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Woodlay Farm, Herodsfoot,
Liskeard, Cornwall, PL14 4RB

OAKWRIGHTS®

PLANNING, DESIGN & ACCESS STATEMENT



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Introduction

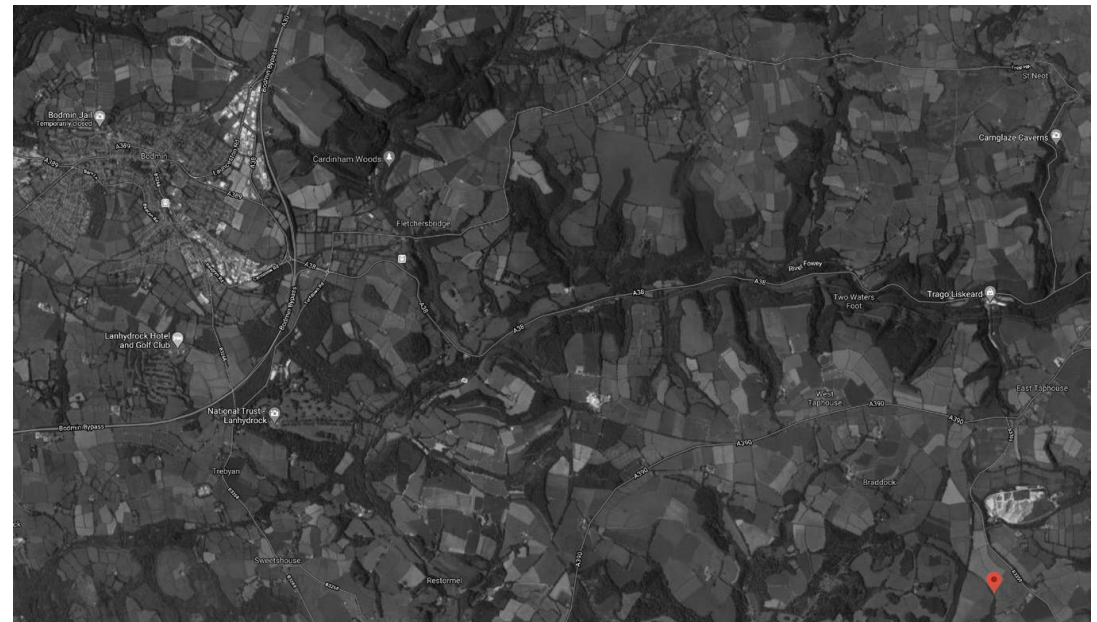
This Planning, Design & Access statement has been prepared to support an application for a replacement dwelling at:

Woodlay Farm
Herodsfoot
Liskeard
Cornwall
PL14 4RB



Location

The site is currently within a rural settlement of Herodsfoot. The area itself is in an Area of great Landscape value in accordance with the Cornwall Local Plan 2016. The site is just an **18-minute** drive to Bodmin. We will demonstrate the circumstances for a replacement dwelling in this location and how the proposal has a positive impact on the site and surrounding area.



Site Description

Our clients would like to replace the current house and garage and adapt the new dwelling over the existing footprint of the bungalow.

The site is alongside a busy noisy road embedded behind thick and mature trees and shrubbery. The site is not visible from the road and it is not visible from the surrounding lands. The mature trees surrounding the site ensure no visual impairment on the Area of Great Landscape surrounding.

Our clients know the area well, they currently live and work nearby and are embedded in the local community. They are keen to have this new dwelling for their Lifetime Home. The construction of a replacement dwelling will ensure the site is maintained and will bring life to an unused house.

Site Levels

It is proposed that the independent levels associated with the proposed dwelling are to be as follows.

Existing External Level	174.93 m
Proposed External Level	173.79 m
Ground Floor	+0.15 m
First Floor	+3.15 m
Ridge Height	+7.9 m

The proposed parking area and landscaping will largely follow the existing levels.

Site Photos

The image below shows that the house is well screened from the road with established mature trees, as seen on the photo from Google street view.



Google street view

Site Planning History

In 2017. Council Ref: PA17/05711. 'Erection of replacement store and stable block housing stables, vehicle, tank/feed room, and outdoor sand school.' This was approved with conditions; for the stables to be used for private purposes, and for no outside lighting to safeguard the character of the landscape.

- In 2014. Council Ref: PA14/00786. Electricity Connection to Wind Farm. This was withdrawn.

- In 2013. Council Ref: PA13/02033. Outline Planning for an agricultural worker's dwelling and associated access. It is noted one of the constraints stated area susceptible to ground water flood. The consultees included Lanreath Parish Council, Environmental Health, and Highways. This was withdrawn.

- In 2012. Council Ref's: PA12/09461 and PA12/09458. Retrospective Planning for the siting of an agricultural livestock building and a general-purpose agricultural building. This related to a previous application in 2008 08/01136/FUL. We note this application listed the landscaping species of various trees and hedging that had been planted. This application was approved without condition.

- In 2008. Council Ref: E2/08/00022/FUL. 'Loft conversion to create two additional bedrooms and lounge area to include installation of four dormer windows. Construction of timber verandah and decking with glazed lean-to roof to front elevation'. This came after a refusal for the development of the bungalow in 2007, whereby the design was considered to be too overbearing for the existing form.

- In 2000. Council Ref: E2/00/00256/PNA. Prior notification for the construction of general purposed agricultural shed.

Site History

There is an existing 1930's dormer bungalow that was extended to create dormers in 2008, with an existing garage on the site which is the dwelling for replacement. There is an existing road access into the site from the west. The barns and stables to the east and the fields beyond also belong to the clients.

Planning Policies

The following national and local planning policies that are of particular relevance to the application proposal have been taken account of in the design process.

National Planning Policy Framework

Paragraph 14- A presumption in favour of sustainable development

Paragraph 49 – A presumption in favour of housing applications

Paragraph 58 – Ensuring high quality development

Paragraphs 60 & 63 – Encouraging innovative design

Cornwall Local Plan 2010-2030:

Policy 7 – Housing in the countryside

Policy 12 - Design

Lanreath Parish NDP: Policy EE1: Carbon Reduction, Energy Efficiency and Renewable Energy Generation

Lanreath Parish NDP: Policy H2 – New Housing Design Considerations Policy H2: Justification

NATIONAL PLANNING POLICY FRAMEWORK (NPPF)

“At the heart of the NPPF is a presumption in favour of sustainable development, which should be seen as a golden thread running through both planning and decision-taking. (Paragraph 14) For plan-making this means that: local planning authorities should positively seek opportunities to meet the development needs in their area.

Housing applications should be considered in the context of the presumption in favour of sustainable development. Relevant policies for the supply of housing should not be considered up to date if the local planning authority cannot demonstrate a five-year supply of deliverable housing sites (p. 49).

Planning decisions should aim to ensure that developments will function well and add to the overall quality of the area, establish a strong sense of place, optimise the potential of the site to accommodate development, create safe and accessible environments and are visually attractive as a result of good architecture and appropriate landscaping (paragraph 58).

Planning decisions should not attempt to impose architectural styles or particular tastes and they should not stifle innovation, originality or initiative through unsubstantiated requirements to conform to certain development forms or styles (paragraph 60). In determining applications, great weight should be given to outstanding or innovative designs which help raise the standard of design more generally in the area (paragraph 63).”

Local Policies, Cornwall Local Plan 2010-2030:***Policy 7 – Housing in the countryside***

“The development of new homes in the open countryside will only be permitted where there are special circumstances. New dwellings will be restricted to:

1. Replacement dwellings broadly comparable to the size, scale and bulk of the dwelling being replaced and of an appropriate scale and character to their location.....”

And the guidance notes to Policy 7 explain the term broadly comparable:

“The CLP policies are not designed to be read in isolation and should form part of an overall balance with other relevant policies e.g. design, natural environment and historic environment.

- The aim of the CLP is to provide new and better-quality housing, therefore the replacement of poor quality dwellings in the countryside should be encouraged.*

- The term ‘broadly comparable’ should not be narrowly interpreted and account should be taken of the size of the site and character of the area; a dogmatic approach should not be adopted. Size is only one part of the consideration. A dwelling that is well designed and appropriate to the scale and character of its location is likely to be considered ‘broadly comparable’.”*

Policy 12 Design

“As part of a comprehensive place-shaping approach, proposals will be judged against fundamental design principles of:

a. character – creating places with their own identity and promoting local distinctiveness while not preventing or discouraging appropriate innovation. Being of an appropriate scale, density, layout, height and mass with a clear understanding and response to its landscape, seascape and townscape setting; and

b. layout – provide continuity with the existing built form and respect and work with the natural and historic environment; high quality safe private and public spaces; and improve perceptions of safety by overlooking of public space;

and

c. movement – creating a network of safe well-connected routes which are easy to read and navigate by the use of landmarks, spaces, views and intersections; and

d. adaptability, inclusiveness, resilience and diversity – building structures can be easily altered, particularly internally, to respond to both climate change and changing social and economic conditions and provide a mix and pattern of uses; and

e. engagement process – undertaking community engagement, involvement and consultation in the design process proportionate to the scheme.”

Lanreath Parish NDP: Policy EE1: Carbon Reduction, Energy Efficiency and Renewable Energy Generation

“i) Development Proposals for small scale carbon reduction or energy saving / renewable generation development will be permitted where the development:

c) positively contributes to a low carbon future and sustainable development of the Parish

ii) Residential and Commercial Developments shall be viewed favourably if at least 10% of the energy requirement of the development is provided by on-site renewable energy generation or where the design exceeds current building regulations in respect of energy efficiency and the proposal complies with other policy in the development plan. “

Our proposal includes for ground source heat pump and solar panels as renewables to meet the above policy. The wall and roof encapsulation system of Oakwrights provide superior insulation far exceeding the current Building Regulations (see below in Oak Frame and Encapsulation).

Lanreath Parish NDP: Policy H2 – New Housing Design Considerations Policy H2: Justification

“Houses in the Parish and village of Lanreath include a diverse range of architectural styles from the granite mullioned, lead light windowed Grade II listed 17th Century Court Barton Farmhouse and traditional Cornish stone and cob slate-roofed cottages and farmhouses, to tiled roof bungalows and modern energy efficient housing with rendered elevations. Any new development should contribute to this variety, while at the same time being sympathetic to the existing character of the area. This policy does not restrict development but challenges developers to deliver innovative development of high-quality design that responds to its surroundings and is appropriate for the area.”

In relation to rural housing, the NPPF states at paragraph 77 that: *“In rural areas, planning policies and decisions should be responsible to local circumstances and support housing developments that reflect local needs.”*

Paragraph 103 discusses the need to promote sustainable transport choices. It highlights that “significant development” should be focused on locations which are or can be made sustainable. It follows therefore that not all development, particularly development that is not significant, can or should be located in a sustainable location.

“The planning system should actively manage patterns of growth in support of these objectives. Significant development should be focused on locations which are or can be made sustainable, through limiting the need to travel and offering a genuine choice of transport modes. This can help to reduce congestion and emissions and improve air quality and public health. ”

The paragraph continues to say in relation to rural areas that:

“Opportunities to maximise sustainable transport solutions will vary between urban and rural areas, and this should be taken into account in both plan-making and decision-making.”

There is a clear distinction between significant and non-significant development and the transport solutions available between urban and rural areas.

In terms of visual impact, the proposed development is of an extremely high design standard. The design and choice of materials are considered to be sympathetic to this rural location. The ridge height of the dwelling is entirely appropriate – it’s 850 mm above the existing ridge height as we have used the land slope to reduce the height of the proposal. Given these factors, it is not considered that any visual harm would result from the scheme.

Given the design of the dwelling coupled with the fact that the proposed development would not conflict with any of the policies it is not considered that there would be any more than a negligible decrease in the landscape as a result of the proposals.

Cornwall Design Guide

“5.21 Topic: Building form and materials

5.22 Cornwall has a wide variety of building types and architectural styles. It can be difficult to identify what is traditionally Cornish or what is traditional to the immediate locality, but most successful developments use materials that are available locally e,g, stone, slate and rendered finishes. There is a huge variety of building forms across Cornwall, but a recurring feature is the efficient use of land and use of often dense forms in towns and villages. There is wide use of terraced forms to respond to and take advantage of sloping sites. In more rural areas, small huddles of buildings and farmsteads nestle into the landscape, creating a pattern of development that looks at home in the landscape.

5.23 Materials are often the most immediately distinctive features and have a key influence on the form and appearance of buildings. As building techniques have evolved materials are often less directly related to the form of the building (and may not even be structural), providing more opportunity to innovate. Cornish buildings tend to be simple in their use of materials and

finishes, rarely using more than two or three different materials in one building. Traditional and contemporary forms should take their cue from this and reduce the palette of materials used to avoid visual clutter.”

Assessment of the proposal

The site is not within a defined settlement and is away from local services.

A relationship between development and supporting services was considered by Mrs Justice Lang in the High Court (Braintree v SoSCLG, Greyread Limited and Granville Developments Limited, October 2017):

“NPPF 55 cannot be read as policy against development in settlements without facilities and services since it expressly recognises that development in a small village may enhance and maintain services in neighbouring villages, as people travel to use the. The PPG advises that “all settlements can play a role in delivering sustainable development in rural areas, and so blanket policies restricting housing development in some settlements and preventing other settlements from expanding should be avoided...”

In relation to rural transport choice, Mrs Justice Land commented that:

“But as the PPG states, NPPF 29 and 34 recognise that the general policy in favour of located development where travel is minimised, and use of public transport maximised, has to be sufficiently flexible to take into account of the differences between urban and rural areas.”

In accordance with the conclusions of Mrs Justice Lang, the proposed location is not isolated, would support services and social sustainability in the surrounding area, and the application of a flexible approach to the availability of transport choices should be applied.

The proposal meets the requirement of sustainable development. It would provide a social benefit of a new high-quality home in the local area. Our clients would support the surrounding communities. Economically, there would be a gain to local trades and businesses during construction and fit out of the building. Environmentally, the development would be highly energy efficient, utilising low carbon and renewable energy technologies.

Design Brief

This application is to replace an existing house and garage with a purpose-built single residential property. This has several advantages:

- The opportunity to develop proposals significantly more visually congruous and in-keeping with the setting and rural context, in particularly

utilising high-quality, natural external finishes and materials, in addition to a green oak structural frame.

- A purpose-built external envelope which provides the opportunity to include significantly improved thermal and environmental performance over conversion of a steel barn.
- The opportunity to develop a layout and appearance aligned more closely with the client's brief and requirements, to provide a single, adaptable dwelling suitable for their current and future needs.

The client has lived in the neighbourhood for many years and are now looking to downsize into a Lifetime Home.

Given the rural context, local vernacular and existing dwelling on the site the proposed new dwelling will be an agricultural farmhouse. The client has proposed a reasonable position for a 3 Bedroom home, plans show that careful consideration has been given to the orientation of the replacement property.

The house is set back from the road on the existing footprint. This with thick trees and shrubbery will minimise any additional impact on the surrounding areas.

Design and Scale

We have assessed the scale of the proposed dwelling in context with its immediate surroundings and the wider area as a whole. The new proposal has been carefully developed taking into account the existing house and rural setting. The ridge height has been deliberately kept low over the house to reduce impact of development on the site. The footprint and massing have been closely aligned with the existing. A deliberate, traditional 'farm-type' appearance has been developed, retaining and enhancing the rural character.

Design Development

Views and orientation were significant considerations, glazed elevations face east, providing good solar gain and a high-quality day-lit internal environment. As discussed earlier, the mass, position, size and height of the existing barns were carefully considered to ensure that the proposals closely aligned with the existing context.

Developing the design in 3D ensures that the overall scale, mass and views in and out of the plot were taken into due consideration. The use of an oak frame is integral to the aspirations of the clients, however this will predominantly be an internal structural Post & Beam style frame with only part oak on the outside, principally the oak framed porch and glazed structure to the east. The porch structures will provide external oak delineating the entrances. By eliminating the penetration of the external

skin, it allows us to produce a very energy efficient building envelope to reduce the heating demand. This ensures that the thermal performance of the dwelling will be considerably improved over the proposals to convert the existing steel framed barn.

The roof form in particular has been designed to be considerably more in-keeping to the context. A steeper (47.5degree) roof pitch has been utilised, rather than the more contemporary shallow pitched one, while still maintaining a low ridge height.

The proposal is to demolish the existing house and garage. The proposed new replacement dwelling and garage will be storey and a half in height – this is to keep with the low ridge of the current buildings on site. The existing house and garage have floor area of 260 GIA m² combined (house - 200 m², garage – 60 m²).

The proposal is for 280 GIA m² for the replacement house plus 57 m² for the garage, which is a total of 337 m². This is an increase of 30% in the built floor area and the proposal is also a consolidation of the built form thus reducing the visual impact on the site.

Access, Refuse and Recycling, Trees and Boundaries

ACCESS

The access arrangements will follow the existing gate and drive.

REFUSE AND RECYCLING

The existing access to Woodlay Farm and refuse collection arrangements will be retained (bin storage area also shown on drawing 2010347-02.C), with a collection point to the south-west of the parking area.

TREES AND BOUNDARIES

The carefully considered landscape proposals work alongside the existing boundary vegetation to shelter the development ensuring it has minimal impact on the surrounding landscape. Existing boundaries and treatments will be retained, ensuring the rural and agricultural character of the area are conserved.

Oak Frame and WrightWall Encapsulation

Our proposal is for a new-build house, built using our 'post and beam' style oak frame, i.e. the oak structure inside the building, wrapped using our very energy efficient encapsulation system, achieving excellent U-values. Utilising the principles of "Fabric First", the proposed dwelling is to employ superior wall, floor and roof systems in conjunction with fenestration in excess of the efficiency required for Building Regulations. This will provide a highly insulated, well-detailed envelope that will give the dwelling a high level of energy efficiency and internal comfort. The majority of the systems proposed are to be manufactured off-site thus reducing the build time, processes, associated noises and heavy vehicle traffic of a construction site. WrightWall provides a slim and efficient wall build up, designed to accommodate multiple external finishes. WrightWall is designed to ensure a fully integrated process between frame and shell, using the same innovative software employed to design your oak frame. WrightWall manufactured off site, reducing onsite time for you and our dedicated site team who will assemble the system; ensuring the highest level of quality control throughout the process. The WrightWall encapsulation system provides exceptional thermal performance, ensuring a warm home.

ADVANTAGES OF WRIGHTWALL AND ROOF PANELS

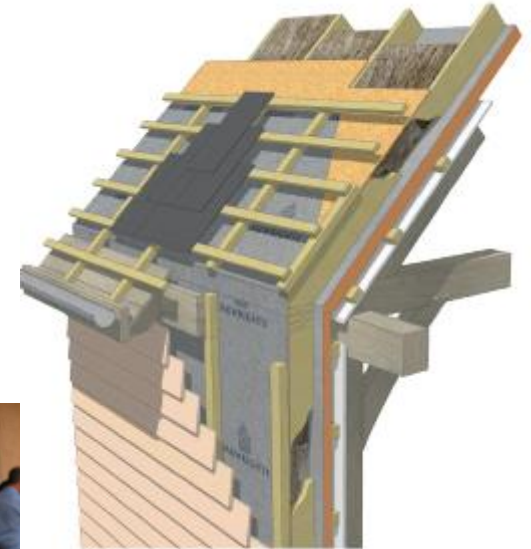
- Cost effective encapsulation system resulting in further energy efficiency.

- Large format panels manufactured off site to maintain high quality.

- Additional insulation upgrades available if required; made possible by bespoke design.

- Wall, floor and roof panel is designed to fit smoothly together creating a shell ready to be made airtight.

- One build team look after the oak frame and the installation of the panel system generating close attention to detail and a seamless process.



Oak Frame

The primary structure of the home will be a bespoke Green Oak Frame, designed and constructed in-house by Oakwrights, locally here in Herefordshire. This robust and charming system will age with the property and produce unique character. We strive to produce a high build quality and that begins with the frame. All Oakwrights designers take shrinkage into account creating joints, pegs and holes accordingly; over time the shrinkage pulls the joints even tighter and strengthens the frame.

Oakwrights have built hundreds of individual private houses across the UK and are a leading oak-frame manufacturer; believing great detailing and understanding of the oak frame is key when creating a quality oak-framed build. We are happy to show the Council local precedents. We note there will be planning conditions to adhere to at the full planning application

stage.



Energy and Water

ENERGY CONSERVATION AND SUSTAINABILITY

Using the principle of “Fabric First”, the proposed dwelling is to employ superior wall, floor and roof systems in conjunction with fenestration in excess of the efficiency required for Building Regulations. This will provide a highly insulated, well-detailed envelope that will give the dwelling a high level of energy efficiency and internal comfort.

The majority of the systems are proposed to be manufactured offsite thus reducing the build time, processes, associated noises and heavy vehicle traffic of a construction site.

All materials used in the construction are to be from sustainable sources.



WASTE WATER MANAGEMENT

Wherever practical all hard surfacing will be laid using permeable materials in order to reduce run-off.

The driveway is proposed to be tarmac as the existing one and surface water from roofs will be directed into soakways contained within the site boundary. Foul drainage will be via a new packaged treatment works on site.

Conclusion

This statement and accompanying drawings outline the key proposals of the development, which have been carefully considered to meet both the client's requirements and be as considerate as possible to the surrounding context by not over developing the site. We believe that the proposal is appropriate to the area and would lead to a more positive contribution over and above the existing structures.

The position, scale, height and mass of the proposals have been closely aligned with the existing barn, ensuring a smaller potential for any harm to the wider context.

The proposal includes high quality, natural materials for the external finishes, providing a more in-keeping appearance, complimenting the

existing mature farmhouse and the wider rural context. Brick/render and slates provide a more congruous appearance.

The proposed development is sustainable and meets the three requirements of the NPPF, fulfilling a social, economic and environmental role. There are no other policies in the NPPF that protect designations that would direct the Planning Authority to refuse planning permission.

Landscaping has been considered and indicatively drawn to complement the existing boundaries and to shelter the development ensuring it has minimal impact on the surroundings.

The accompanying drawings include details of layout, access, scale, landscaping and appearance, and are in accordance with local and national planning policy objectives. The proposal will preserve and enhance the character and appearance of the immediate surrounding area. We consider the proposals to make efficient use of land, improve the site from its existing state and respect the adjacent property and the rural setting.