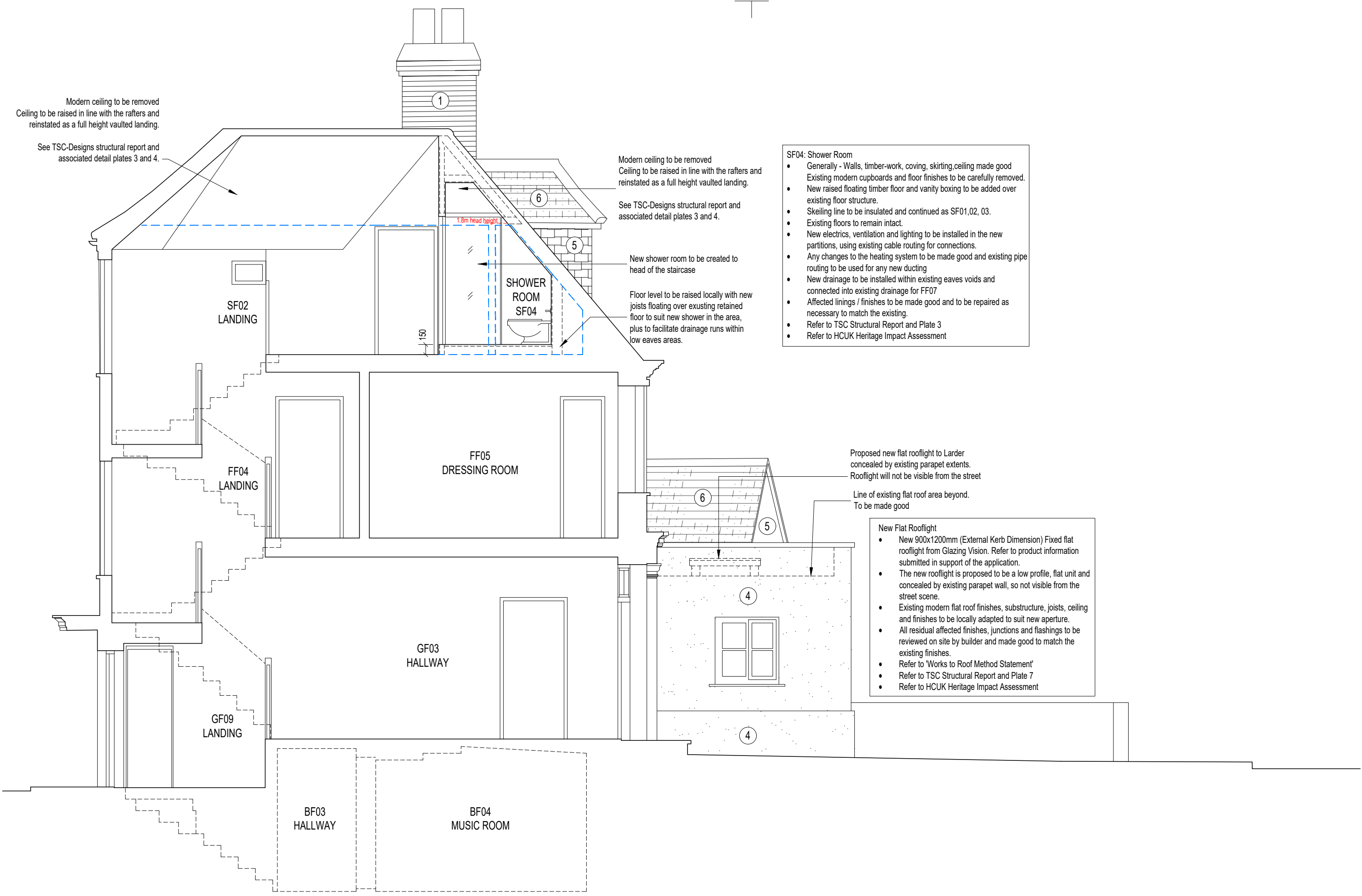


DO NOT SCALE FROM THIS DRAWING.
 Except for planning purposes. All dimensions must be verified by the main contractor before the commencement on site of any item of work or the preparation of shop drawings for their own work or that of sub-contractor or suppliers.
 This drawing is to be read in conjunction with all relevant documents. Any queries or discrepancies must be reported immediately to the architect.
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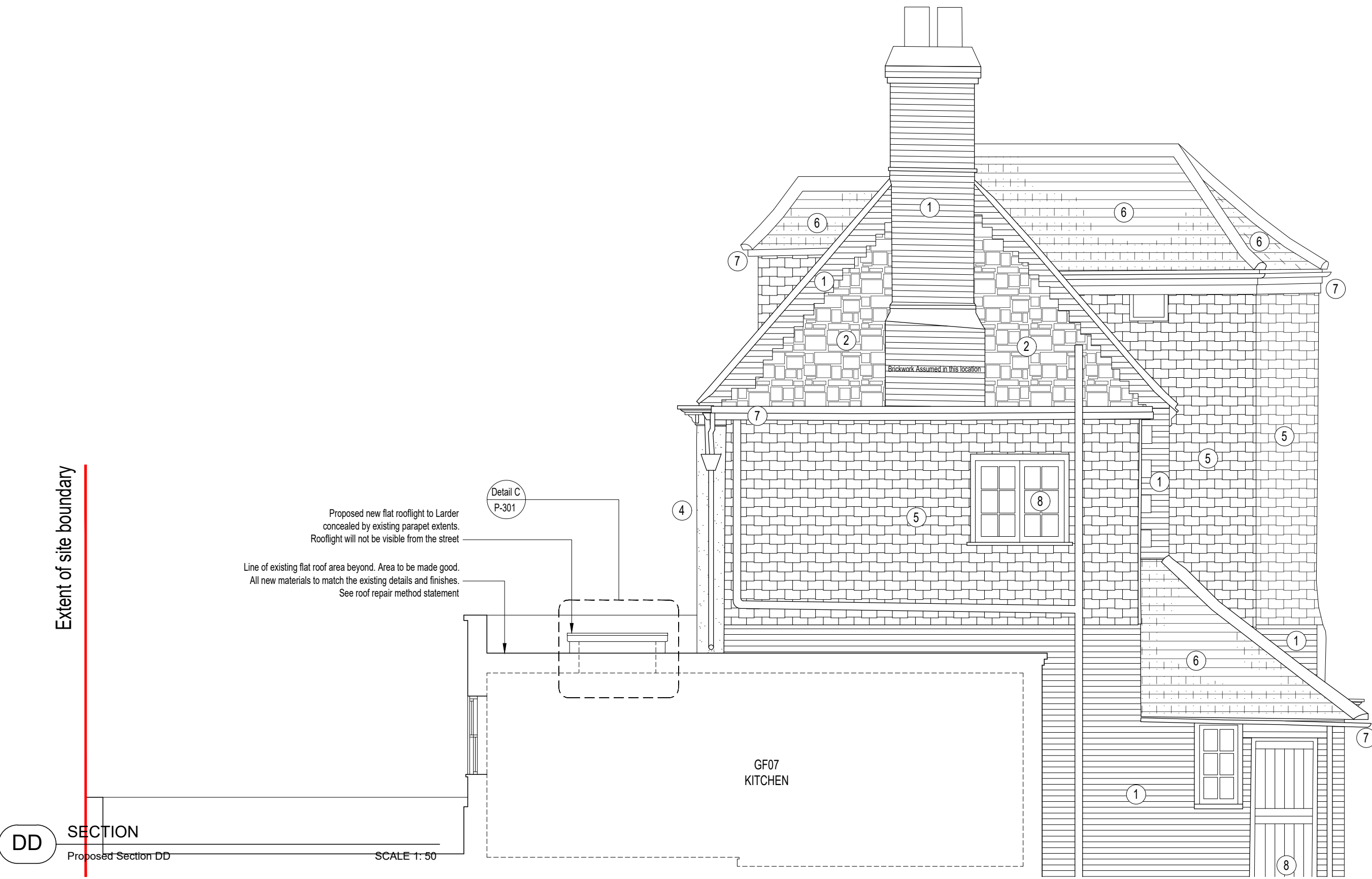


- SF04: Shower Room**
- Generally - Walls, timber-work, coving, skirting, ceiling made good
 - Existing modern cupboards and floor finishes to be carefully removed.
 - New raised floating timber floor and vanity basing to be added over existing floor structure.
 - Skelling line to be insulated and continued as SF01.02, 03.
 - Existing floors to remain intact.
 - New electrics, ventilation and lighting to be installed in the new partitions, using existing cable routing for connections.
 - Any changes to the heating system to be made good and existing pipe routing to be used for any new ducting.
 - New drainage to be installed within existing eaves voids and connected into existing drainage for FF07
 - Affected linings / finishes to be made good and to be repaired as necessary to match the existing.
 - Refer to TSC Structural Report and Plate 3
 - Refer to HCUK Heritage Impact Assessment

Proposed new flat rooflight to Larder concealed by existing parapet easteris. Rooflight will not be visible from the street.
 Line of existing flat roof area beyond. To be made good

- New Flat Rooflight**
- New 90x1200mm (External Kerb Dimension) Fixed flat rooflight from Glazing Vision. Refer to product information submitted in support of the application.
 - The new rooflight is proposed to be a low profile, flat unit and concealed by existing parapet wall, so not visible from the street scene.
 - Existing modern flat roof finishes, substructure, joists, ceiling and finishes to be locally adapted to suit new aperture.
 - All residual affected finishes, junctions and flashings to be reviewed on site by builder and made good to match the existing finishes.
 - Refer to 'Works to Roof Method Statement'
 - Refer to TSC Structural Report and Plate 7
 - Refer to HCUK Heritage Impact Assessment

CC SECTION
 Proposed Section CC
 SCALE 1:50



DD SECTION
 Proposed Section DD
 SCALE 1:50

Key

- Planning Application Boundary
- Line of existing building

Heritage Report **Structural Report**

Refer to HCUK Heritage Impact Assessment Ref: 6484 Refer to TSC-Designs Structural Assessment and associated Sketches

Materials Key

- ① Red multistock facing brickwork
- ② Natural stone walling
- ③ White painted facing brickwork
- ④ White stucco
- ⑤ Plain clay tile cladding
- ⑥ Plain clay roof tiles
- ⑦ White painted timber eaves, soffit and fascia with black gutter and downpipes
- ⑧ White painted timber windows / patio doors

RISK SCHEDULE

| ITEM | DESCRIPTION OF RISK & ACTION |
|------|---|
| 1 | Contractor to review access requirements for suitable manlift system for flat roof / gutter maintenance access - Ladders systems or similar. Risk of falling: Works to roof - contractor to provide sufficient scaffold / edge protection. Ladders and walkways to be securely fixed with appropriate guarding |
| 2 | Installation of new linings, steels or replacement floor joists - ensure adequate propping and follow H&SE guidance in regards to lifting heavy materials and loads. |
| 3 | Client to allow maintenance / cleaners to use of pole reach / wash from front garden or rear garden / parking area |
| 4 | Contractor to allow for suitable machinery and gear to facilitate installation of any required structural steelwork. |

GENERAL NOTES

- Extent of demolition
- Line of beams over To SE details
- Wall area to be infilled with construction to match the existing materials and finishes. To be made good and redecorated
- New partition to be constructed from lightweight timber stud construction. To be lined with gypsum based plasterboard and finished with a plaster skim finish and decorated to match with the surrounding finishes
 - Generally - All walls to be made good and finished as required to match the existing finishes.
 - To be re-painted throughout
 - All windows to be reviewed, restored, painted and eased as req'd

CDM Regulations 2015
 The role of Principle Designer is to be provided by the Client's Project Manager or by the Main Contractor directly. Not by Studio Hudson Ltd

- Notes**
- Party wall / floor / fence awards are to be arranged by the Client directly as required
 - Any proposed electrical, lighting and services layouts to be agreed on site by Client with builder / electrician. Any locations shown are illustrative locations.
 - To be read in conjunction with their party S/E Structural layouts, details and structural calculations. All beam sizes and pedestones to SE details

Site specific notes
 All dimensions and vertical / horizontal setting out is required to be checked on site by the contractor and verified prior to commencement of works or ordering of any materials.
 All walls to align with the existing finishes where possible

All construction and material interfaces, air tightness and weathering junctions to be constructed in accordance with H&SE and Trade standards and to the requirements illustrated in the Accredited Details and constructed to suit.

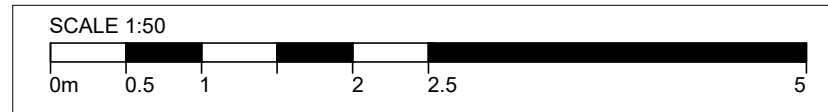
Windows Generally:
 Any windows to be overhauled to include: Timber repairs, parting beads, putties, decorative sashes, replacement hinges and renewal of decorations. Any sections of sash rails or cills that show signs of decay are to be cut out and replaced with new sections splayed in to match the existing.

Internal Finishing Generally:
 Plaster repairs to be finished to match the existing plaster finish of the existing walls.

Decoration Generally
 Unless otherwise noted all walls and ceilings to be cleaned, and damages made good to match the existing conditions. To be re-painted throughout all affected areas of the proposals

Services Generally:
 Drainage to be investigated, repaired and made good.
 Damage to ceiling finishes to be made good locally to match the existing.
 Electrics to be re-wired using existing routing. New back boxes and sockets / switches throughout. Any repairs to be made good locally to match the existing finishes.

Kitchen, Utility Room, WC and Bathrooms Generally:
 To be removed carefully and replaced with new kitchen, sanitaryware and joinery as illustrated. New appliances to use existing routing and services



For Planning Submission Purposes
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| | |
|---|--------------------------|
| Project: The Old Vicarage High Street, Sevenoaks. TN13 1JD | Date: May 2021 |
| Drawing Title: Proposed Sections | Scale: Noted @ A1 |
| Drawing Number: 20021-P-701 | Rev: A |