membranes. Trim for three roof windows.  
Re-lay Collyweston slates in diminishing courses. Lime mortar fillets at abutments with gable copings.

**RAINWATER GUTTERS & DOWNPIPES**  
Black powder coated round section gutters on rise and fall brackets and round downpipes.

**MASONRY**  
Dismantle and rebuild sections of external masonry above window opening in northwest corner and to corner of south east gable. Carry out Helifix crack repairs to south gable end wall and at abutment of internal cross walls.  
Fill in two window openings on west elevation with masonry in materials coursed to match existing. New masonry recessed 50mm.  
Block vent on south gable with stone retaining recess on outside.  
Rake out & re-point external masonry with lime mortar flush pointed.

**LINTELS**  
Check existing lintels for rot and excessive deflection. Replace with new kiln dried oak lintels where existing lintels are incapable of repair.

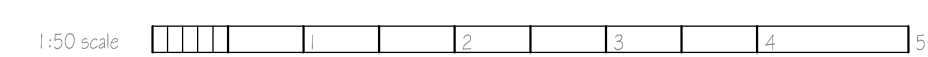
**EXTERNAL DOORS & WINDOWS**  
See drawing numbers 20.05.12 & 20.05.14.  
All windows & doors are to be replaced with bespoke oak windows and doors glazed with 12mm "heritage" double glazing units. Casement to be flush. Block "antique" window & door furniture.

**ROOF WINDOWS**  
Velux Conservation roof windows. MK06 (78 x 118)

**FLOORS**  
Existing floors cleaned down & retained.

**FIXTURES & FITTINGS**  
Retain fireplace in Store 3. Remove external flue vent & make good masonry.  
Retain wooden troughs in Store 1.

**DRAINAGE**  
Provide below ground storm water drainage connected into existing system and/or soakaway.



**PLANNING**

client  
**The Wadenhoe Trust**

project  
**Kitchen Garden Barn Wadenhoe**

drawing  
**Proposed Plan, Elevations & Section**

**CMPS**  
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scale 1:100 1:50 @ A1 drawing no.  
date **22.06.21.** **20.05/11**