

Version: 4.0

28th April 2021

Conversion of Barn, Grove Farm, Ashow: Heritage Statement



Heritage Matters

Historic Building Planning and Design Consultants

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- Full Member Institute of Historic Building Conservation
- Affiliate Member Chartered Institute for Archaeologists
- Member of the Society of Architectural Historians of Great Britain
- Member of the Vernacular Architecture Group
- Formerly Assistant Regional Director English Heritage

Dr David Hickie is a national expert in the field of heritage management and planning. He regularly acts as an expert heritage and landscape witness for Planning Inquiries and High Court cases. He was formerly Assistant Regional Director of English Heritage (now known as Historic England) where he led a team of Historic Building Inspectors, Historic Area Advisors and Ancient Monument Inspectors, providing expert advice across the Region. This included providing expert advice and training for all the Local Authority Conservation Officers within the Region. He was responsible for advising the Secretary of State on which planning applications should be ‘called in’ on heritage matters within the West Midlands Region. He is now the Managing Director and Principal Consultant for Heritage Matters, an independent specialist heritage consultancy.



Change History

Version	Date	Issue Status
1.0	8 th April 2021	Draft
2.0	22 nd April 2021	Draft
3.0	27 th April 2021	Draft
4.0	28 th April 2021	Issued



‘Heritage Matters’ is an Institute of Historic Building Conservation (IHBC) Quality Assured Company

1.0 EXECUTIVE SUMMARY

Heritage Matters has been commissioned by Mr Jim Mills to undertake a heritage impact assessment of the proposed barn conversion works at Grove Farm, Grove Lane, Ashow.

1.1 Proposals

The proposals seek to convert the existing barn which has already been converted from a cow shed to be 2 garage spaces and storage/gym area with a bat attic in the roof space. The conversion will include for creating an open plan flexible space plus a study with shower room, in the northern end of the barn.

It is understandable that the Council and others wish to ensure that the new proposals do not adversely affect the listed buildings and the character and appearance of the conservation area.

1.2 Heritage Issue

The key heritage issues in question form are:

- a) will the proposed works adversely affect the setting of Grove Farmhouse?
- b) will the proposed works adversely affect the settings of the nearby listed buildings?
- c) will the proposed works adversely affect the historic significance and setting of the barn to be converted?

Figure 1: Cottage Range Frontage



1.3 Summary of the Proposed Works

The works are summarised below:

Exterior

- 1: Replace existing timber doors with half-glazed Entrance Double-doors and half-glazed Side Panels
- 2: Repair (and replace if necessary with matching timber doors) existing Stable doors. Conserve and reuse existing original hinges and latches.
- 3: Retain existing Window Slatted Grilles
- 4: Re-roof building re-using existing tiles
5. Insert two new Conservation Rooflights on Eastern Pitch of Roof

Interior

- 6: Insulate interior face of walls
- 7: Fix Smoke Detector in Rafters
- 8: Conserve brick floor under limecrete floor and protective mesh liner
- 9: Create new doorway through existing brickwall
- 10: Remove blockwork wall
- 11: New internal windows
- 12: New internal Timber doors
- 13: Section of Brick Feeding Trough Removed to allow for Shower Room
- 14: New Internal Stud Walls to create new Study and Shower Room
- 15: Connect new combined drainage from Shower Room to existing Drains
- 16: Replace uPVC Rainwater Goods with Cast Iron Goods to be painted black
- 17: Repoint existing brickwork with lime mortar to match
- 18: Insert single fix glazed unit into existing Northern Gable Window opening

1.4 Summary of Impact Assessment

In summary, the above proposals have been assessed in this report to not significantly adversely affect the heritage significance of the Listed Building. The changes will result in impacts that have been assessed to be: six 'beneficial' impacts; nine 'neutral/slight'; and, three 'slight'. The proposals would preserve the special architectural and historic interest of this designated heritage asset. The works do not adversely

affect the heritage significance of the nearby heritage assets nor adversely affect the character and appearance of the conservation area.

Therefore, the proposals do not directly conflict with any local or national heritage policies.

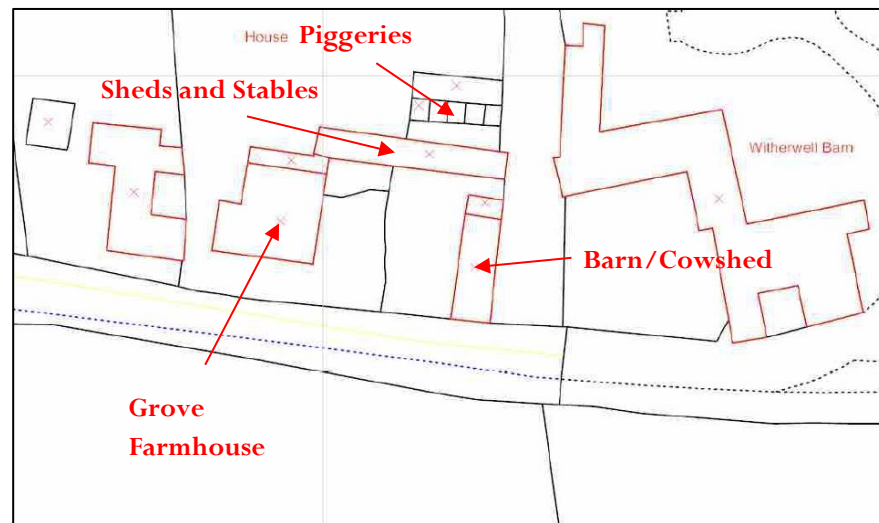
2.0 EXISTING

The existing farmhouse was listed in 1987. The Historic England listing text describes the house as “...Circa late C18 red brick house with steeply pitched plain tile roof with gabled ends. Brick modillion eaves cornice. Sandstone plinth. String band at first floor level. Two storeys and attic, three bays. Three steps up to central half-glazed door with rectangular fanlight and timber porch. To either side three-light casements with glazing bars under segmental brick arches. At first floor three segmental headed windows, two of three-lights and the central one of two-lights, all with glazing bars. One brick ridge chimney stack at gable end.”

Figure 2: View of Grove Farmhouse from the West with Roofline of the Barn just visible



Figure 3: Plan of Remaining Farm Layout



The barn (originally a cowshed and cartshed) lies perpendicular to the nearby range of stables and sheds now used for residential storage, with piggeries behind to the north. All these buildings are curtilage listed.

Figure 4: View of Grove Farmhouse with Curtilage Listed Barn and other Outbuildings behind



Figure 5: Existing Plan

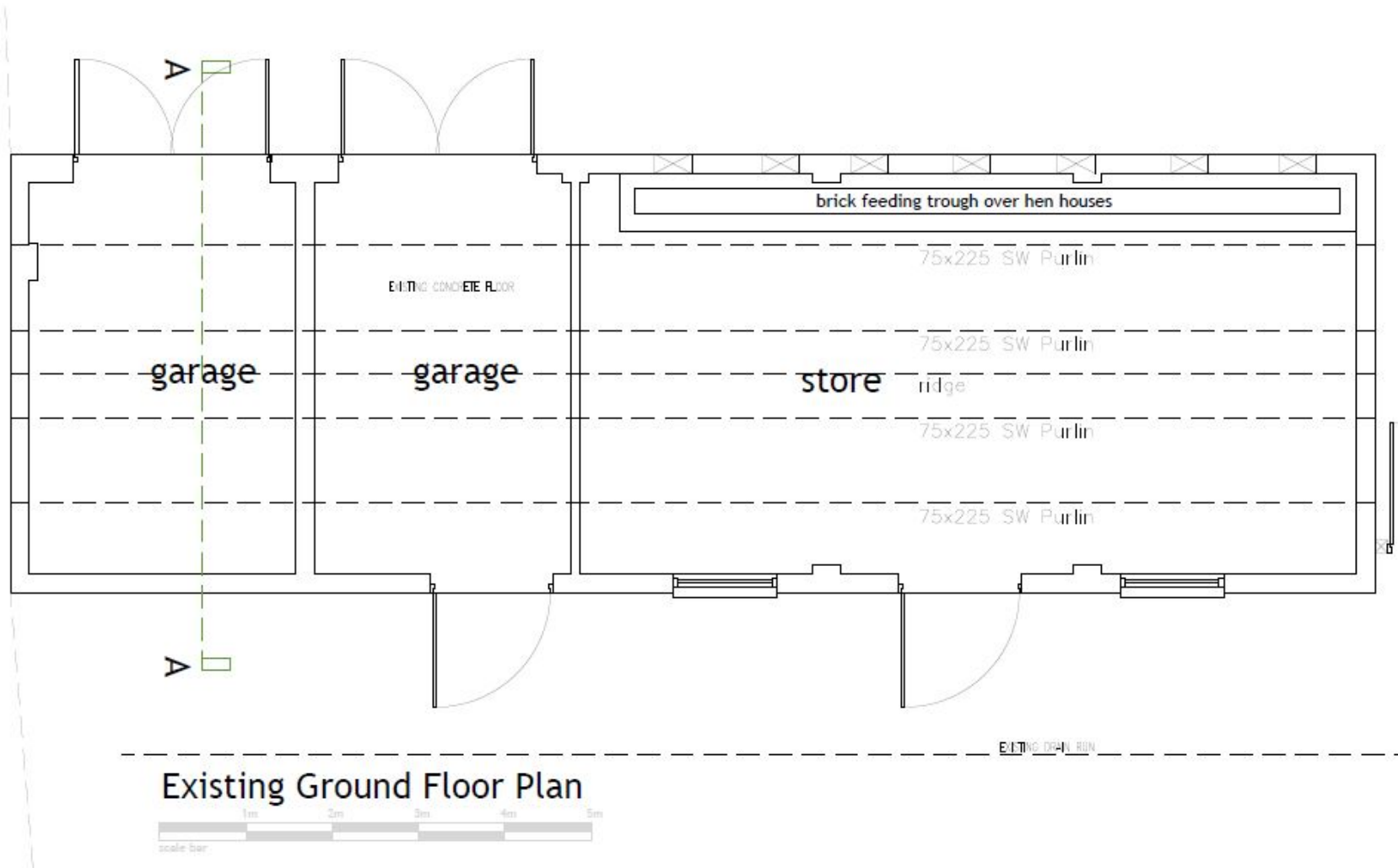


Figure 6: Existing Elevations



Figure 7: Existing Gable Ends and Sections

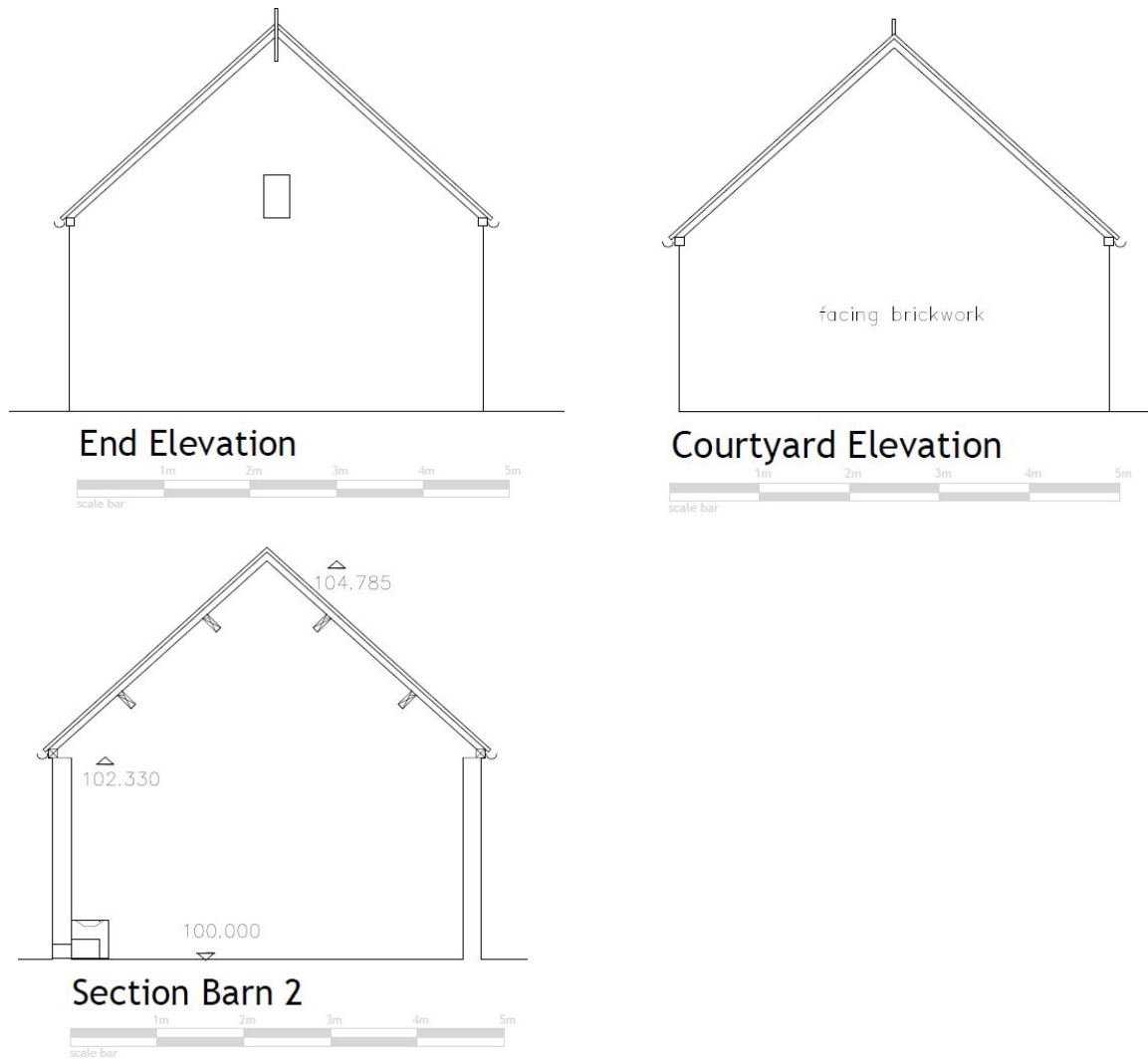


Figure 8: View of Barn from Road



Figure 9: View of Barn Western Elevation – White Doorway on the right is in an original opening for a Cartshed and the door on the left is a new late C20 insertion with raised floor



Figure 10: View of Barn Eastern Elevation with 2 original stable doors and 2 windows with timber grilles and no glazing



Figure 11: View of Barn form the Road (looking Westwards)



Figure 12: View of Eastern Elevation Stable Door and Window



Figure 13: View of Original Stable Door Hinges with Cross Motif in Metalwork



Figure 14: View of Original Simple Stable Door Latch - again with Cross Motifs



Figure 15: View of Original Handmade Simple Stable Door Latch – likely to be later provenance than other latch with cross motifs



Figure 16: View of Cowshed Window Grille



Figure 17: Internal View of Cowshed Window Grille



Figure 18: View of Hen Nesting Holes along base of Eastern Elevation of the Barn



Figure 19: View of Hen Nesting Holes along base of Eastern Elevation of the Barn



Figure 20: Internal View of Hen Nesting Holes



Figure 21: View of Concrete Water Trough re-purposed as a Planter on Eastern Elevation of the Barn



Figure 22: View of Two Door Openings on Eastern Elevation of the Barn



Figure 23: View of former Cartshed with modern Doors



Figure 24: View of Cartshed Floor



Figure 25: View of Cartshed Purlins and Rafters – with indication of modern re-roofing



Figure 26: View of Cartshed Purlins and Rafters – and roadside gable brickwall



Figure 27: View of front of Cartshed with Doorway Pillars



Figure 28: View of C20 Garage with new Blockwork wall



Figure 29: View of Out of C20 Garage with cut brickwork visible to the right of the doorway



Figure 30: View of infilled timber truss (originally a King post Truss) above blockwork wall in C20 Garage



Figure 31: View of Southern End of Cowshed



Figure 32: View of Northern End of Cowshed with Cattle Feeding Trough in Brick to left



Figure 33: View of Cattle Feeding Trough – with Hen Nesting Holes Constructed Beneath



Figure 34: View of Feeding Trough



Figure 35: View of Feeding Trough – which originally ran along the whole of the eastern wall with the exception of the Cartshed Section of the Barn



Figure 36: View of Floor of Cowshed



2.1 Listed Buildings

The map below shows the nearby listed buildings:

Figure 37: Historic England Listed Building Map Search - with numbered listed buildings



The Historic England text listings for the listed building is provided below:

[1] GROVE FARMHOUSE

Overview

Heritage Category: Listed Building

Grade: II

List Entry Number: 1035261

Date first listed: 23-Jan-1987

Statutory Address: GROVE FARMHOUSE

Details

ASHOW 21/2 Grove Farmhouse - GV II

Circa late C18 red brick house with steeply pitched plain tile roof with gabled ends. Brick modillion eaves cornice. Sandstone plinth. String band at first floor level. Two storeys and attic, three bays. Three steps up to central half-glazed door with rectangular fanlight and timber porch. To either side three-light casements with glazing bars under segmental brick arches. At first floor three segmental headed windows, two of three-lights and the central one of two-lights, all with glazing bars. One brick ridge chimney stack at gable end.

Listing NGR: SP3129570382

[2] GROVEWOOD

Overview

Heritage Category: Listed Building

Grade: II

List Entry Number: 1364919

Date first listed: 23-Jan-1987

Date of most recent amendment: 29-Jul-1987

Statutory Address: GROVEWOOD

Details

ASHOW 21/1 Grove Farm Cottage - GV II

Circa 1600 timber-framed cottage with brick infill panels and C18 brick facade. Steeply pitched plain tile roof with gabled ends. One storey and attic. Central plank door under segmental brick arch, and to either side two-light casements with glazing bars under segmental brick arches. Two gabled dormers at eaves level, one blocked, the other with two-light casement with glazing bars. Central brick ridge chimney stack.

Listing NGR: SP3107970350

[3] BARN 49 YARDS TO EAST OF GROVE FARMHOUSE (known as Witherwell Barn)

Overview

Heritage Category: Listed Building

Grade: II

List Entry Number: 1364920

Date first listed: 23-Jan-1987

Statutory Address: BARN 49 YARDS TO EAST OF GROVE FARMHOUSE

Details

ASHOW 21/3 Barn 49 yds to east of Grove Farmhouse
Circa late C18 L-shaped red brick barn with steeply pitched plain tile roof, gabled at west, half-hipped at south. The east-west portion has a pair of cart doors, and to the west of these a stable door with loft hatch above. The north- south portion has a pair of doors, and to south of these a stable door with loft hatch above. Interior: tie beam trusses with queen posts and collar beam. Attached to the west gable is a lower section which has a stable door in the west gable wall, while on south elevation a window and loft hatch above.

Listing NGR: SP3134870388

2.2 OS Historic Maps

Figure 38: OS Map 1888

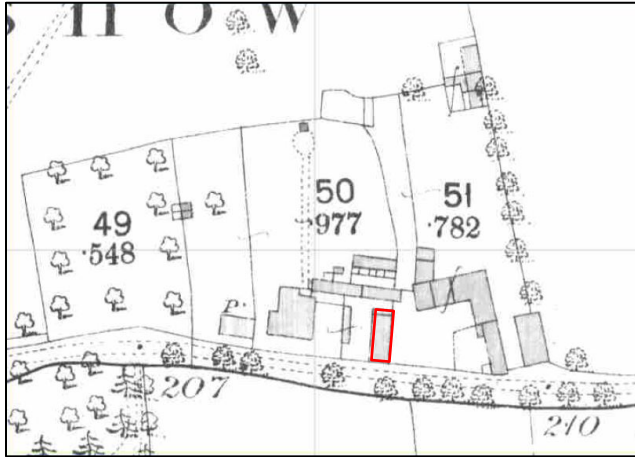


Figure 40: OS Map 1925

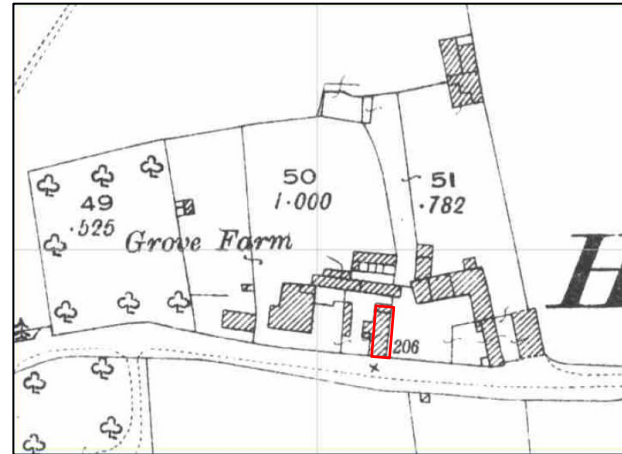


Figure 39: OS Map 1905

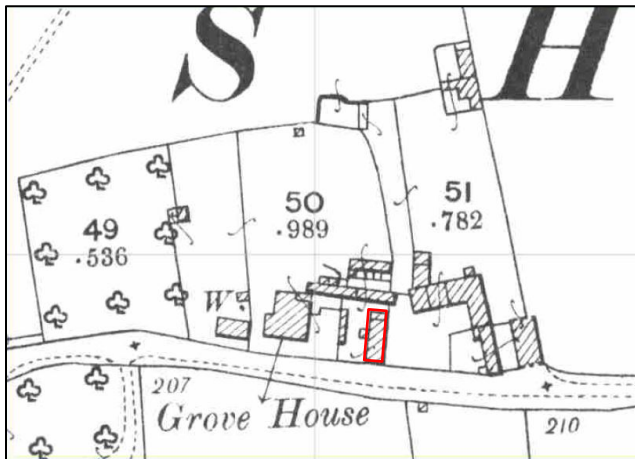


Figure 41: OS Map 1992

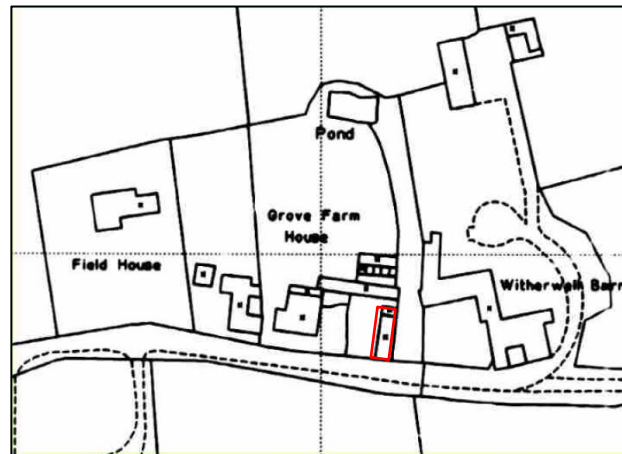


Figure 42: OS Map 2003

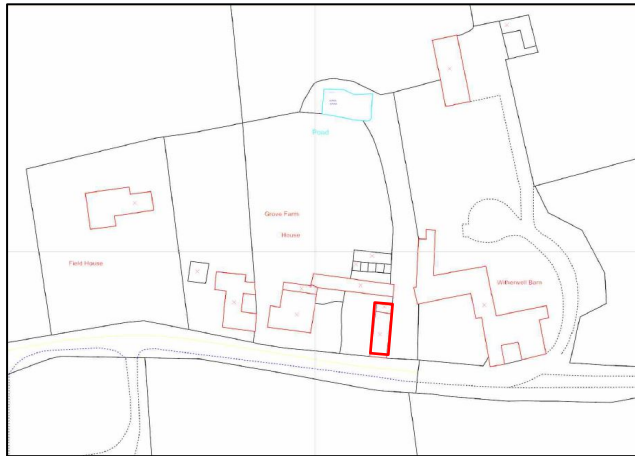


Table 1: Changes to Site shown on OS Maps

OS Map Edition	Site Footprint
1888	Footprint similar to today. Separate outbuilding against wall to west.
1905	New small extension on western elevation
1925	Slightly larger extension on western elevation
1992	No separate outbuilding against wall to west. No extension on western elevation.
2003	No apparent change
Current Day	No apparent change

Figure 44: Aerial Photograph of Grove Farm Circa 1960's – showing barn with sheds on Western Side possibly for poultry



Heritage Value of the Barn

Evidential Value

The barn shows how this building was used by late C18 farmer and onwards for use as cowshed, cartshed and poultry keeping.

Historical Value

The barn consisting of cowshed, cartshed and Hen Nesting Holes built under the cattle feed trough. Barn was part of wider group of farm buildings used for animal husbandry and equipment storage. Part of cattle feed trough has been removed to allow for C20 second doorway and garage.

Aesthetic Value

Typical late C18 agricultural cowshed and cartshed with building form and massing, and location in relation to other farm buildings and the farmhouse. Details typical of such buildings include Hen House Nesting Holes, brick cattle feed trough, brick flooring with gulley, timber window grilles and timber stable doors with door latch and hinges with distinctive cross motifs.

Communal Value

The barn has no communal value in heritage terms.

2.4 Historical Significance Assessment

Table 2: Summary of the significance of the existing fabric within the buildings

Heritage Significance	Building Elements
<p>Highly Significant</p> <p>[These parts ought to be retained and conserved]</p>	<ul style="list-style-type: none"> • Nil
<p>Significant</p> <p>[Changes or removals have to be treated with particular attention as they may well alter the heritage significance of the building]</p>	<ul style="list-style-type: none"> • Barn overall form and massing • Barn Roof trusses • Original Hen House (Nesting holes) in Cow Shed • Original internal brick feeding trough • Original stable doors and window grilles • Original stable door hinges and latches • Original brick floors and gulley

	<ul style="list-style-type: none"> • Original external brickwork
<p>Low or Neutral Significance</p> <p>[These parts can be removed/replaced according to new design decisions and will not adversely effect the heritage significance of the building]</p>	<ul style="list-style-type: none"> • Modern C20 Doors to Garages
<p>Detrimental Significance</p> <p>[These elements could be beneficially removed or altered]</p>	<ul style="list-style-type: none"> • Blockwork internal wall • Concrete floor in new garage

3.0 PROPOSALS

3.1 Proposed Works

The proposals seek to convert the existing storage spaces and gym areas into flexible annex living spaces with a study with shower room at the northern end of the barn. The works will include: some maintenance works to existing fabric, some changes to existing fabric; and, some new works.

The works are summarised below:

Exterior

- 1: Replace existing timber doors with half-glazed Entrance Double-doors and half-glazed Side Panels
- 2: Repair (and replace if necessary with matching timber doors) existing Stable doors. Conserve and reuse existing original hinges and latches.
- 3: Retain existing Window Slatted Grilles
- 4: Re-roof building re-using existing tiles
5. Insert two new Conservation Rooflights on Eastern Pitch of Roof

Interior

- 6: Insulate interior face of walls
- 7: Fix Smoke Detector in Rafters
- 8: Conserve brick floor under limecrete floor and protective mesh liner
- 9: Create new doorway through existing brickwall
- 10: Remove blockwork wall
- 11: New internal windows
- 12: New internal Timber doors

13: Section of Brick Feeding Trough Removed to allow for Shower Room

14: New Internal Stud Walls to create new Study and Shower Room

15: Connect new combined drainage from Shower Room to existing Drains

16: Replace uPVC Rainwater Goods with Cast Iron Goods to be painted black

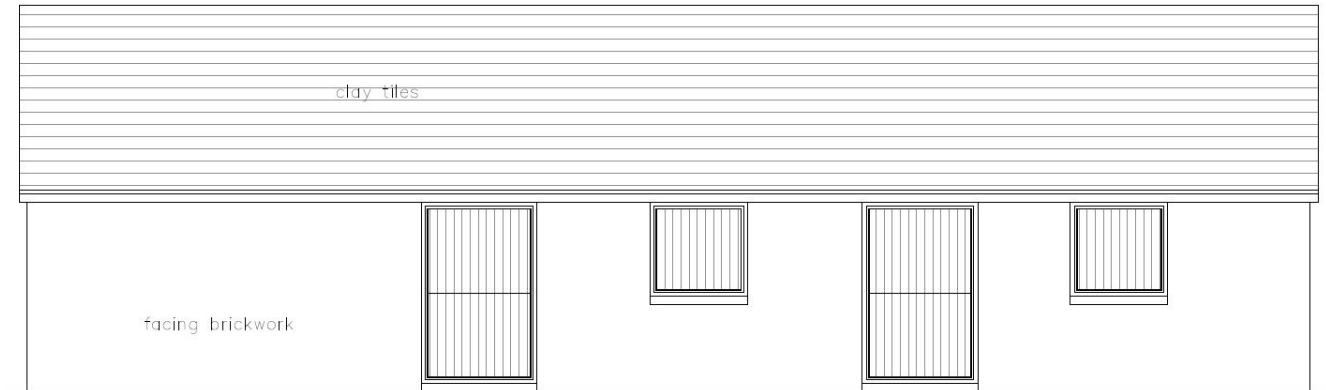
17: Repoint existing brickwork with lime mortar to match

18: Insert single fix glazed unit into existing Northern Gable Window opening

Figure 46: Drawings Showing Existing and Proposed West Elevation



Figure 47: Drawings Showing Existing and Proposed East Elevation



Side Elevation to lane



Proposed Side Elevation to Private Drive

timber doors and windows as existing

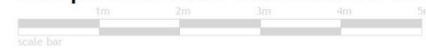


Figure 48: Drawings Showing Existing and Proposed Section through Barn

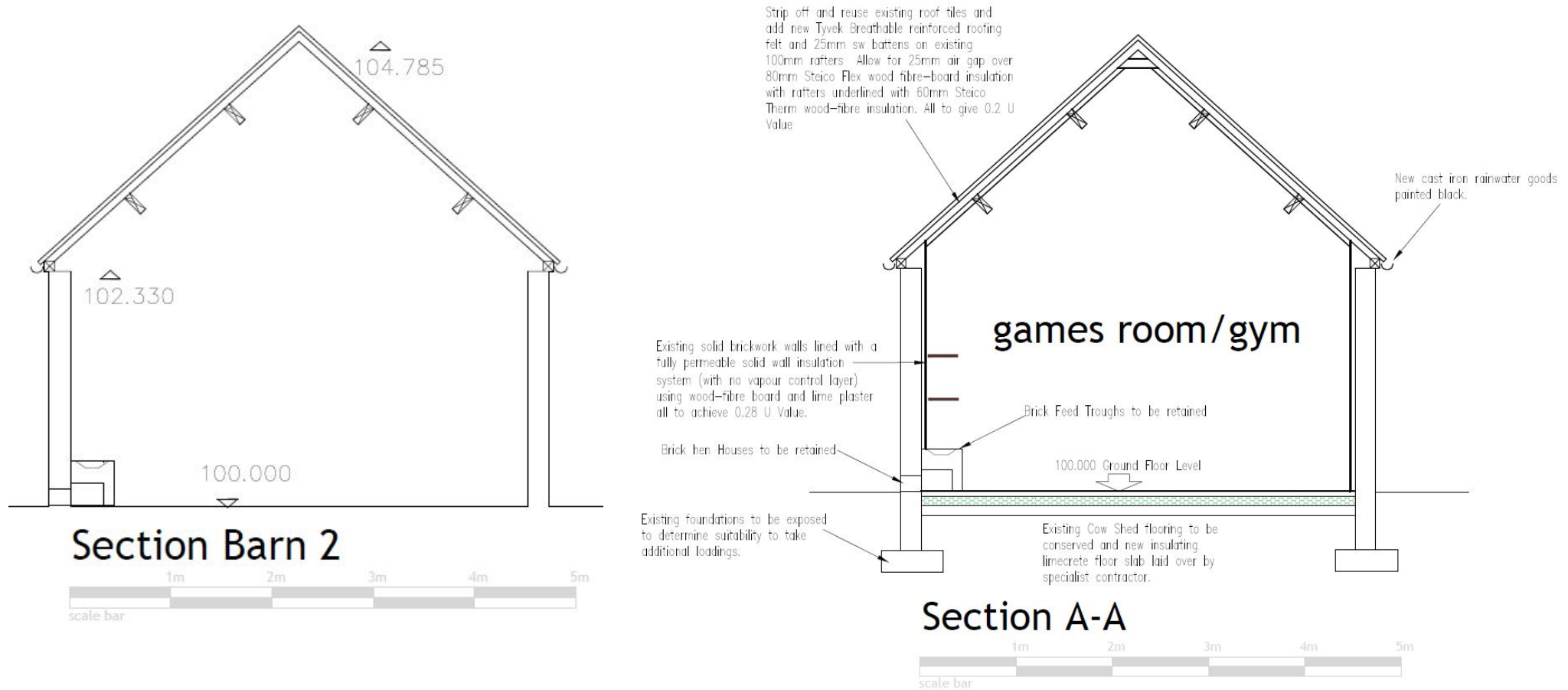
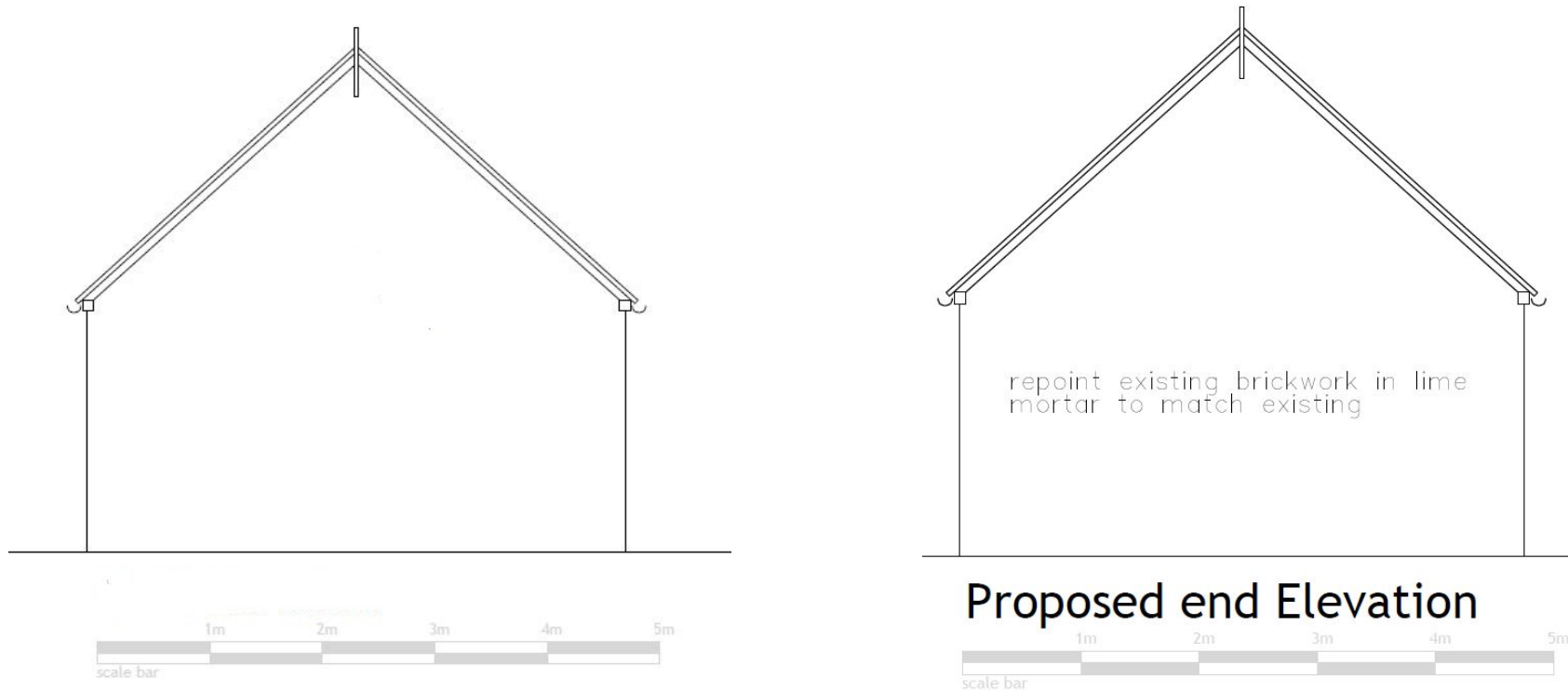


Figure 49: Drawings Showing Existing and Proposed Northern Gable Elevations



Figure 50: Drawings Showing Existing and Proposed Southern Gable Elevations



4.0 ASSESSMENT OF THE IMPACT OF THE NEW DEVELOPMENT

4.1 Heritage Issues

The key heritage issues is: will the proposed works adversely affect the heritage significance of the adjacent Listed Farmhouse, its setting, the curtilage Listed Barn, its adjacent Curtilage Listed Buildings, the settings of the two nearby Listed Buildings and/or the character and appearance of the conservation area.

4.2 Assessment Methodology

This evaluation has followed the standard methodology of assessing the heritage value of the elements and fabric proposed to be changed and assessed the magnitude of the impact of the change - which then provides an assessment of the significance of these changes.

Evaluation of Significance of Impacts of Change

Table 3 Matrix showing evaluation of Heritage value against Magnitude of the Impact of the Change - based on ICOMOS (2011) and IHBC approved BS 7913:2013 guidance (2013)

Heritage Value	Very High	Beneficial	Neutral	Slight	Moderate/ Large	Large/ Very Large	Very Large
	High	Beneficial	Neutral	Slight	Slight/ Moderate	Moderate/ Large	Large/ Very Large
	Medium	Beneficial	Neutral	Neutral/ Slight	Slight	Moderate	Moderate/ Large
	Low	Beneficial	Neutral	Neutral/ Slight	Neutral/ Slight	Slight	Slight/ Moderate
	Negligible	Beneficial	Neutral	Neutral	Neutral/ Slight	Neutral/ Slight	Slight
	Detrimental	Beneficial	Neutral	Beneficial	Beneficial	Beneficial	Beneficial
	Beneficial	No change	Negligible	Minor	Moderate	Major	
Magnitude of Impact of Change							

Heritage Value Definitions

Table 4: Heritage Value and Impact Definitions based on ICOMOS (2011) Guidance

Value Grading	Built Heritage
Very High	Buildings or structures of recognised/designated value that have internationally important architectural features and fabric (aesthetic value); and/or internationally important meaning to people (communal value); and/or internationally important potential to yield evidence from the past (evidential value); and/or internationally important associations (historic value).
High	Historic buildings or structures of recognised/designated value (e.g. Grade I and II*) that have nationally important architectural features and fabric (aesthetic value); and/or nationally important meaning to people (communal value); and/or nationally important potential to yield evidence from the past (evidential value); and/or nationally important associations (historic value). Important architectural features and/or layout that contribute directly to the heritage significance of the designated asset. Architectural features and/or layout that directly contribute and/or in their own right to the national heritage significance of the designated asset.
Medium	Historic buildings or structures of nationally designated value (e.g. Grade II) that have important architectural features and fabric (aesthetic value); and/or important meaning to people (communal value); and/or important potential to yield evidence from the past (evidential value); and/or important associations (historic value). Architectural features and/or layout that contribute directly to the national heritage significance of the designated asset.
Low	Historic buildings or structures of recognised/designated local value that have locally important architectural features and fabric (aesthetic value); and/or locally important meaning to people (communal value); and/or locally important potential to yield evidence from the past (evidential value); and/or locally important associations (historic value). Architectural features and/or layout that do not directly contribute to the national heritage significance of the designated asset.
Negligible	Historic buildings, structures, features, fabric of: no architectural merit; and/or no meaning to people; and/or, no

	potential to yield evidence from the past; and/or, no important associations.
Detrimental	Buildings, features of buildings or building fabrics that have an intrusive character or that are detrimental to the heritage significance of a historic building or structure.

Heritage Impact Definitions

Table 5: Heritage Impact Definitions based on ICOMOS (2011) Guidance

Impact Grading	Built Heritage
Major	Change to key building (or structure) element or fabric that contribute to its unique heritage value such that the heritage significance is totally changed; or, a comprehensive change to the setting
Moderate	Change to key building (or structure) element or fabric that contribute to its unique heritage value such that the heritage significance is significant modified; or, a change to the setting such that it is significantly modified
Minor	Change to key building (or structure) element or fabric that contribute to its unique heritage value such that the heritage significance is noticeably changed - but not so that the heritage significance of the whole is significantly modified; or, a change to the setting such that it is noticeably modified but not so that the heritage significance of the whole is significantly modified
Negligible	Slight changes to a historic building (or structure) or setting that hardly affect it
No Change	No change to structure, fabric or setting.
Beneficial	A change that removes or beneficially enhances an element of detrimental and/or neutral element, fabric or setting

4.3 Heritage Assessment

Table 6: Matrix showing Evaluation of Significance of Impacts of Change

Ref.	Proposed Change	Existing	Heritage Significance Value	Proposed Works	Mitigation	Impact Assessment	Significance of Impact
External Changes							
1	Replace existing timber doors with half glazed Entrance Double-doors and half-glazed Side Panels	C20 Doors and frame	Low	Replace existing timber doors with half-glazed Entrance Double-doors and half-glazed Side Panels	Care taken to minimise damage to historic fabric. New timber framed slimline double-glazed doors and windows materials to match. Use of lime mortar where required.	Existing doors are not original but C20 inserts. New half-glazed units will indicate to future generations use of building as part cartshed. Retention of cart doorway space is beneficial but doorways not in tradition cartshed style is adverse. Minor Impact	Neutral/ Slight
2	Repair (and replace if necessary with matching timber doors) existing Stable doors. Conserve and reuse existing original hinges and latches.	Existing original stable doors, hinges and latches	Medium	Remove and repair existing timber doors. Replace timber if necessary. Conserve original ironmongery and refit.	Carefully conserve original doors and ironmongery. Care taken to minimise damage to historic fabric.	Conservation of original building architectural and historic elements. Beneficial Impact	Beneficial
3	Retain existing Window Slatted Grilles	Original open-grilled windows for ventilation and light	Medium	Remove and conserve timber window grilles – repair and replace with similar if necessary. Re-fix.	Care taken to minimise damage to historic fabric.	Retain wooden window grille – Beneficial Impact	Beneficial
4	Re-roof building re-using existing tiles	C. mid-late C20 roof re-existing tiles that were likely replaced in C19.	Medium	Strip off and reuse existing roof tiles and add new Tyvek Breathable Reinforced Roofing Felt and 25mm sw battens on existing 100mm rafters. Allow for 25mm air gap over 80mm Steico Flex wood fibre-board insulation	Care taken to minimise damage to historic fabric. Use of breathable materials.	Maintenance of mid-C20 roof and provision of new insulation layers. Beneficial Impact	Beneficial

Heritage Matters: Heritage Statement – Barn Conversion, Grove Farm, Ashow

Ref.	Proposed Change	Existing	Heritage Significance Value	Proposed Works	Mitigation	Impact Assessment	Significance of Impact
				with rafters underlined with 60mm Steico Therm wood-fibre insulation.			
5	Two new Conservation Rooflights on Eastern Pitch of Roof	Tiled roof	Low	Insert two new Conservation Rooflights between rafters on Eastern Pitch of Roof	Care taken to minimise damage to historic fabric.	New conservation rooflights Minor Impact	Neutral/ Slight
Internal Changes							
6	Insulate interior face of walls	Interior walls are bare	Low	Existing interior brick walls lined with fully permeable solid wall insulation system (with no vapour control layer) using wood-fibre board and lime plaster.	Care taken to minimise damage to historic fabric. Use of breathable materials and Lime plaster mortar.	New interior plaster surfaces. Change in character of internal wall surfaces Minor Impact	Neutral/ Slight
7	Fix Smoke Detector in Rafters	Bare rafters and plywood bat attic (removed)	Negligible	Fix Smoke Detector in Rafters	Care taken to minimise damage to historic fabric.	New small smoke detectors visible Minor impact	Neutral/ Slight
8	Conserve of brick floor under limecrete floor and protective mesh liner	Uneven original brick floor	Medium	New reversible limecrete floor to be laid mesh liner over the existing brick flooring. Existing brick flooring too uneven to use as flooring for gym/living space. Garage concrete floor to be retained in new C20. Digging out concrete is likely to completely destroy existing brick flooring beneath.	Conservation of existing brick flooring under mesh liner and limecrete. Care taken to minimise damage to historic fabric. Could be reversed in the future, if required.	Conservation of brick flooring Minor impact	Slight
9	Create new doorway through existing brickwall	Existing brick wall.	Low	Carefully remove brickwork to form new doorway. New timber doorframe.	Care taken to minimise	Loss of historic fabric to create new doorway opening. Firmer	Neutral/Slight

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Ref.	Proposed Change	Existing	Heritage Significance Value	Proposed Works	Mitigation	Impact Assessment	Significance of Impact
					damage to historic fabric.	original wall still discernible. Minor Impact	
10	Remove blockwork wall	C20 blockwork wall to create second garage space.	Detrimental	Carefully remove blockwork to open up the room again.	Care taken to minimise damage to historic fabric.	Removal of modern wall Beneficial Impact	Beneficial
11	New internal windows	Open wooden grilles with no glazing.	Low	Fix new double glazed window unit on inside of existing grill units, to provide a weather-tight windows in these openings	Care taken to minimise damage to historic fabric.	Insert new double glazed windows which would not be clearly visible from outside. Minor impact	Neutral/Slight
12	New internal timber doors in stable door openings	Only externally opening stable doors (opening outwards) to be retained.	Medium	Fix new doors to provide a weather-tight doorway in these openings	Care taken to minimise damage to historic fabric.	Insert new interior doors that would not be visible from outside. Minor impact	Slight
13	Section of Brick Feeding Trough Removed to allow for Shower Room	Section of Brick Feeding Trough	Medium	Carefully remove section of Brick Feeding Trough to allow for Shower Room	Care taken to minimise damage to historic fabric.	Section of brick trough removed. Minor Impact	Slight
14	New Internal Stud Walls to create new Study and Shower Room	Open room	Low	Fix new Internal Stud Walls to create new Study and Shower Room. 100mm internal stud with minimum of 75mm between linings. Faced both sides with plasterboard of min. mass per unit area 10kg/sqm. Incorporating mineral wool batts. All joints sealed.	Care taken to minimise damage to historic fabric.	Reduction in openness of room Minor impact	Neutral/Slight
15	Connect new combined drainage from Shower Room to existing Drains	Existing flooring and yard	Low	Excavate drainage trench and other service trenches. Lay pipes and services, backfill to make good as existing.	Care taken to minimise damage to historic fabric. Disturbed historic fabric to	Unlikely loss of any significant historic fabric. Minor Impact	Neutral/Slight

Heritage Matters: Heritage Statement – Barn Conversion, Grove Farm, Ashow

Ref.	Proposed Change	Existing	Heritage Significance Value	Proposed Works	Mitigation	Impact Assessment	Significance of Impact
					be repaired 'like for like'.		
16	Replace uPVC Rainwater Goods with Cast Iron Goods to painted black	C20 uPVC rainwater goods	Detrimental		Care taken to minimise damage to historic fabric. Disturbed historic fabric to be repaired 'like for like'.	Replacement of non-historic UPVC with traditional black painted cast-iron rainwater goods Beneficial Impact	Beneficial
17	Repoint existing brickwork with lime mortar to match	Brickwork in need of maintenance	Medium	Repoint existing brickwork with lime mortar to match.	Care taken to minimise damage to historic fabric. Disturbed historic fabric to be repaired 'like for like'.	Beneficial Impact	Beneficial
18	Insert single fix glazed unit into existing Northern Gable Window opening	Window opening for ventilation.	Low	Carefully insert single fix glazed unit into existing Northern Gable Window opening	Care taken to minimise damage to historic fabric. Disturbed historic fabric to be repaired 'like for like'.	Change form open ventilation to glazed window. Unlikely loss of any significant historic fabric. Minor Impact	Neutral/ Slight

4.4 Summary

The works are summarised below:

Exterior

- 1: Replace existing timber doors with half-glazed Entrance Double-doors and half-glazed Side Panels
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- 3: Retain existing Window Slatted Grilles
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Interior

- 6: Insulate interior face of walls
- 7: Fix Smoke Detector in Rafters
- 8: Conserve brick floor under limecrete floor and protective mesh liner
- 9: Create new doorway through existing brickwall
- 10: Remove blockwork wall
- 11: New internal windows
- 12: New internal Timber doors
- 13: Section of Brick Feeding Trough Removed to allow for Shower Room
- 14: New Internal Stud Walls to create new Study and Shower Room
- 15: Connect new combined drainage from Shower Room to existing Drains
- 16: Replace uPVC Rainwater Goods with Cast Iron Goods to be painted black

17: Repoint existing brickwork with lime mortar to match

18: Insert single fix glazed unit into existing Northern Gable Window opening

In summary, the above proposals will not adversely affect the heritage significance of the Listed Building. The changes will result in impacts that have been assessed to be: six 'beneficial' impacts; nine 'neutral/slight'; and, three 'slight'. The proposals would preserve the special architectural and historic interest of this designated heritage asset. The works do not adversely effect the heritage significance of the nearby heritage assets nor adversely affect the character and appearance of the conservation area.

Therefore, the proposals do not directly conflict with any local or national heritage policies.

APPENDICES

Definition of Heritage Value (Historic England)

Evidential value

35: Evidential value derives from the potential of a place to yield evidence about past human activity.

36: Physical remains of past human activity are the primary source of evidence about the substance and evolution of places, and of the people and cultures that made them. These remains are part of a record of the past that begins with traces of early humans and continues to be created and destroyed. Their evidential value is proportionate to their potential to contribute to people's understanding of the past.

37: In the absence of written records, the material record, particularly archaeological deposits, provides the only source of evidence about the distant past. Age is therefore a strong indicator of relative evidential value, but is not paramount, since the material record is the primary source of evidence about poorly-documented aspects of any period. Geology, landforms, species and habitats similarly have value as sources of information about the evolution of the planet and life upon it.

38: Evidential value derives from the physical remains or genetic lines that have been inherited from the past. The ability to understand and

interpret the evidence tends to be diminished in proportion to the extent of its removal or replacement.

Historical value

39: Historical value derives from the ways in which past people, events and aspects of life can be connected through a place to the present. It tends to be *illustrative* or *associative*.

40: The idea of illustrating aspects of history or prehistory – the perception of a place as a link between past and present people – is different from purely evidential value. Illustration depends on visibility in a way that evidential value (for example, of buried remains) does not. Places with illustrative value will normally also have evidential value, but it may be of a different order of importance. An historic building that is one of many similar examples may provide little unique evidence about the past, although each illustrates the intentions of its creators equally well. However, their distribution, like that of planned landscapes, may be of considerable evidential value, as well as demonstrating, for instance, the distinctiveness of regions and aspects of their social organisation.

41: Illustrative value has the power to aid interpretation of the past through making connections with, and providing insights into, past communities and their activities through shared experience of a place. The illustrative value of places tends to be greater if they incorporate

the first, or only surviving, example of an innovation of consequence, whether related to design, technology or social organisation. The concept is similarly applicable to the natural heritage values of a place, for example geological strata visible in an exposure, the survival of veteran trees, or the observable interdependence of species in a particular habitat. Illustrative value is often described in relation to the subject illustrated, for example, a structural system or a machine might be said to have ‘technological value’.

42: Association with a notable family, person, event, or movement gives historical value a particular resonance. Being at the place where something momentous happened can increase and intensify understanding through linking historical accounts of events with the place where they happened – provided, of course, that the place still retains some semblance of its appearance at the time. The way in which an individual built or furnished their house, or made a garden, often provides insight into their personality, or demonstrates their political or cultural affiliations. It can suggest aspects of their character and motivation that extend, or even contradict, what they or others wrote, or are recorded as having said, at the time, and so also provide evidential value.

43: Many buildings and landscapes are associated with the development of other aspects of cultural heritage, such as literature, art, music or film. Recognition of such associative values tends in turn to inform people’s responses to these places. Associative value also attaches to

places closely connected with the work of people who have made important discoveries or advances in thought about the natural world.

44: The historical value of places depends upon both sound identification and direct experience of fabric or landscape that has survived from the past, but is not as easily diminished by change or partial replacement as evidential value. The authenticity of a place indeed often lies in visible evidence of change as a result of people responding to changing circumstances. Historical values are harmed only to the extent that adaptation has obliterated or concealed them, although completeness does tend to strengthen illustrative value.

45: The use and appropriate management of a place for its original purpose, for example as a place of recreation or worship, or, like a watermill, as a machine, illustrates the relationship between design and function, and so may make a major contribution to its historical values. If so, cessation of that activity will diminish those values and, in the case of some specialised landscapes and buildings, may essentially destroy them. Conversely, abandonment, as of, for example, a medieval village site, may illustrate important historical events.

Aesthetic value

46: Aesthetic value derives from the ways in which people draw sensory and intellectual stimulation from a place.

47: Aesthetic values can be the result of the conscious design of a place, including artistic endeavour. Equally, they can be the seemingly fortuitous outcome of the way in which a place has evolved and been used over time. Many places combine these two aspects – for example, where the qualities of an already attractive landscape have been reinforced by artifice – while others may inspire awe or fear. Aesthetic values tend to be specific to a time and cultural context, but appreciation of them is not culturally exclusive.

48: Design value relates primarily to the aesthetic qualities generated by the conscious design of a building, structure or landscape as a whole.

[Architectural Design] It embraces composition (form, proportions, massing, silhouette, views and vistas, circulation) and usually materials or planting, decoration or detailing, and craftsmanship. It may extend to an intellectual programme governing the design (for example, a building as an expression of the Holy Trinity), and the choice or influence of sources from which it was derived. It may be attributed to a known patron, architect, designer, gardener or craftsman (and so have associational value), or be a mature product of a vernacular tradition of building or land management. Strong indicators of importance are quality of design and execution, and innovation, particularly if influential.

49: Sustaining design value tends to depend on appropriate stewardship to maintain the integrity of a designed concept, be it landscape, architecture, or structure.

50: It can be useful to draw a distinction between design created through detailed instructions (such as architectural drawings) and the direct creation of a work of art by a designer who is also in significant part the craftsman. The value of the artwork is proportionate to the extent that it remains the actual product of the artist's hand. While the difference between design and 'artistic' value can be clear-cut, for example statues on pedestals (artistic value) in a formal garden (design value), it is often far less so, as with repetitive ornament on a medieval building.

51: Some aesthetic values are not substantially the product of formal design, but develop more or less fortuitously over time, as the result of a succession of responses within a particular cultural framework. They include, for example, the seemingly organic form of an urban or rural landscape; the relationship of vernacular buildings and structures and their materials to their setting; or a harmonious, expressive or dramatic quality in the juxtaposition of vernacular or industrial buildings and spaces. Design in accordance with Picturesque theory is best considered a design value.

52: Aesthetic value resulting from the action of nature on human works, particularly the enhancement of the appearance of a place by the passage of time ('the patina of age'), may overlie the values of a conscious design. It may simply add to the range and depth of values, the significance, of the whole; but on occasion may be in conflict with some of them, for example, when physical damage is caused by vegetation charmingly rooting in masonry.

53: While aesthetic values may be related to the age of a place, they may also (apart from artistic value) be amenable to restoration and enhancement. This reality is reflected both in the definition of conservation areas (areas whose ‘character or appearance it is desirable to preserve or enhance’) and in current practice in the conservation of historic landscapes.

Communal value

54: Communal value derives from the meanings of a place for the people who relate to it, or for whom it figures in their collective experience or memory. Communal values are closely bound up with historical (particularly associative) and aesthetic values, but tend to have additional and specific aspects.

55: *Commemorative* and *symbolic* values reflect the meanings of a place for those who draw part of their identity from it, or have emotional links to it. The most obvious examples are war and other memorials raised by community effort, which consciously evoke past lives and events, but some buildings and places, such as the Palace of Westminster, can symbolise wider values. Such values tend to change over time, and are not always affirmative. Some places may be important for reminding us of uncomfortable events, attitudes or periods in England’s history. They are important aspects of collective memory and identity, places of remembrance whose meanings should not be forgotten. In some cases, that meaning can only be understood

through information and interpretation, whereas, in others, the character of the place itself tells most of the story.

56: Social value is associated with places that people perceive as a source of identity, distinctiveness, social interaction and coherence. Some may be comparatively modest, acquiring communal significance through the passage of time as a result of a collective memory of stories linked to them. They tend to gain value through the resonance of past events in the present, providing reference points for a community’s identity or sense of itself. They may have fulfilled a community function that has generated a deeper attachment, or shaped some aspect of community behaviour or attitudes. Social value can also be expressed on a large scale, with great time-depth, through regional and national identity.

57: The social values of places are not always clearly recognised by those who share them, and may only be articulated when the future of a place is threatened. They may relate to an activity that is associated with the place, rather than with its physical fabric. The social value of a place may indeed have no direct relationship to any formal historical or aesthetic values that may have been ascribed to it.

58: Compared with other heritage values, social values tend to be less dependent on the survival of historic fabric. They may survive the replacement of the original physical structure, so long as its key social and cultural characteristics are maintained; and can be the popular driving force for the re-creation of lost (and often deliberately

destroyed or desecrated) places with high symbolic value, although this is rare in England.

59: Spiritual value attached to places can emanate from the beliefs and teachings of an organised religion, or reflect past or present-day perceptions of the spirit of place. It includes the sense of inspiration and wonder that can arise from personal contact with places long revered, or newly revealed.

60: Spiritual value is often associated with places sanctified by longstanding veneration or worship, or wild places with few obvious signs of modern life. Their value is generally dependent on the perceived survival of the historic fabric or character of the place, and can be extremely sensitive to modest changes to that character, particularly to the activities that happen there.”

(pp.28-32, Historic England: Conservation Principles Policies And Guidance For The Sustainable Management Of The Historic Environment, (2008))