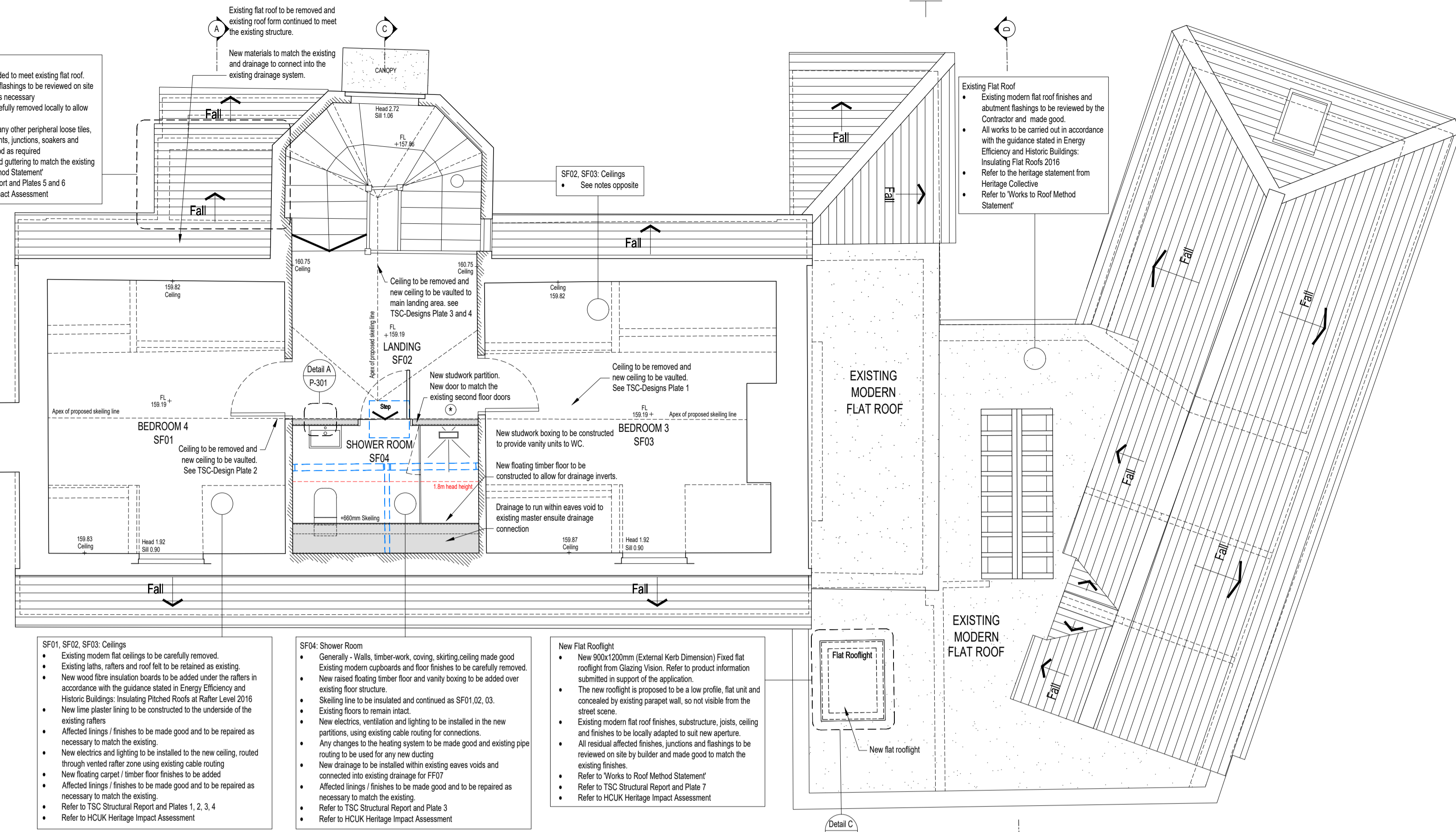




Existing second floor landing door to be retained and made good. New door to match the existing

- Extended Roof Eaves**
- Existing roofline to be extended to meet existing flat roof.
 - Roof finishes, junctions and flashings to be reviewed on site by builder and made good as necessary.
 - Staircase wall ties to be carefully removed locally to allow for roof flashings.
 - The Contractor is to review any other peripheral loose ties, leadwork, flashings, abutments, junctions, soakers and penetrations to be made good as required.
 - All materials, ties, eaves and gutters to match the existing.
 - Refer to Works to Roof Method Statement
 - Refer to TSC Structural Report and Plates 5 and 6
 - Refer to HCUK Heritage Impact Assessment

2 PLAN
Proposed Second Floor Plan
SCALE 1:50



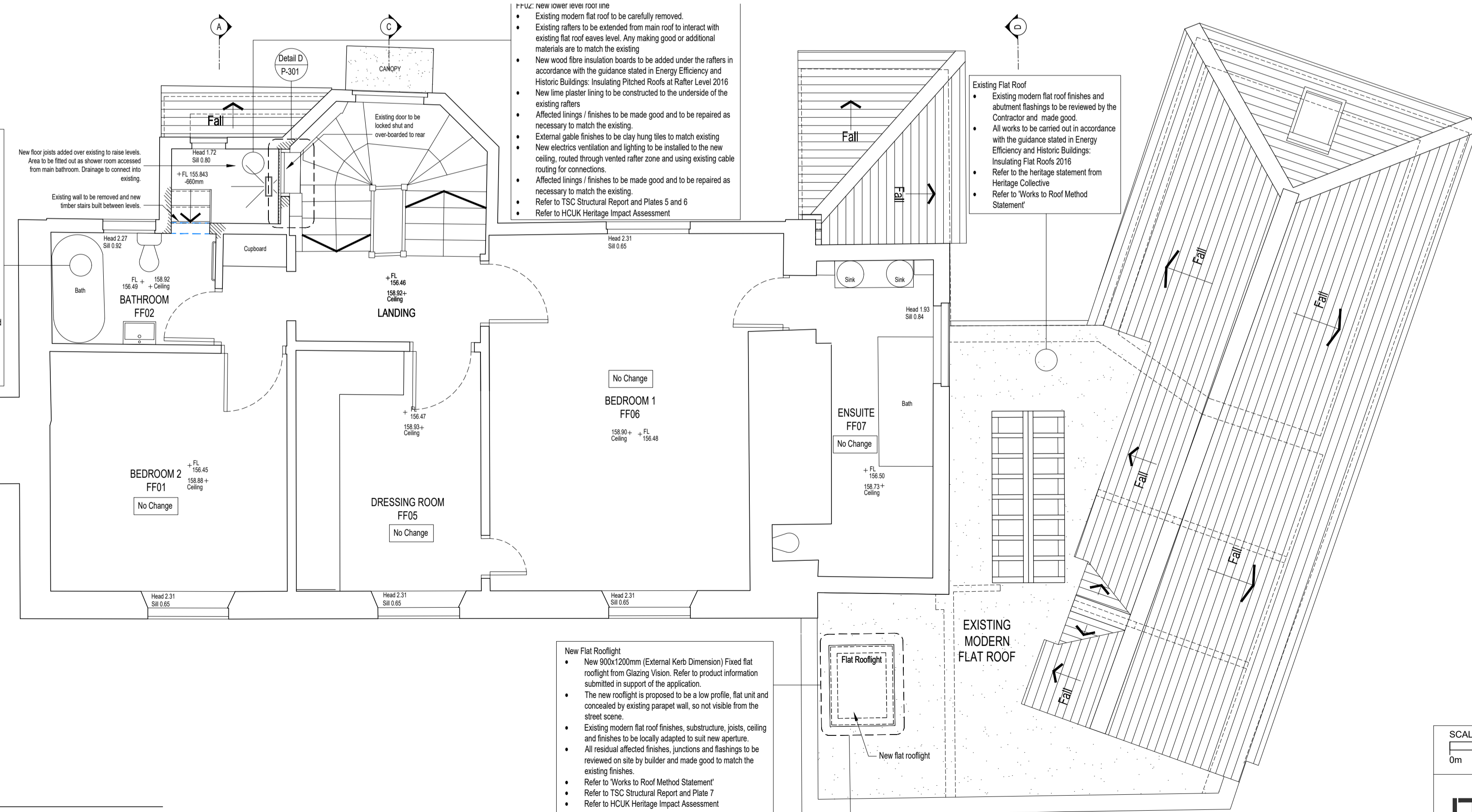
- SF01, SF02, SF03 Ceilings**
- Existing modern flat ceilings to be carefully removed.
 - Existing laths, rafters and roof felt to be retained as existing.
 - New wood fibre insulation boards to be added under the rafters in accordance with the guidance stated in Energy Efficiency and Historic Buildings: Insulating Pitched Roofs at Rafter Level 2016
 - New lime plaster lining to be constructed to the underside of the existing rafters.
 - Affected linings / finishes to be made good and to be repaired as necessary to match the existing.
 - New electricals and lighting to be installed to the new ceiling, routed through vented rafter zone using existing cable routing.
 - New floating carpet / timber floor finishes to be added.
 - Affected linings / finishes to be made good and to be repaired as necessary to match the existing.
 - Refer to TSC Structural Report and Plates 1, 2, 3, 4
 - Refer to HCUK Heritage Impact Assessment

- SF04 Shower Room**
- Generally - Walls, timber-work, coving, skirting ceiling made good.
 - Existing modern cupboards and floor finishes to be carefully removed.
 - New raised floating timber floor and vanity boxing to be added over existing floor structure.
 - Skirting line to be insulated and continued as SF01, 02, 03.
 - Existing floors to remain intact.
 - New electricals, ventilation and lighting to be installed in the new partitions, using existing cable routing for connections.
 - All residual affected finishes, junctions and flashings to be reviewed on site by builder and made good to match the existing finishes.
 - New drainage to be installed within existing eaves voids and connected into existing drainage for FF07.
 - Affected linings / finishes to be made good and to be repaired as necessary to match the existing.
 - Refer to TSC Structural Report and Plate 3
 - Refer to HCUK Heritage Impact Assessment

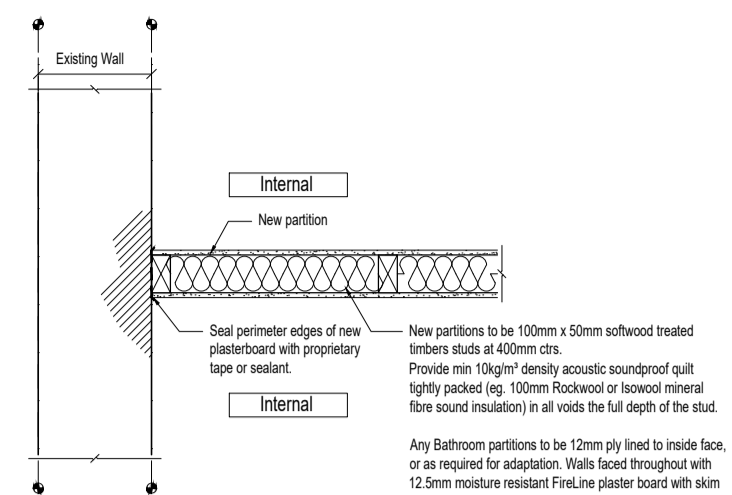
- New Flat Rooftight**
- New 900x1200mm (External Kerb Dimension) Fixed flat rooftopight from Glazing Vision. Refer to product information submitted in support of the application.
 - The new rooftopight is proposed to be a low profile, flat unit and concealed by existing parapet wall, so not visible from the street scene.
 - Existing modern flat roof finishes, substructure, joists, ceiling and finishes to be locally adapted to suit new aperture.
 - All residual affected finishes, junctions and flashings to be reviewed on site by builder and made good to match the existing finishes.
 - Refer to Works to Roof Method Statement
 - Refer to TSC Structural Report and Plate 7
 - Refer to HCUK Heritage Impact Assessment

- FF02 Bathroom**
- External wall to be opened up to form new access to lower shower area.
 - New 150x50mm C24 joists to create floating timber steps and raised floor to be added over existing floor structure.
 - Skirting line to be a continuation of roof as per SF01, 02, 03.
 - Existing Store FF03 landing door to be locked shut and lined over to the rear with studwork partition and plasterboard.
 - See Detail D
 - Existing floors to remain intact.
 - New electricals, ventilation and lighting to be installed in the new partitions and roofline, using existing cable routing for connections.
 - Any changes to the heating system to be made good and existing pipe routing to be used for any new ducting.
 - New drainage to be installed within the new floating floor voids and connected into existing drainage for FF02.
 - Affected linings / finishes to be made good and to be repaired as necessary to match the existing.
 - Generally - Walls, timber-work, coving, skirting and ceiling to be made good and painted.
 - Refer to TSC Structural Report and Plates 5 and 6
 - Refer to HCUK Heritage Impact Assessment

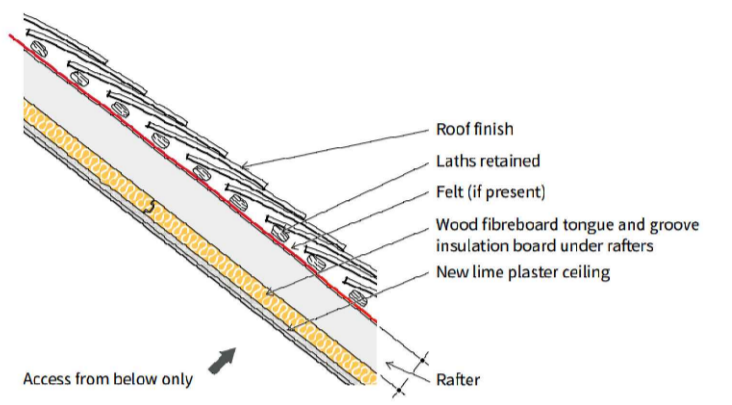
1 PLAN
Proposed First Floor Plan
SCALE 1:50



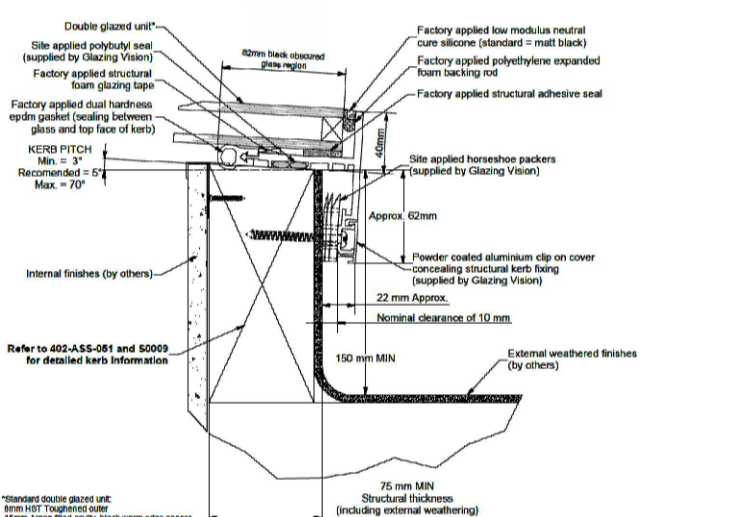
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 - Existing modern flat roof finishes, substructure, joists, ceiling and finishes to be locally adapted to suit new aperture.
 - All residual affected finishes, junctions and flashings to be reviewed on site by builder and made good to match the existing finishes.
 - Refer to Works to Roof Method Statement
 - Refer to TSC Structural Report and Plate 7
 - Refer to HCUK Heritage Impact Assessment



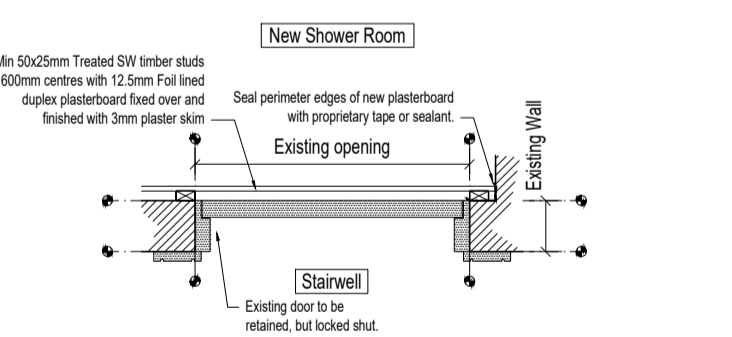
A DETAIL
Proposed Stud Partition Detail
SCALE 1:20



B DETAIL
Proposed Skelling Detail
SCALE 1:20



C DETAIL
Proposed Skelling Detail
SCALE 1:5



D DETAIL
Proposed over-boarding detail
SCALE 1:20

DO NOT SCALE FROM THIS DRAWING. Except for planning purposes, all dimensions must be verified by the main contractor before the commencement on site of any work or that of sub-contractor or suppliers. This drawing is to be read in conjunction with all relevant documents. Any queries or discrepancies must be reported immediately to the architect. This document is copyright of Studio Hudson Ltd

Key	
	Planning Application Boundary
	Line of existing building
Heritage Report	Structural Report
Refer to HCUK Heritage Impact Assessment Ref: 6484	Refer to TSC-Designs Structural Assessment and associated Sketches

RISK SCHEDULE

ITEM	DESCRIPTION OF RISK & ACTION
1	Contractor to review access requirements for suitable manual system for flat roof / gutter maintenance access - Ladders systems or similar.
2	Roof of falling: Works to roof - contractor to provide sufficient scaffold / edge protection. Ladders and walkways to be securely fixed with appropriate ganking.
3	Installation of new linings, sheets or replacement floor joists - ensure adequate propping and follow HSE guidance in regards to lifting heavy materials and loads.
4	Client to allow maintenance / cleaners to use of pole reach / wash from front garden or rear garden / parking area.
5	Contractor to allow for suitable machinery and gear to facilitate installation of any required structural steelwork.

GENERAL NOTES

- Extent of demolition
- Line of beams over To SE details
- Wall area to be infilled with construction to match the existing materials and finishes. To be made good and redecorated
- New partition to be constructed from lightweight timber stud construction. To be fixed with gypsum based plasterboard and finished with a plaster skim finish and decorated to match with the surrounding finishes.
- Generally - All walls to be made good and finished as required to match the existing finishes.
- To be re-paned throughout
- All windows to be reviewed, restored, painted and sealed as req'd

CDM Regulations 2015

- The role of Principal Designer is to be provided by the Client's Project Manager or by the Main Contractor directly. Not by Studio Hudson Ltd

- Notes**
- Party wall / fence awards are to be arranged by the Client directly as required
 - Any proposed electrical, lighting and services layouts to be agreed on site by Client with builder / electrician. Any locations shown are illustrative locations.
 - To be read in conjunction with third party S/E Structural layouts, details and structural calculations. All beam sizes and positions to SE details

Site specific notes

All dimensions and vertical / horizontal setting out is required to be checked on site by the contractor and verified prior to commencement of works or ordering of any materials.

All walls to align with the existing finishes where possible

All construction and material interfaces, air tightness and weathering junctions to be constructed in accordance with NHBC and Tada standards and to the min requirements illustrated in the Accredited Details and constructed to suit.

Windows Generally:

Any windows to be overhauled to include: Timber repairs, parting beads, putties, decorative sashes, replacement hinges and renewal of discoloured glass. Any sections of sash rails or cills that show signs of decay are to be cut out and replaced with new sections applied to match the existing.

Internal Finishing Generally:

Plaster repairs to be finished to match the existing plaster finish of the existing walls.

Decoration Generally:

Unless otherwise noted all walls and ceilings to be cleaned, and damaged made good to match the existing conditions. To be re-paned throughout all affected areas of the projects

Services Generally:

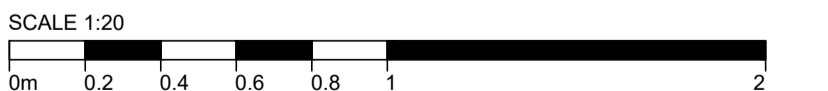
Damage to be investigated, repaired and made good.

Damage to ceiling finishes to be made good locally to match the existing.

Electrics to be re-wired using existing routing. New back boxes and sockets / switches throughout. Any repairs to be made good locally to match the existing finishes.

Kitchen, Utility Room, WC and Bathrooms Generally:

To be removed carefully and replaced with new kitchen, sanitaryware and joinery as illustrated. New appliances to use existing routing and services



SCALE 1:50
0m 0.5 1 2 2.5 5

STUDIO HUDSON architects

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For Planning Submission Purposes

Project: The Old Vicarage High Street, Sevenoaks. TN13 1JD	Date: May 2021
Drawing Title: Proposed Floor Plans	Scale: Noted @ A1
Drawing Number: 2021-P-301	Rev: A
Issued for Planning	July 2021

