

PLANNING STATEMENT



Demolition of Agricultural Buildings and Extension of Farmhouse

At

**Lodge Farm,
Common Lane
High Catton
YO41 1EW**

On Behalf of Mr & Mrs Sey

July 2021

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1.0 Introduction

1.1 Gallagher Planning is pleased to submit the planning application which this report accompanies. The application has been submitted on behalf of Mr and Mrs Sey and seeks planning permission for the demolition of agricultural buildings and extension of the farmhouse at Lodge Farm, High Catton.

1.2 The site boundary is identified below in Image 1.

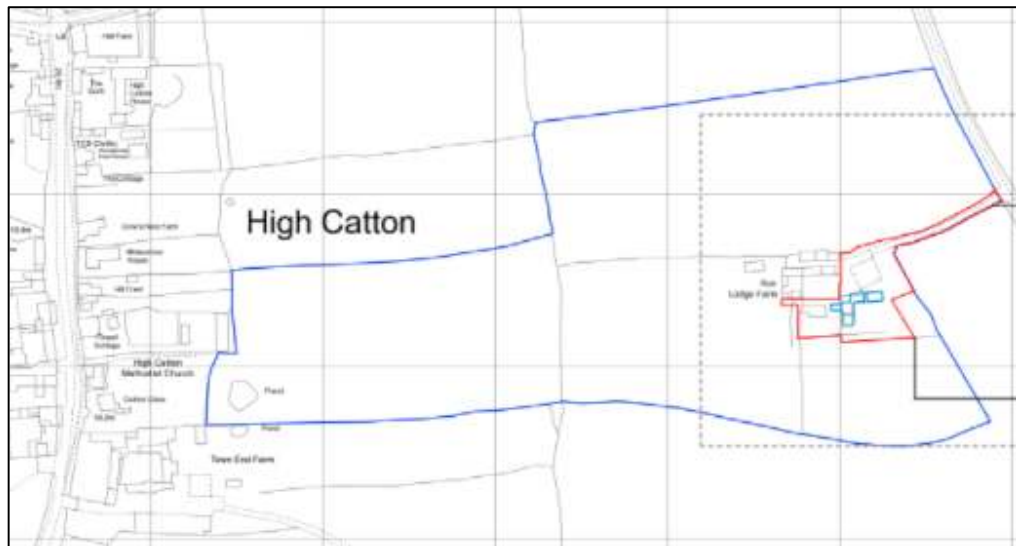


Image 1: Site Location Plan

1.3 The application is also accompanied by a full set of planning drawings prepared by KM Workshops Limited.

2.0 Description of Site and Proposed Development

- 2.1 The application site is located on the west side of Common Lane, High Catton. The site is located at approximate National Grid Reference SE 72189 53535.
- 2.2 Image 3 below is an aerial photograph of the site and its immediate context. There are several farm buildings to the north with open fields to the west, south and east under the ownership of the applicant.



Image 2: Aerial View of the site (Source: Google)

- 2.3 The proposal is for the demolition of agricultural buildings and extension of the farmhouse. The accompanying drawings show the proposed site layout.
- 2.4 Access to the site is via the existing access from Common Lane.

3.0 Planning History

- 3.1 Based on information available on the East Riding of Yorkshire Council's website, there is no relevant planning history for Lodge Farm.

4.0 Planning Policy

Local Planning Policy

4.1 Applications are to be determined in accordance with the policies in the Development Plan. In this case, the Development Plan for the area comprises the East Riding Local Plan Strategy Document (ERLP) adopted in April 2016 and the Allocations Document that was adopted in July 2016.

4.2 The policies most relevant to this proposal are:

- Policy A6 – Vale of York Sub-Area - sets out how growth will be delivered in the sub-area.
- Policy S1 – Presumption in favour of Sustainable Development - reflects the requirements of the NPPF to take a positive approach to sustainable development.
- Policy S4 – Supporting development in Villages and the Countryside – recognises the importance of a working, living and attractive countryside.
- Policy H4 – Making the most efficient use of land – supports new residential development where it makes effective use of land or buildings.
- Policy ENV1 – Integrating high-quality design – seeks to achieve high-quality design, safeguarding and reflecting the distinctiveness of the local area.
- Policy ENV4 – Conserving and enhancing biodiversity and geodiversity - seeks to ensure that biodiversity and geodiversity are conserved and enhanced in the East Riding.
- Policy ENV6 – Managing environmental hazards – seeks to manage environmental hazards including flood risk and groundwater pollution to ensure that development does not result in unacceptable consequences to its users, the wider community, and the environment.

National Planning Policy

- 4.3 The National Planning Policy Framework (NPPF) is a material consideration and is the Government's overarching framework for planning policy.
- 4.4 The NPPF identifies those applications that should be considered in the context in favour of sustainable development (paragraph 10).
- 4.5 Proposals that accord with the development plan should be approved without delay and where it is silent or relevant policies are out of date, permission should be granted unless any adverse effects of doing so would significantly and demonstrably outweigh the benefits when assessed against the NPPF as a whole, or specific policies within the NPPF indicate that development should be restricted (Paragraph 11).
- 4.6 Paragraph 38 of the NPPF states that: *'Local planning authorities should approach decisions on proposed developments in a positive and creative way. They should use the full range of planning tools available....and work proactively with applicants to secure developments that will improve the economic, social and environmental conditions of the area. Decision-makers at every level should seek to approve applications for sustainable development where possible'*.
- 4.7 The Government also seeks to secure high-quality design and a good standard of amenity for all existing and future occupants of buildings. Paragraph 124 places great importance on the design of the built environment, stating that good design is a key aspect of sustainable development.
- 4.8 Paragraph 155 recognises inappropriate development in flood risk areas should be avoided by directing development away from high-risk areas.

5.0 Planning Considerations

Principle of Development

- 5.1 The proposed development lies in the Countryside outside the village of High Catton as shown on the extract from the ERLP Policies Map (see below).

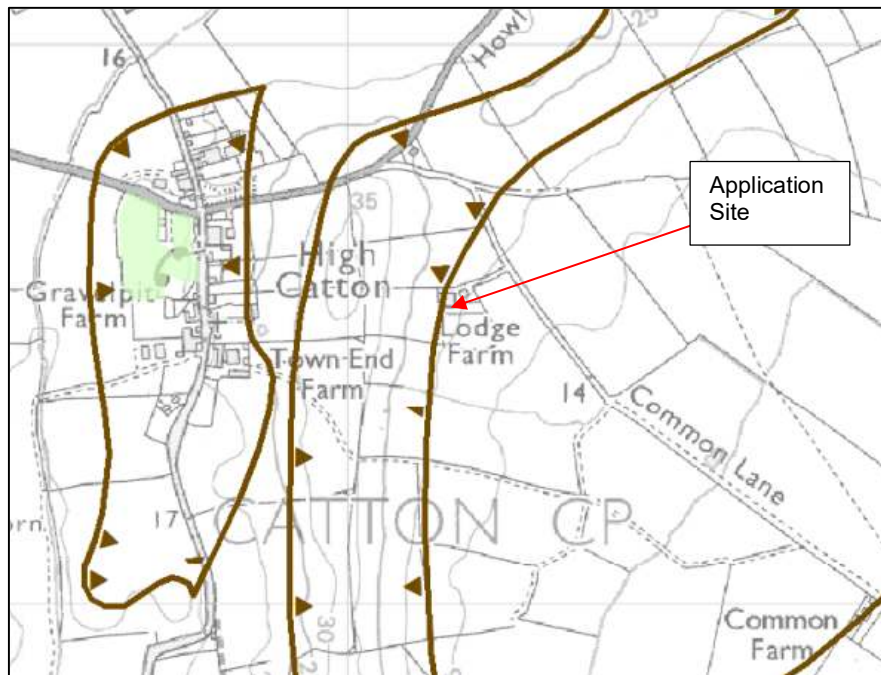


Image 3: Extract from Policies Map – Grid 16 (Source: ERYC)

- 5.2 Policy S4 is the over-arching policy in the East Riding for development in villages and countryside. Part B of the Policy states that within the development limits of villages as set out on the Policies Map, the following forms of development will be supported where it does not detract from the character and appearance of the village.

1. New housing usually comprising a single dwelling.
2. Affordable housing for local people
3. New and/or enhanced local services and facilities; and
4. Economic development.

- 5.3 The supporting text to Policy S4 requires that all schemes should be of an appropriate scale for their rural location. The proposed layout for an extension to the farmhouse and the demolition of farm buildings demonstrate that the proposal can easily be accommodated within the site whilst respecting the rural character of the locality.
- 5.4 There is no conflict with the policies which aim to protect the countryside from the intrusion of inappropriate development and as such, the proposal accords with the settlement hierarchy set out in the ERLP.
- 5.5 Part C of Policy S4 identifies the types of development that will be supported in the Countryside where proposals respect the intrinsic character of their surroundings. The Policy is silent on extensions to existing dwellings in the Countryside. Paragraph 4.53 provides further guidance:
- “For clarity, development limits are not intended to exclude the prospect of extensions to residential dwellings where these are of an appropriate size and respectful to the character of the area.”*
- 5.6 On the basis of the above, the principle of the development is judged to be acceptable.

Design

- 5.7 One of the core planning principles of the NPPF is that planning should seek to secure high-quality design and a good standard of amenity for existing and future occupants of land and buildings. National planning policy recognises the role that high-quality design plays in creating sustainable places. Good design is a key aspect of sustainable development and should contribute positively to making places better for people. The NPPF advises that in the assessment of design, consideration where appropriate should be given to layout, form, scale, detailing and materials.
- 5.8 Paragraph 124 of the NPPF states that *“The creation of high-quality buildings and places is fundamental to what the planning and development process should achieve.*

Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities."

- 5.9 Policy ENV1 requires all proposals to contribute to safeguarding and respecting the diverse character and appearance of the area through their design, layout, construction and use and has regard to the specific characteristics of the site's wider context and the character of the surrounding area having an appropriate scale, density, massing, height and material.
- 5.10 Some existing buildings are proposed to be demolished as part of this proposal. These include the corrugated roof workshop, breeze block garage, corrugated roof open structure, existing shed of brick construction and 2no. flat roof, brick corrugated walled garage structures (see image below).

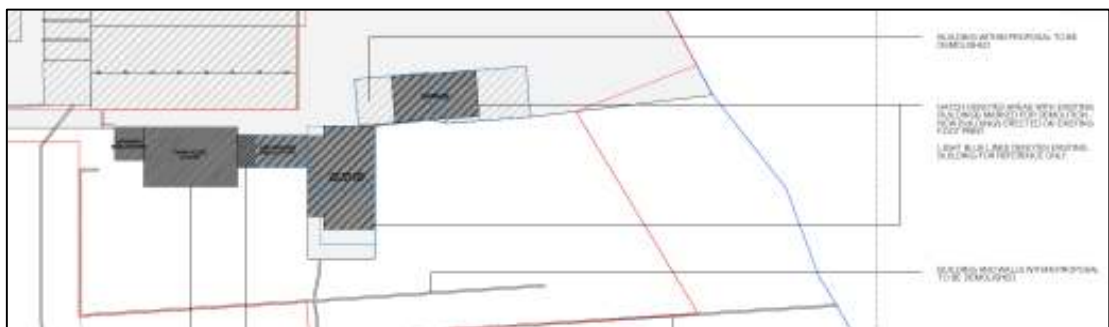


Image 4: Extract from Site Plan Proposed Volumes (Drawing No. PLA.100.03)

- 5.11 The removal of the unsightly, dilapidated buildings will improve the appearance of the site, which currently detract from the setting of the existing farmhouse. The removal of the buildings will also provide a significantly improved and more functional outdoor space within the curtilage of the existing dwelling. Image 5 below is a series of photos of the buildings to be demolished.



Image 5: Views of buildings to be demolished.

5.12 The proposed scheme has been designed taking into account the agricultural setting. The image below shows the existing farmhouse.



Image 6: Appearance of Existing Farmhouse (South Elevation)

- 5.13 Drawing No. PLA.102.09 shows the appearance of the proposal in the elevations and sections.
- 5.14 All structures are to be brick-built with reclaimed/new brick to match with the existing farmhouse. All doors and windows will be new timber construction. The roof tiles will match the tiles on the adjacent agricultural buildings.



Image 7

- 5.15 The proposal has been sympathetically designed and is appropriate for its setting in a countryside location and is sympathetic to its surroundings.
- 5.16 The proposed design will form an appropriate relationship with the existing character of the area and as such will comply with Policy ENV1 of the Local Plan.

Access

- 5.17 Policy EC4 of the ERLP (Part C) requires that the number of parking spaces for all new development should reflect, the level of public transport accessibility; the expected car usage on-site; and the most efficient use of space available and promotion of good design.
- 5.18 The submitted plans show that the site is and will be accessed directly from Common Lane (see Image below).



Image 8: Proposed Access (Source: Google Maps 2021)

- 5.19 The site offers space for access and off-road parking. The site can be accessed and egressed safely, as satisfactory visibility can be achieved in both directions. No additional traffic will be generated.
- 5.20 The plans show that the proposed development will not pose a threat to highway safety or capacity. The proposal would, therefore, comply with the requirements for the proposed development to be safe and accessible to accord with policy EC4 of the ERLP and advice contained within the NPPF.

Impact on Residential Amenity

- 5.21 Relevant policies in respect of the impact of the proposal on residential amenity include Policy ENV1 of the ERLP.
- 5.22 The NPPF sets out that development should create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users (paragraph 127). Good design requires that

development proposals should ensure no undue adverse impact from overlooking, overshadowing or from over-dominant structures.

- 5.23 The proposal has been designed to ensure that there is a good standard of residential amenity and there is no impact on neighbours through overlooking or overshadowing. The nearest neighbour is over 380 metres away.
- 5.24 As such, it is considered that the proposal would not have any significant adverse impacts on the amenities of occupiers of neighbouring properties. The proposed development would, therefore, comply with Policy ENV1 of the ERLP and guidance set out in the NPPF.

Ecology

- 5.25 Policy ENV4 relates to the importance of conserving and enhancing biodiversity and geodiversity and that any development which would have an adverse impact on an important habitat or species should be avoided as far as possible.
- 5.26 A Preliminary Roost Assessment Report prepared by Curtis Ecology accompanies this planning application.

Designated Sites

- 5.27 There is one Internationally Designated site found within the 2km search area. The River Derwent a Special Area of Conservation is found at its nearest point approximately 1.9km to the west of the study site.
- 5.28 There is one Nationally Designated Site found within the 2km search area The River Derwent a Site of Special Scientific Interest is located at its nearest point approximately 1.9km to the west of the study site.
- 5.29 There are no Local Nature Reserves found within the search area.
- 5.30 There are seven Local Wildlife Sites (LWS) found within the search area, the nearest of which is High Catton Railway Cutting, and Historical LWS.

5.31 Given the small scale of the proposed development and its location, it is not anticipated that any negative impacts would be likely to occur upon any of the Designated Sites found within the 2km search radius.

Roosts

5.32 The buildings were subject to a visual daytime inspection for evidence of and potential for bat species. The study site layout is shown below with the individual buildings numbered 1-5.



Image 9: Preliminary Roost Assessment Study Buildings

5.33 There were several features identified within the study buildings to varying degrees, which have the potential to provide roosting opportunities, especially for crevice dwelling bat species, bearing in mind that a Pipistrelle bat species can squeeze into a 15 – 20mm gap quite easily. Therefore, as a result of the observations made during the daytime buildings assessment, the study buildings have been assessed in the following order: -

- Building 1 – Negligible – Low potential

- Building 2 – Low potential
- Building 3 – Low potential
- Building 4 – Moderate potential
- Building 5 - Moderate potential

5.34 Any potential impacts on bat species, which could result from the proposed development cannot be fully assessed from the findings of this Preliminary Roost Assessment alone.

5.35 To assess any possible impacts and to determine the level of mitigation that may be required, along with any requirements for a European Protected Species Mitigation Licence, it is recommended that nocturnal surveys in the form of dusk /emergence and dawn/re-entry survey are undertaken during the bat activity survey season, generally taken to be between May and mid-September, prior to any construction/demolition works being undertaken.

Habitats

5.36 The habitats within the immediate surrounding area are at this stage considered to offer Moderate foraging capacity.

Nesting Birds

5.37 No historical nest sites were observed in any of the buildings during the daytime assessment, therefore no further survey work or mitigation is required at this stage.

Landscape

5.38 According to the East Riding Landscape Character Assessment¹ (ERLCA) (2018), the site is in Landscape Character Type (LCT) 1: Flat Open Farmland within the National Character Area of the 'Vale of York'.

¹ <https://www.eastriding.gov.uk/planning-permission-and-building-control/planning-policy-and-the-local-plan/landscape-character-assessment/>

- 5.39 Within the Landscape Character Type 1, the Landscape Character Area (LCA) is 2B (Full Sutton and Fangfoss Farmland).
- 5.40 This area is located around the villages of Fangfoss and Full Sutton and is generally below 30m AOD. The area is generally flat with rising undulating ground to the north, east and west.
- 5.41 Full Sutton Airfield and Industrial Estate and Full Sutton Prison are prominent non-agricultural land uses in this area. The dismantled railway line is also a prominent linear feature.
- 5.42 Medium-sized rectilinear field patterns with hedgerow boundaries and hedgerow trees are present. Land use is mixed but there is more arable land than grassland.
- 5.43 This is a large scale LCA with open views occasionally enclosed by scattered woodland, clumps of trees and hedgerows. Pylons and small-scale turbine developments can be seen in places and industrial development brings an element of discord to the otherwise pleasant landscape. Overall, there are no outstanding features and the landscape is quite bland.

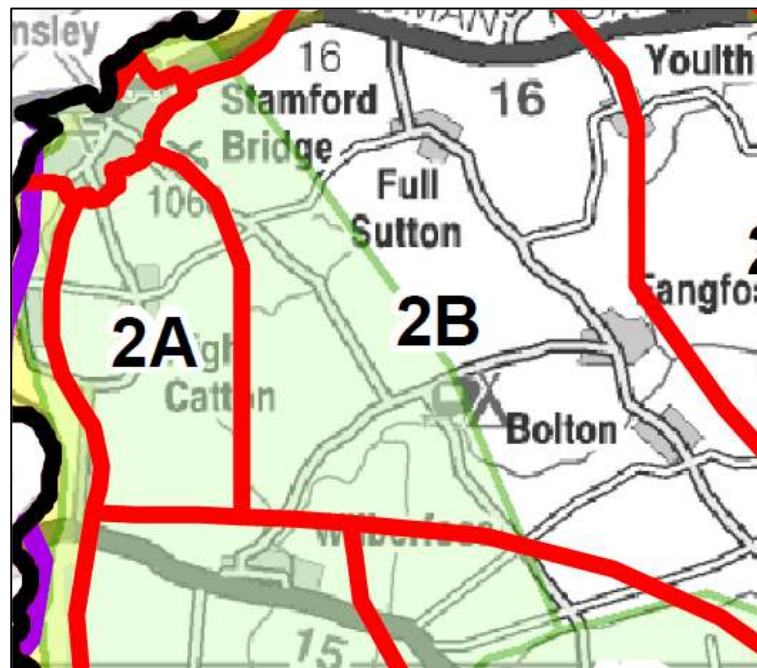


Image 10: Landscape Character

- 5.44 In terms of susceptibility to development, the ERLCA states that there are a number of scattered nucleated settlements throughout the LCT. Some residential development is evident surrounding settlements. Additional small-scale development of this nature would have a limited effect on the integrity of the landscape.
- 5.45 The proposal has been sensitively designed to ensure that the proposal retains the special character and its relationship with the character of the local landscape. This has been retained by the design of the extension using matching materials and the sensitive use of traditional materials.

Flood Risk

- 5.46 Policy ENV6 of the ERLP seeks to manage environmental hazards such as flood risk, coastal change, groundwater pollution and other forms of pollution to ensure that development does not result in unacceptable consequences to its users, the wider community and the environment.
- 5.47 The National Planning Policy Framework advises that development should be located in areas where there is the lowest probability of flooding. The site is situated in Flood Risk Zone 1 (see image below) where flooding from rivers and the sea is very unlikely. There is less than a 0.1% chance of flooding each year.

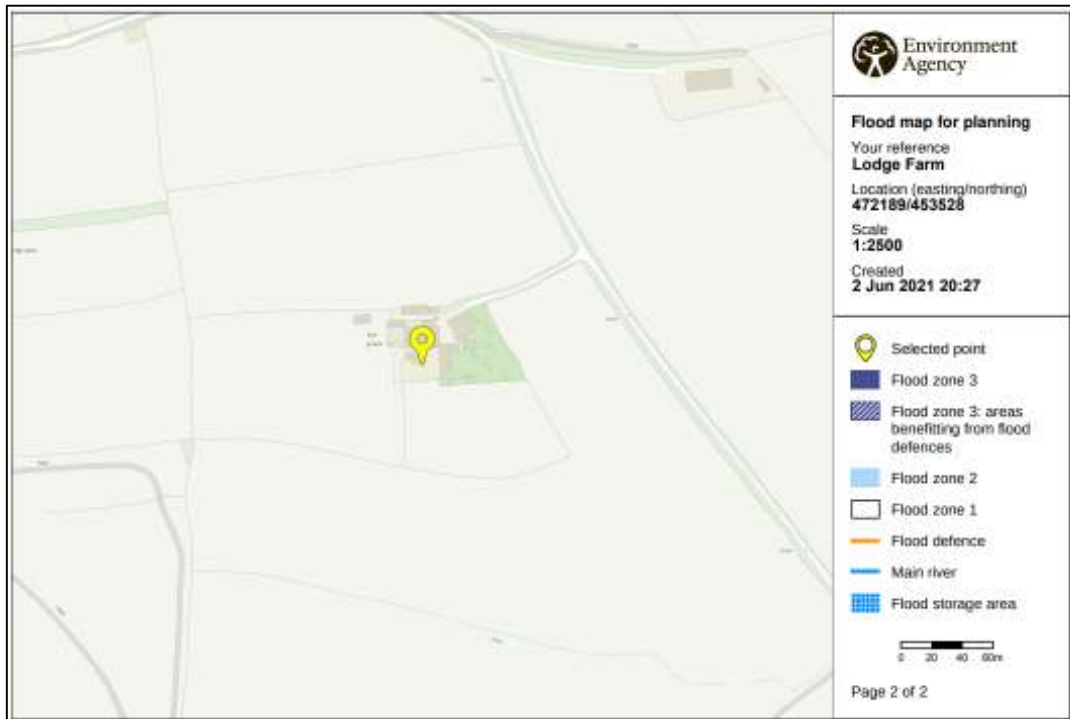


Image 11: Flood Risk Map (Source - Environment Agency)

Contamination

- 5.48 Policy ENV6 of the ERLP relates to environmental hazards and seeks to ensure that development does not result in unacceptable consequences to its users, the wider community and the environment.
- 5.49 Section 15 of the NPPF relates to conserving and enhancing the natural environment, with paragraphs 178-183 relating specifically to ground conditions and pollution.
- 5.50 An Asbestos Refurbishment Survey for Lodge farmhouse and a Demolition Survey have been undertaken to agricultural buildings, garages, workshop and covered yard areas.
- 5.51 The concrete floor slab has been investigated within each outbuilding with a concrete base and the yard. Limited surveying was undertaken within the chimney voids due to access issues and within the ground and overgrown areas.

- 5.52 Detailed findings are contained within the report including a breakdown of risk analysis and recommended actions.
- 5.53 Asbestos found on site will be removed as part of the proposed development and disposed of appropriately.

6.0 Conclusion

- 6.1 It is considered that the size, siting and scale of the proposed development are acceptable and would not harm the character of the surrounding area.
- 6.2 The proposal would make good use of the available space within the plot, whilst removing unsightly buildings which would result in environmental enhancements.
- 6.3 The proposal is not considered to have any detrimental impact on the residential amenity of any neighbouring dwellings.
- 6.4 The NPPF introduces a presumption in favour of sustainable development, and this is currently a key material consideration in planning decisions. There are no significant adverse planning impacts in this case that would outweigh the benefits of this proposal to justify the refusal of planning permission. The policies in the ERLP are consistent with the planning merits of this proposal.
- 6.5 In summary, it has been demonstrated that there are no policies or other material considerations which would suggest that planning permission should not be granted.
- 6.1 We confirm that we represent the applicants with respect to this planning application. We will be in touch with the appointed planning officer in the coming weeks to discuss the proposed development.