

**Street Farm,
The Street,
Brent Eleigh,
Suffolk**

**Design and Access Statement
July 2021**

**project
orange**





Introduction

This project proposes the construction of a single storey extension to the grade II listed 15th Century farmhouse at Street Farm, Brent Eleigh.

The site is located in the village of Brent Eleigh, Suffolk. The proposed design follows the concept of a simple ancillary building linked to the parent farmhouse dwelling in the context of the wider farmstead setting. The new extension is to provide a home office and gym for the applicants which will be built to replace the partially existing farmhouse's utility room, a lean-to erected in the 1960s against the north wing of the original house to be partially demolished. In lieu of the lean-to roof, the proposed replacement structure to have a double pitch roof running along the north south axis.

The applicants also own a Cafe and secondary ancillary buildings which are within the site and located west of the dwelling.

This project has previously been submitted for pre-application advice to Babergh Mid Suffolk Council. Ref: DC/21/03131

Site Address:
Street Farm,
The Street,
Brent Eleigh,
Suffolk,
CO10 9NU

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Project Orange is an award winning architecture and interior design practice with a broad and original portfolio of work in the UK and overseas. Established in 1997, the practice excels in projects that seek a seamless marriage of architecture and interior design.

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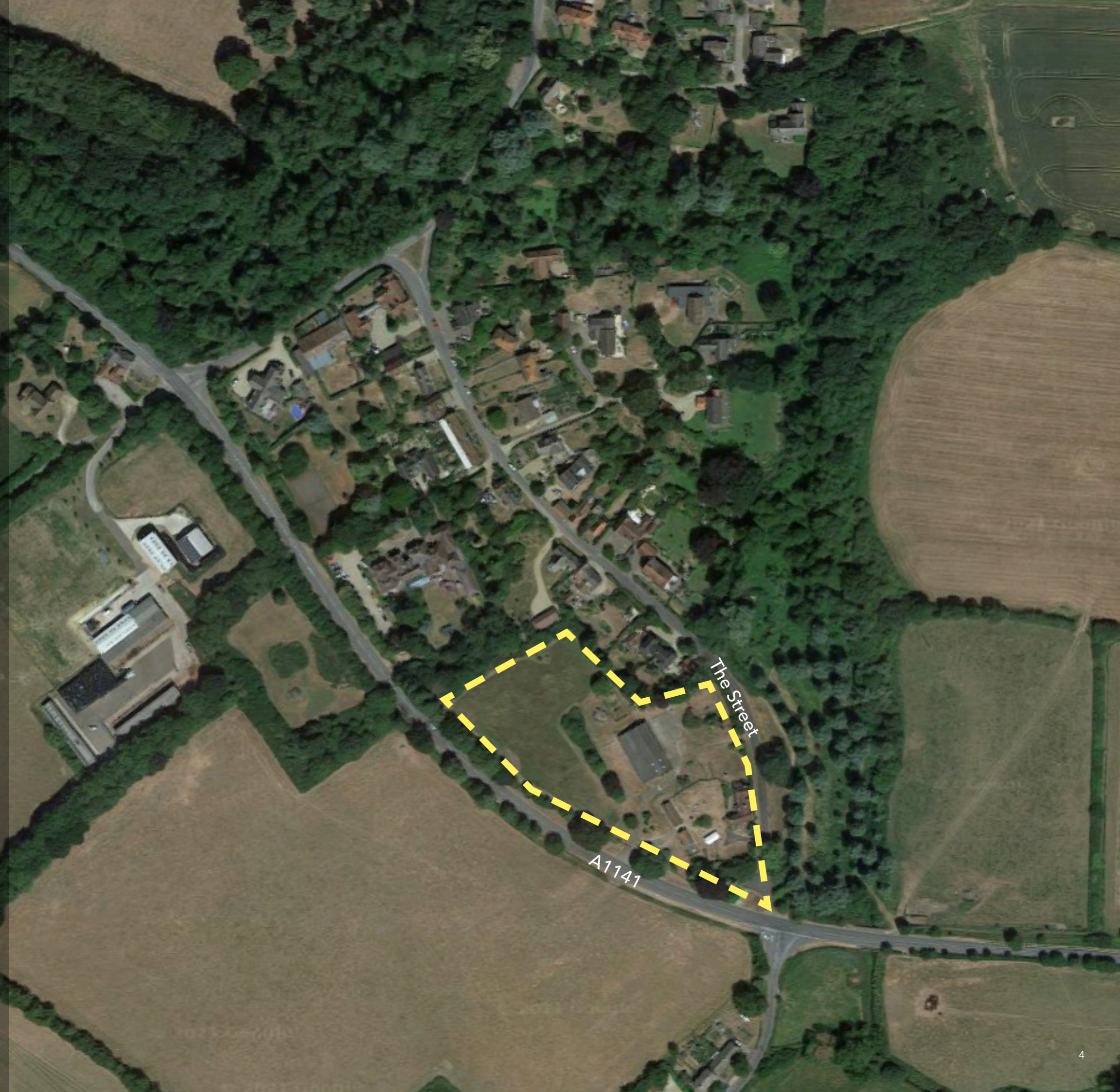
Context

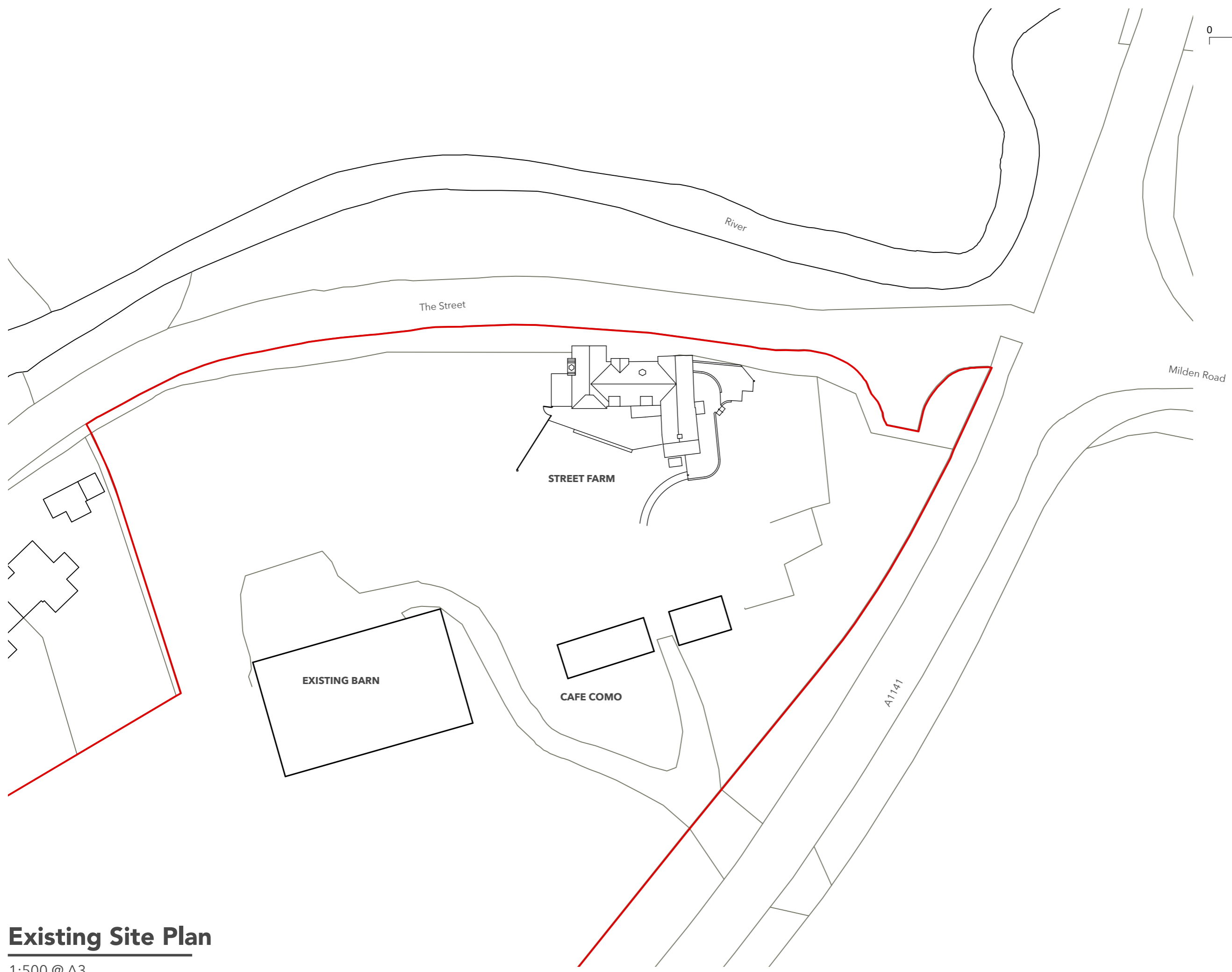
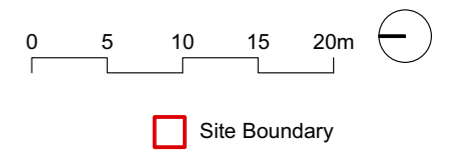
Street Farm is located in the conservation area within the village of Brent Eleigh. The Grade II listed dwelling is situated on an open plot of land adjacent to The Street.

"The village of Brent Eleigh is situated in south-central Suffolk, about seven miles north-west of the market town of Hadleigh and two miles south-east of Lavenham. The main part of the settlement sits on the north side of the main A1141 Hadleigh to Lavenham road, which runs east to west along the valley of the River Brett. Formerly passing through the village, this road now forms a by-pass with a new stretch to the south of the village centre."

-Extract From the Brent Eleigh Conservation Area Appraisal 2019

The dwelling has considerable separation distance between its closest neighbouring properties.





Existing Site Plan

1:500 @ A3

Site Photos



1.



2.



3.



4.



5.



6.



7.



8.



9.

1. View towards north wing from rear garden.
2. View towards south wing from rear garden.
3. View of formal house frontage from The Street.
4. View towards existing utility room attached to the north wing.
5. View south towards the south wing
6. Existing single storey utility room with single pitched roof leaning towards the parent farmhouse.
7. External wall condition of the north facing elevation of the single storey utility room.
8. View of west facing rear paved area between the house and grass landscape.
9. View west towards secondary ancillary buildings.

Heritage



Street Farm is Grade II listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 for its special architectural or historic interest. The historic maps (left) demonstrate adjacent ancillary buildings have previously occupied the site of the proposed extension. More specifically, the applicants have been advised that a dairy, which operated as part of the farm, used to occupy the site.

Street Farm is a timber-framed and plastered building of 15th--16th century origin with cross wings at the north-west and south-east ends. Much altered. Two storeys. The south-east cross wing has a jettied upper storey on the front and the timber-framing is exposed on the south-east end. The north-west cross wing was added or rebuilt at a later date. The centre block has a large jettied gabled dormer with the initials W. B. above the date 1880. The ground storey on the front is faced in red brick. Casement windows. Roof tiled, with a tall ridge chimney. stack with a diagonally set shaft, and an external chimney stack at the north-west end with tabled offsets and a cruciform shaft. The interior has exposed timber-framing and there is a crown post roof.

Statement from Historic England
<https://historicengland.org.uk/listing/the-list/list-entry/1037346>

The proposal involves the removal of the twentieth century lean-to addition on the north side, which is of low aesthetic and historical value, and has a poor visual and physical relationship with the existing fabric which is of higher architectural interest. The form and massing of the new main extension and narrower link extension harmonies with the existing gable forms of the main farmhouse whilst preserving the prominent views towards the existing chimney stack, which contributes to the character and appearance of the conservation area. The selection of local materials harmonise with the existing vernacular. In conclusion, the proposals comply with Babergh/Mid Suffolk Local Plan Policy CN06 (refer to stand alone Heritage Statement prepared by AHP (Architectural History Practice) enclosed within this planning submission for more information).



Post card of the grade II listed farmhouse, dated 1960. Credit Francis Frith



Photograph of 19thC, east elevation to street frontage with thatched roof of former cottage addition visible to the right

Early Sketch Designs



Sketch Option: Rear Elevation



Sketch Option: Front Elevation



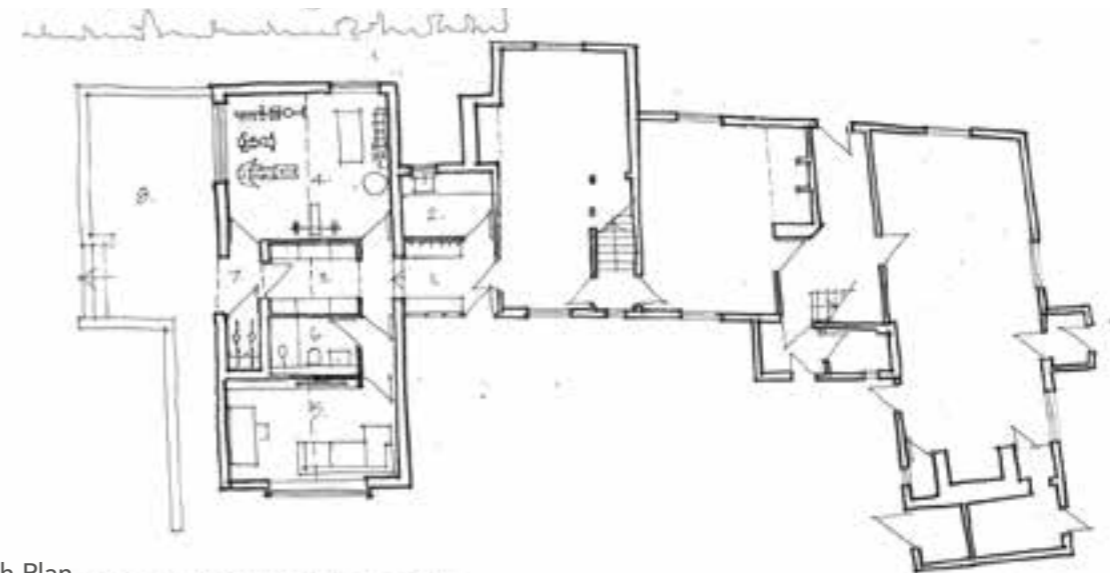
Sketch Option: Rear Elevation



Sketch Option: Front Elevation



Sketch Option: North Elevation



Sketch Plan

Pre-Application

Ref: DC/21/03131



Exterior view of proposed pre-application scheme - rear elevation



Pre-application scheme - Option 1: West Elevation



Pre-application scheme - Option 2: West Elevation

An earlier design of the project has been submitted to Babergh Mid Suffolk Council which describe two roof options:-

- Option 1: Retain the existing pitch and form of the leaning roof towards the main dwelling.
- Option 2: Replace the existing roof structure with a duo-pitched roof.

The pre-application response broadly supported the scheme and was in favour of option 2.

Design Development from pre-application feedback:

Firstly, the pre-application feedback for the gabled form and massing of the new extension was to reflect and harmonise with the existing gables of the farmhouse viewing along the east west axis. Developing from the pre-app proposal, the current design of the main extension adopts a narrower gable width to reflect the widths of existing gables and therefore having harmonising pitch angles.

Secondly, the conservation officer suggested the footprint of the main extension to move towards the west of the site maintaining the prominent views to the existing chimney stack which is of special architectural interest to the conservation area. Therefore this has been implemented in the current design proposals.

Thirdly, the link extension is pushed back towards the east axis to accentuate the existing north west corner of the main house.

Design

Amount

The existing building has a GIA (gross internal area) of 284m². The proposed design will increase the GIA by 63m² to 347m². This is a reasonable level of increase due to the size and shape of the overall site which is 13243m².

Access

Access to the site remains unchanged. The primary entrance location from The Street at the east facing front elevation is to be unchanged. Vehicular access from existing driveways to the south of the site also remains unchanged.

Appearance

The proposed extensions are to be in keeping with the existing house and surrounding area. Pantile roofing that match the existing outbuildings and existing single storey lean-to roof (attached to south flank gable) are to be used for the main extension and clay plain tiles to match existing main roof for the double-pitched link extension. Existing tiles from the proposed demolition of the existing lean-to roof will be salvaged and re-used. The red brick walls that surrounds ground level of the east elevation house is to be continued with the extensions' east facing facades with tumble-in brick detail to the east facing gable of the main extension. Limed oak cladding and oak framed glazing carry along the north and west facing facade which reflect the main farmhouse's exposed timber framing as well as echoing with the surrounding outbuildings.

Amenity impact

The proposal creates no additional amenity impact as the location of the site has sufficient separation distances from closest neighbours (approx 70m from northwest and in excess of 100m to the south). The single storey design of the proposed scheme is not contentious of any overlooking issues.

Massing

The proposed extensions are all subservient to the existing parent dwelling and are well scaled to the main farm house and surrounding outbuildings. Harmonising with the existing roofscape, the gable of the main extension match the existing pitch angle of the existing gables along the east-west axis of the main building.

Parking

There is no change to the parking provision with this proposal.



Early sketch for proposed scheme

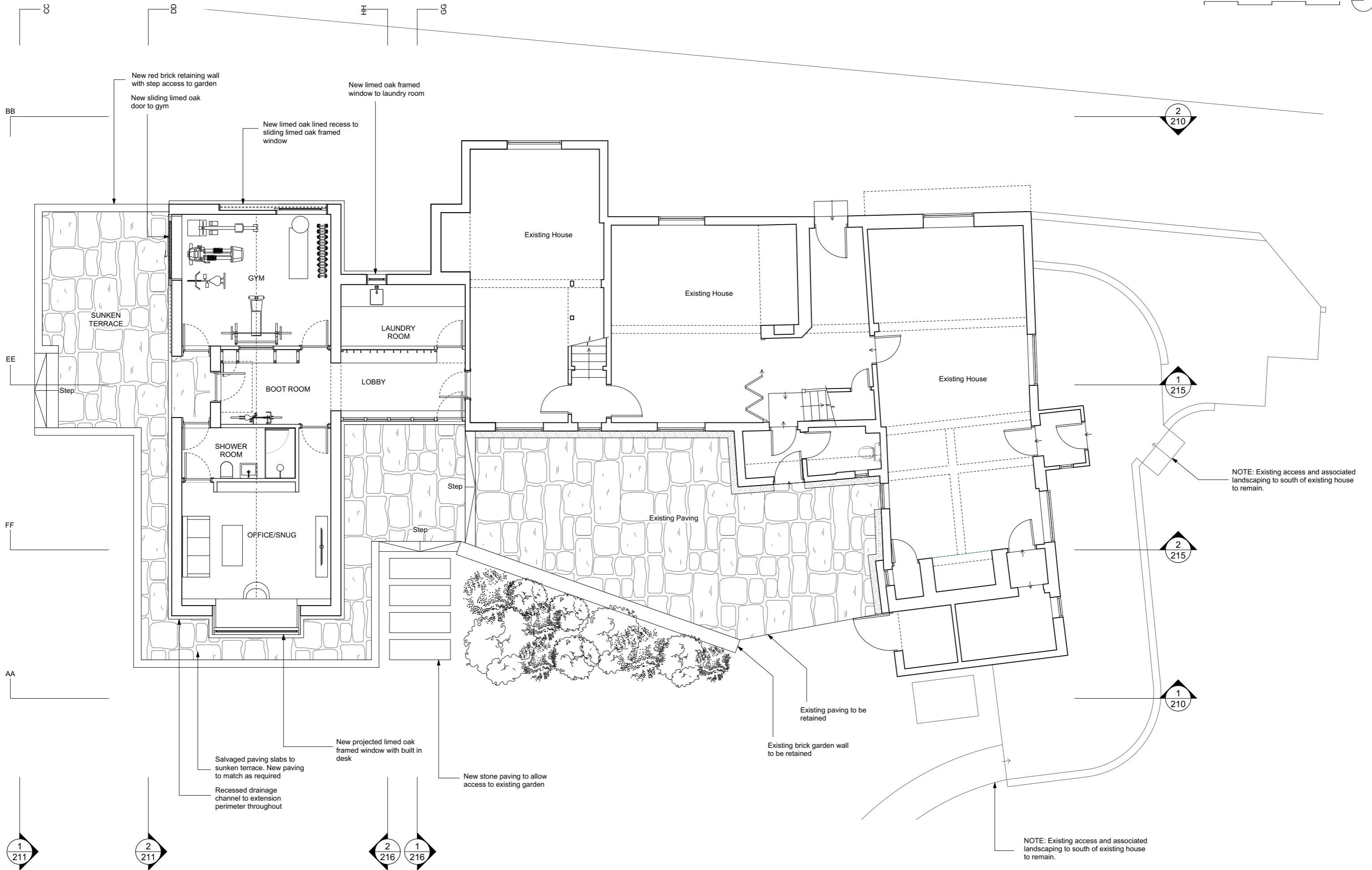
Existing Plan



Existing Plan

Ground Floor Plan 1:100 @ A3

Proposed Plan



New red brick retaining wall with step access to garden
 New sliding limes oak door to gym

New limes oak lined recess to sliding limes oak framed window

New limes oak framed window to laundry room

BB

EE

FF

AA

1
211

2
211

2
216

1
216

2
210

1
215

2
215

1
210

NOTE: Existing access and associated landscaping to south of existing house to remain.

NOTE: Existing access and associated landscaping to south of existing house to remain.

Proposed Plan

Ground Floor Plan 1:100 @ A3

Massing Visuals

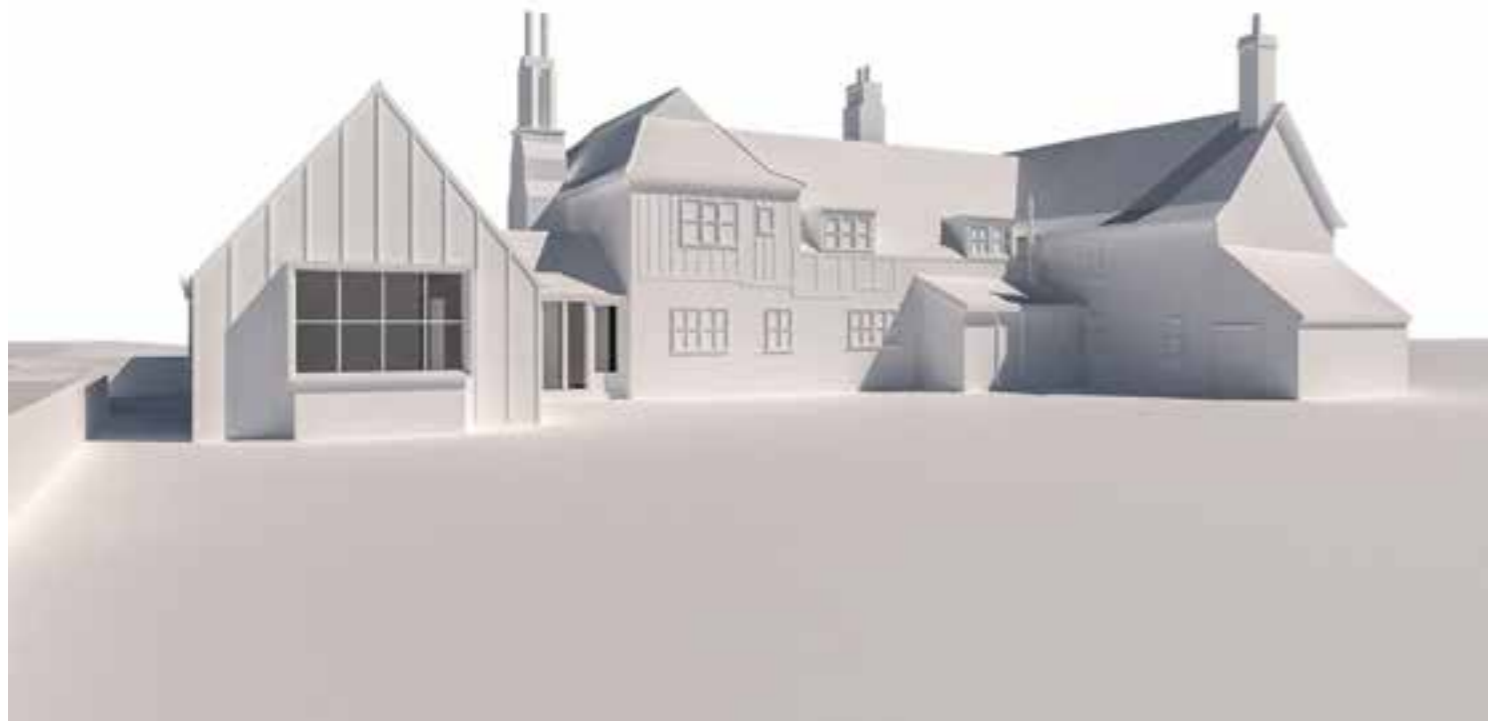
Massing Visuals



North facing view from The Street



South facing view from The Street



East facing view from existing garden (retaining walls omitted for clarity)

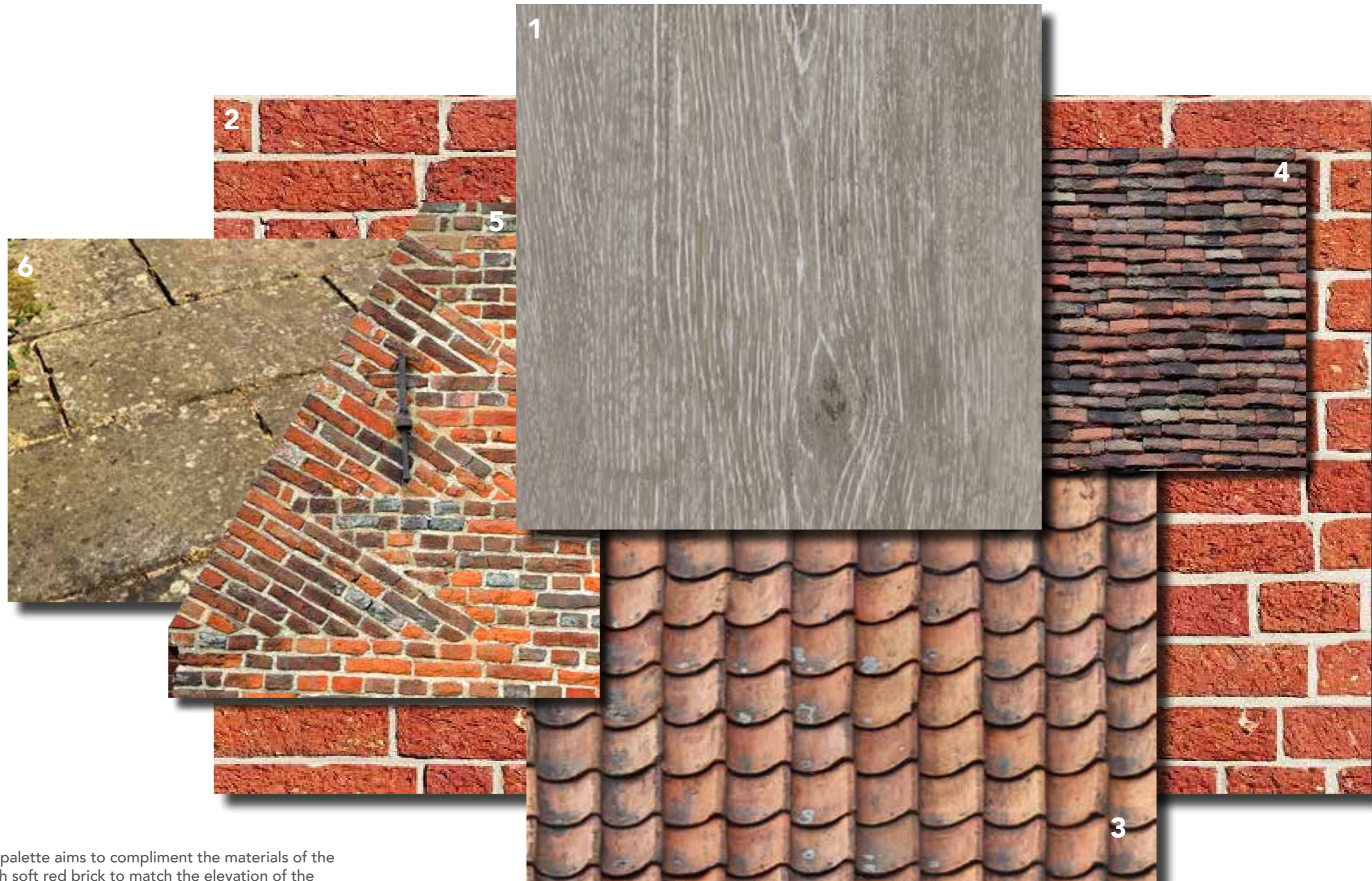


North facing view from existing garden (retaining walls omitted for clarity)

Aerial View



Materials



The external materials palette aims to compliment the materials of the existing farmhouse with soft red brick to match the elevation of the formal street frontage as well as limed oak cladding to harmonise with the exposed timber structure on the existing house and the cladding of the two contemporary ancillary buildings to the west. The proposed main extension roof in pantiles and plain clay tiles for link extension roof are consistent with the exiting roof finishes and to secondary structures on the farm.

1. Limed oak cladding
2. Brick wall finish
3. Pantile roof tiling
4. Salvaged clay roof tiling from existing
5. Tumble-in brick gable detailing
6. Stone terrace paving from existing

Textured Elevations

1:100 @ A3



Proposed West Elevation



Proposed East Elevation

Textured Elevations

1:100 @ A3



Proposed North Elevation



Proposed North Section (through sunken terrace)



