

Design & Access Statement



ACS ARCHITECTURAL



PROJECT

Proposed Holiday Suites & Spa

ADDRESS

No. Twenty9 Bar & Restaurant,
29 Market Place,
Burnham Market,
Norfolk,
PE31 8HF

ON BEHALF OF

Mr T Roberts

PREPARED BY	Nick Borrmann, Architectural Designer For and on behalf of ACS Architectural Ltd
PROJECT REF. NO.	601/21
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1. Application

This application is for a commercial development of Bed and Breakfast style accommodation including the conversion of an existing outbuilding to provide spa facilities ancillary to the No. Twenty 9 Bar and Restaurant at No.29 Market Place, Burnham Market.

The addition of 2no. single suites as a further development to the existing 6 suites granted permission in 2017 (17/01451/F) and constructed in 2019 is to be located in the North East corner at the rear of the site. Like the previous development, this proposal is also shielded by existing historic walls, structures and trees that have been respectfully retained whilst an innovative design is proposed for foundations to ensure there is no harm to tree roots. The trees and their retention are deemed an integral part of a development seeking to provide tranquil and peaceful accommodation for patrons whilst maintaining the same attributes for local residents.

The existing outbuilding structure located in the north west corner at the rear of the site is to be converted to provide simple spa facilities for patrons.

The structures surrounding the site are a mixture of shops, eateries and residential dwellings. This type of development takes into great consideration the latter and is essentially a quiet residential development but without the onsite traffic increase associated with the aforementioned. As proven with the initial Holiday Suite development in 2019, the suites are in essence no different to the many holiday lets throughout Burnham Market simply providing private and peaceful accommodation.



Photograph – Existing Holiday Suites constructed 2019



Aerial photograph – Google Maps not to scale.

2. Site & Surroundings

Burnham Market is a village and civil parish near the north coast of Norfolk. Burnham Market is one of the Burnhams, a group of adjacent villages in North Norfolk. It is the result of the merger of three of the original Burnham villages, namely Burnham Sutton, Burnham Ulph and Burnham Westgate. Burnham Market is regarded as a Key Rural Service Centre as part of the Council's Core Strategy Development Plan 2011.

Burnham Market lies approximately 5 miles west of Wells-next-the-Sea, 12 miles east of Hunstanton and 10 miles north of Fakenham. The smaller villages of Burnham Deepdale and Burnham Norton are within 2 miles to the west and north of Burnham Market, whilst Burnham Overy and Burnham Thorpe are a similar distance to the east. North Creake is 4 miles to the south. The larger town of King's Lynn is 20 miles to the south-west, whilst the city of Norwich is 30 miles to the south-east.

The property comprises a Grade II listed building, in a landmark location, facing south, overlooking the Market Place and "village green". The property, following a planning approval and conversion is now a thriving Restaurant and Bar also boasting the already mentioned Holiday Suite accommodation which is located within the walled "garden" defined as the proposed site at the north end of the property boundaries. Following the accommodation development, the walled garden not only retained much of the mature shrubs, trees, herbaceous borders and hard landscape areas, but also saw enhancement as part of the general landscaping scheme.

The layout of the 6no. original holiday suites development was strictly confined within the existing boundaries and dictated by the position of the



Photograph – Site East and North Boundaries from West.

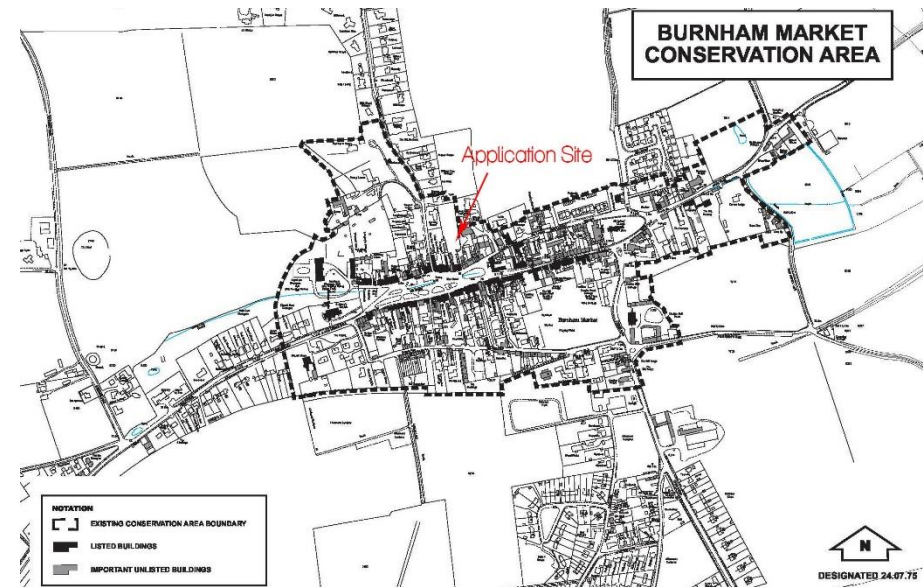
existing trees and their root protection areas. As a result, the development was provided as an interesting and distinctive shape creating an inner courtyard style complex, shielded and private from all sides.

The Holm Oak, located to the North West of the site, provides the centre piece of a sensory garden. The site levels raise to the rear as existing and there are ambient steps in place to access the higher level. The accommodation also benefits from ramps to allow disabled access into the existing suites.

The application site is located within the "Settlement Boundary" as shown on the inset map for Burnham Market. The current use of the immediate surrounding area is predominately commercial properties i.e. shops and eateries. However, beyond the immediate marketplace, Burnham Market is characterised by residential properties of an established form and character as well as ample new development.

3. Historic Land Use

From studying Norfolk County Council's historic maps and aerial photographs of Burnham Market it is clear that there has been ample development in the village since the 1988 aerial photograph. The centre of the village around the market place is characterized by a traditional stock of buildings and later infill and extension development mainly in-keeping with the traditional aesthetic. Beyond the centre the village has become a hub of residential development. To the north of the site Herring's Lane is a continuing residential development hotspot. The site itself in the 1988 aerial photograph shows the main element of the structure as it is today, minus the later developments of the orangery



Burnham Market Conservation Area – not to scale



Aerial Photograph - 1988

extension as part of the restaurant development and conversion (circa.2003) and of course the Holiday Accommodation Complex and associated outbuilding (circa.2019).

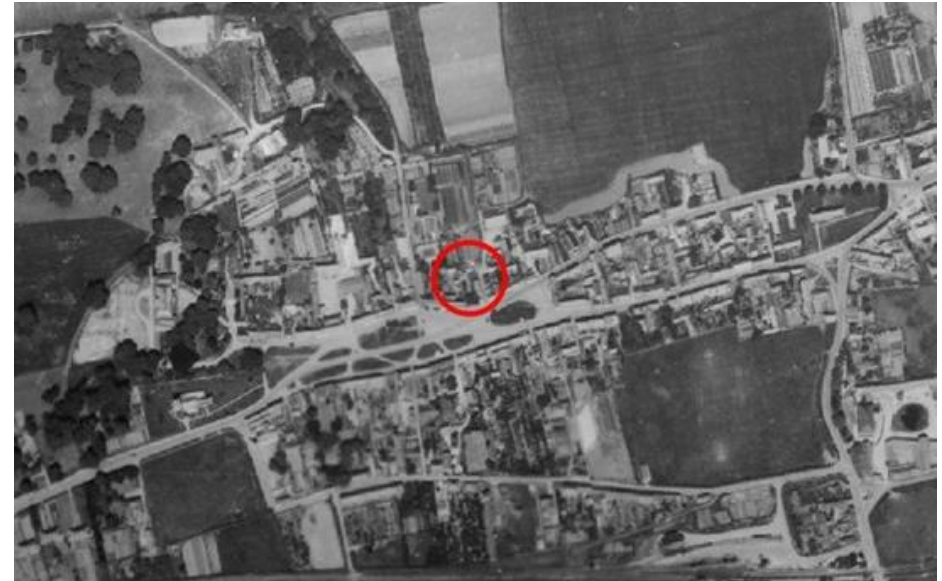
The 1946 aerial photograph shows less development in the surrounding area with more agricultural land present. However, determining development on the site from the photo is inconclusive.

The Ordnance Survey 1st Edition (1879-1886) map shows a clear footprint of the property which suggests there was previous development where the current "Barn/Store" is located.

The Tithe (1836-1850) map echoes the same suggested footprint. Both maps show considerable development highlighting the stock of traditional buildings still apparent today in the village centre. Beyond the centre, the surrounding area shows an expected prominence of agricultural buildings and land. There is no recorded information for the site and surrounding area on the Enclosure map.

4. Use

29 Market Place is presently of commercial use as the No. TWENTY 9 Bar and Restaurant and the application site is also so with the associated and ancillary Holiday Accommodation.



Aerial Photograph - MOD 1946



Ordnance Survey 1st Edition - 1879-1886

5. Planning History

The property has a long and varied history of planning applications as listed below.

20/00283/F

Variation of conditions 1 and 6 and removal of condition 5 of planning permission 18/01796/F: VARIATION OF CONDITION 3: of planning permission 17/00984/F - **Permitted**

19/02014/F

Retention of 2no. Air Source Heat Pumps serving 6no. suites B&B accommodation ancillary to bar and restaurant – **Permitted**

18/01796/F

VARIATION OF CONDITION 3: of planning permission 17/00984/- **Permitted**

17/01451/F

Proposed development of 6no. suites B&B accommodation ancillary to bar & restaurant - **Permitted**

17/00984/F

VARIATION OF CONDITION 3 OF PLANNING PERMISSION 16/02002/F: **Permitted**

17/00912/A

Advertisement Application: 2no. illuminated signs hand painted directly to facing brickwork of principal elevation in faded 'vintage' style using Local Authority approved water-based paint and proposed lighting details. - **Permitted**

17/00761/LB

Proposed signage and lighting details to principal elevation including service/prep area and internal alterations - **Permitted**

16/02194/LB

Change of use of the 'Old Stable' from retail (A1) to ancillary office and store of proposed restaurant (A3) including alterations - **Permitted**



Tithe Map - 1836-1850



Photograph – View looking north from existing holiday suites

16/02193/F

Change of use of the 'Old Stable' from retail (A1) to ancillary office and store of proposed restaurant (A3) including alterations - **Permitted**

16/02003/LB

Proposed change of use from ground floor retail (A1) and first floor residential (C3) to two storey restaurant (A3) including extension and alterations - **Permitted**

16/02002/F

Proposed change of use from ground floor retail (A1) and first floor residential (C3) to two storey restaurant (A3) including extension and alterations - **Permitted**

2/01/1410/LB

Demolition of existing wall construction of replacement wall incorporating covered store and new covered link - **Permitted**

2/01/1411/CU

Change of use of part domestic garden to garden shop construction of new wall with covered store and covered link - **Permitted**

2/00/0203/LB

Insertion of door and window in west elevation and French doors in north elevation with incidental demolition - **Permitted**

2/00/0469/F

Insertion of door and window in west elevation and French doors in north elevation with incidental demolition - **Permitted**

2/99/0190/F

Construction of detached garage - **Permitted**

2/98/0078/CU

Change of use from residential to residential and retail (Class A1) - **Permitted**



Photograph – view looking west toward outbuilding from east boundary.



Existing part site section and outbuilding – refer to drawing 601/21/01

6. Planning Policy

6.1 Planning Policies

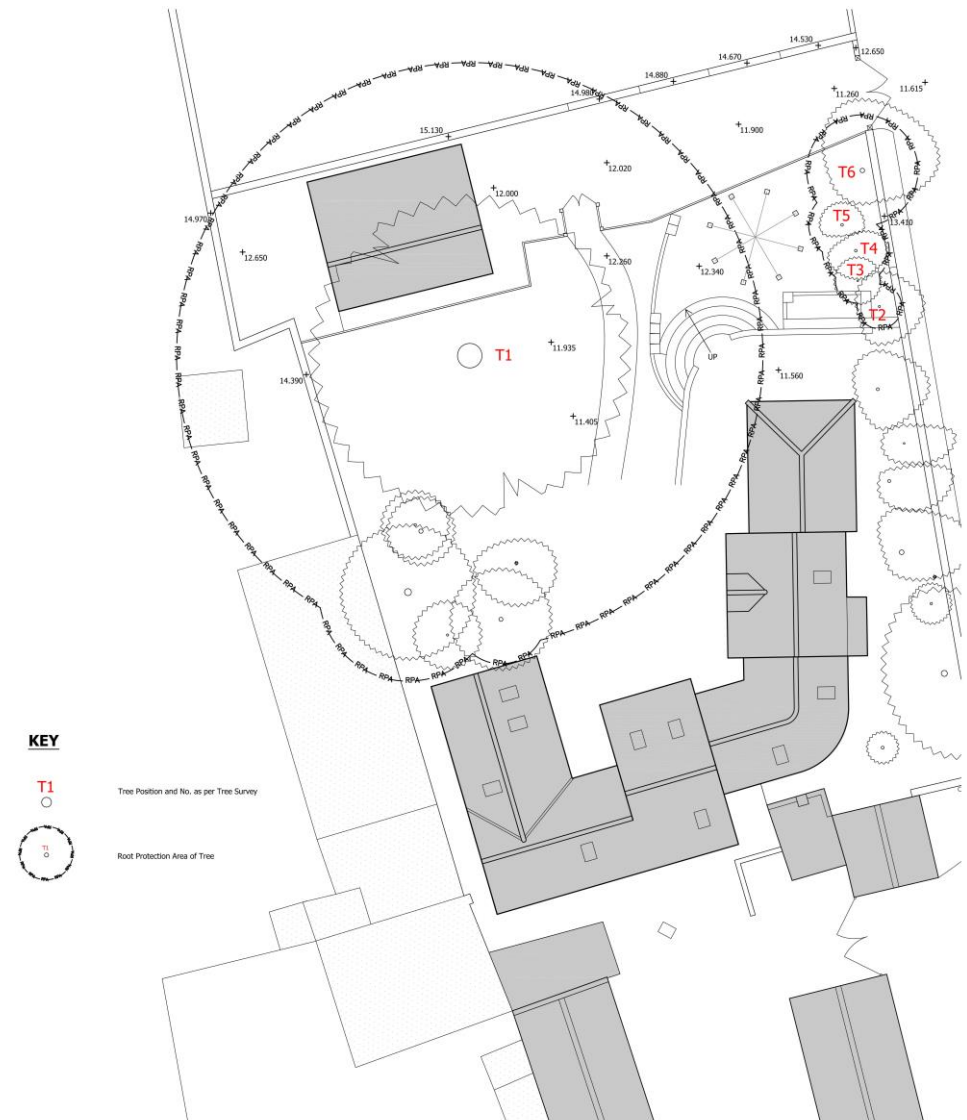
The King's Lynn and West Norfolk Local Plan (Adopted Version July 2011) contains saved policies that are considered relevant to the proposal:

6.2 LDF Core Strategy Policies

- CS02 - The Settlement Hierarchy
- CS06 - Development in Rural Areas
- CS08 - Sustainable Development
- CS10 - The Economy
- CS11 – Transport
- CS12 - Environmental Assets

6.3 Development Management Policies

- DM2 – Development Boundaries
- DM11 – Touring and Permanent Holiday Sites
- DM15 – Environment, Design and Amenity
- DM17 - Parking Provision in New Development
- DM1 – Presumption in Favour of Sustainable Development



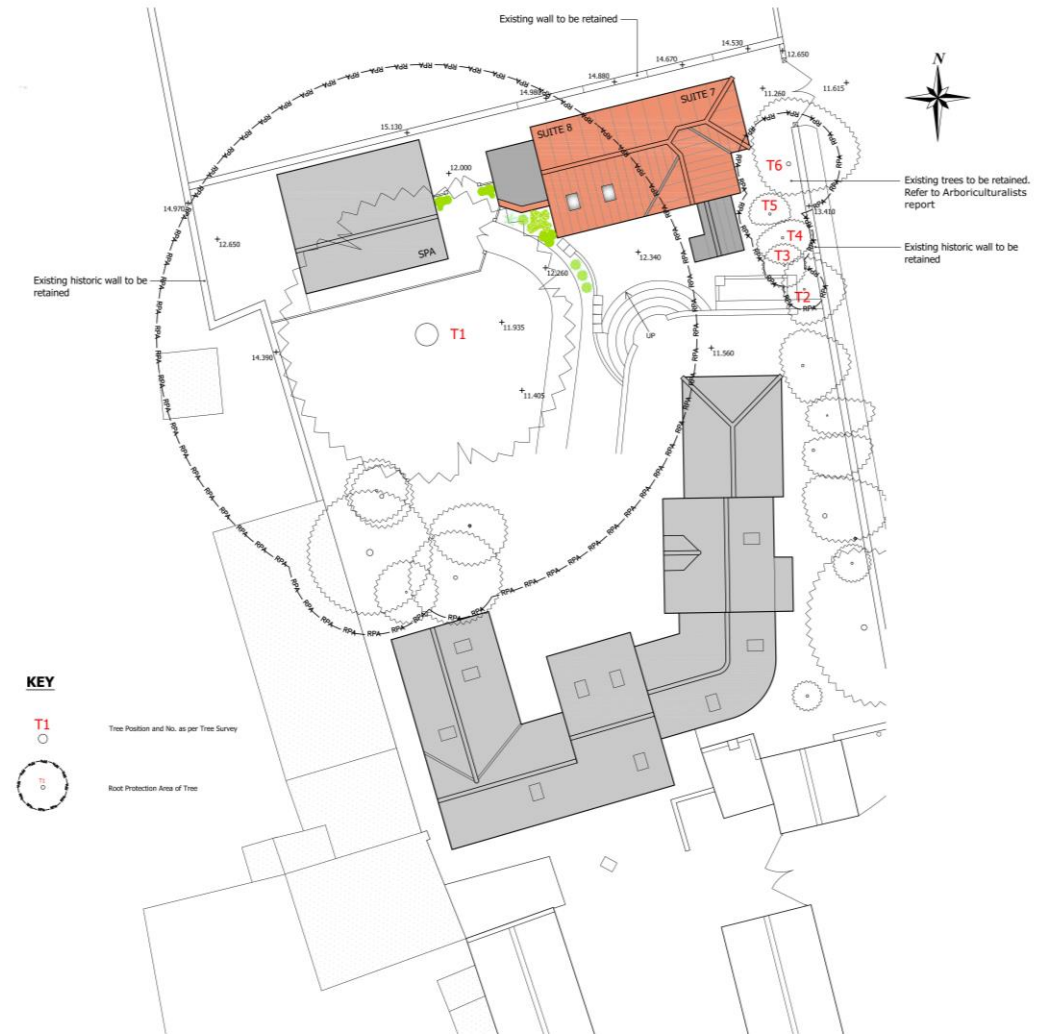
Existing site plan – refer to drawing 601/21/01

7. Layout

The layout of the proposed development is very much of the same philosophy as the original development of 6no. holiday suites in being that the position of the existing trees on the East boundary and their root protection areas dictates a large element of the design, once again resulting in an unusual and interesting footprint. The position of suites in the North East corner further encapsulates the inner courtyard style complex conceived by the original development, shielded and private from all sides. In conjunction with surrounding boundary walls and trees, the inner courtyard design was briefed as an influencing factor to contain 'low noises.'

The philosophy of mitigating noise is continued through the internal layout. The ensuite provided to the two suites are positioned on the west and east ends respectively to contain and shield potential noise from TV's or socialising within the rooms themselves. Internally the suites are designed to the idiosyncratic characteristics of the external limitations providing attention-grabbing rooms that are unique from one another, but equally as interesting and beset with character.

Both suites are offered with various glazed aspects looking into the inner courtyard and sensory garden, but importantly is kept to a minimum. Glazing has largely been positioned away from boundaries, of which good examples are Suite 7's ensuite window which is purposefully angled away from the east boundary while high level windows are proposed to the north elevation sit lower than the north boundary wall. Proposed roof windows are of a modest conservation style and size to ensure minimal light pollution and once again are positioned on south (inward facing) elevation.



Proposed site plan – refer to drawing 601/21/03

The Holm Oak, located to the north west of the site, provides the centre piece of a sensory garden and in order to provide the new development the building will require encroachment into the Root Protection Area of the Oak. During the early conceptual stages of the proposal advice was sought from an Arboriculturist as well as the local authorities tree officer. An Arboriculturists report is submitted in support of this application. It was determined that a screw pile foundation system by QuickBase would be utilised for the additional suites and would not be of detriment to roots of the Holm Oak tree as it would involve “minimal intrusion into the soil” and the “rooting environment largely undisturbed”.

The QuickBase foundation system solution fits in with the latest environmental commitments with fast installation time, less excavation, omission of concrete foundations and less spoil to landfill. All resulting in a reduced carbon footprint.

Upon previous applications concerns were raised by local residents regarding food odour, extraction noise and pollution. It is keenly stressed the development is Bed and Breakfast accommodation solely served by the No. Twenty 9 Bar & Restaurant and therefore there are no cooking facilities proposed as part of the development.

The converted outbuilding in the North West corner will provide a spa facility with two treatment rooms, reception and linen store. Once again, windows and glazing are only proposed upon the inward facing south and east elevations and are kept to a minimum.



Why?

Preventing your investment - what steps can be put in place to prevent foundation problems occurring?

Below are 4 practical steps to consider:

- Don't accept a 'one size fits all' foundation
- Take reasonable precautions to mitigate against the effects of nearby trees and soft soils
- Choose the right kind of foundation for your building
- Consider access requirements & restrictions. Ask for advice if needed

The foundations are one of the most important parts of your building investment. Often more time is spent considering the type of floor tiles than the foundation type. Foundations are often specified as a standard design 'to be confirmed on site'. This can lead to inappropriate foundations being constructed. It is essential that adequate thought is given to the foundation type and depth before work starts on site.

At Shire we design foundation systems for a wide range of project types. We have developed patented systems like the QuickBase giving deep piled foundations that can be taken down to depths below the zone of influence of any tree roots or down to 20m in soft soils to find 'good ground'. QuickBase has also been designed to be installed in areas where parking & access is restricted. Foundations are installed quickly, often leading to cost reductions in the overall schedule.

Where there are unknown ground conditions, our geotechnical team can investigate and give advice on the appropriate solution. For more information, including a detailed guide contact engineers@shire-uk.com

ShirePile >
Supports loads of up to 70kN

ShireQuickBase

About the system

- Designed by Structural Engineers
- Made in the UK
- Unique patented design
- Achieves U-values of 0.02 W/m²K
- Combined floor, beam & pile solution
- Installed on a Shire Pile as standard

The modular system is based on helical screw piles, which support lightweight, particle recycled plastic ground beams connected via a series of push-fit joints to form a frame. The ground beam is then filled with a specially formulated non-shrink grout to give a high strength composite beam. This frame carries the load of the building through the piles to suitable bearing strata, uniquely removing the need for mass concrete foundations. It is then fixed with a premanufactured damp proof floor slab onto which the inner wall of the conservatory or extension is built.

QuickBase is particularly cost effective when working in confined spaces, where soil conditions would usually require deep excavation, where limited parking restricts the ability to remove the spoil associated with deep excavation and where trees are near the built site.

The QuickBase system doesn't require wet trade finishing, so labour costs are cheaper and build time is faster. The foundations can be quickly installed rapidly with up to 1m² installed in a day.

Unlike traditional foundations, QuickBase is ideal for less than perfect ground. The piles are generally driven to 1m depth (deeper if required), guaranteeing suitable load-bearing strata, and avoiding troublesome tree roots.

QuickBase is fully compliant with Building Regulations and designed to meet Local Building Control standards. Our Engineers work in partnership with both Local Authority and Private Building Control to ensure all requirements are met. We also offer technical CPD's to any teams not familiar with the system.

Advantages of the system

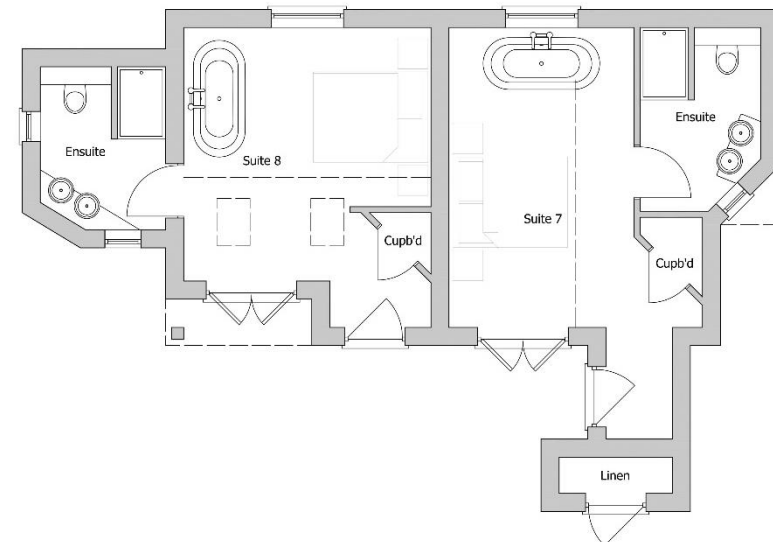
- Fast installation time
1m² installed in 1 day
- No need for mass concrete foundations
- Reduces site excavation work
- Minimises spoil to landfill

Other piling systems available

ShireClayPile
Anti-heave engineering

ShireRootBase
Installed in 15 minutes

QuickBase screw pile foundation solution



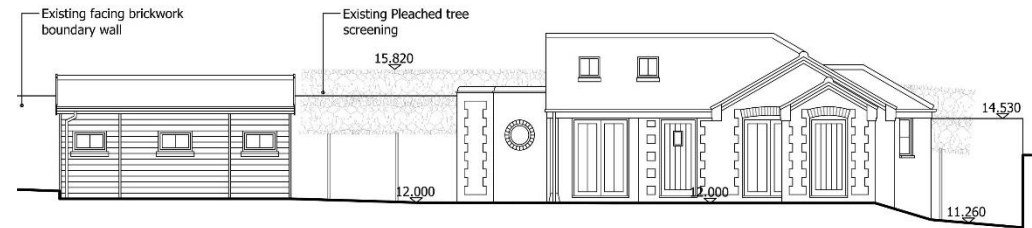
Proposed floorplan – refer to drawing 601/21/02

8. Scale

The form and character of properties in the centre of Burnham Market tend to be large established properties or smaller traditional cottages and terraces. The development is located to the rear of the property site and therefore will have no impact on the historical street scene.

Great care and attention have been taken when considering the scale and mass of the proposals. In respect of the surrounding residential properties, it was determined that the development should be of a single storey construction. Every effort has been made to retain the same design philosophy as the original Holiday Suites development in order to reduce any impression of overbearing mass via differing eaves and ridge heights, whilst remaining single storey. Contrasting gables, hipped and flat roofs fragment the structure giving the impression of individualistic units rather than a single repetitive composition.

As previously described the footprint and size of the development is dictated by the root protection areas of the retained trees on the East boundary. This ensures the proposals are designed to leave large amounts of garden and amenity space on the site whilst leaving ample distances from boundaries. Where the development is closest to the surrounding boundaries the proposals have been kept to minimal height. For example, the element housing Suite 7's ensuite purposefully steps down in ridge height as well as being a hipped roof. The distance of the structure from the historic east boundary wall and the retention of trees will ensure the development is vastly shielded from the east aspect.



Proposed part site section— refer to drawing 601/21/03



Proposed South elevation – not to scale



Proposed North elevation – not to scale

To the west the Ensuite element of Suite 8 is proposed as a flat roof and parapet to keep the height at minimum due to its proximity to the canopy of the Holm Oak tree ensuring minimal intrusion reducing the need for excessive trimming of the tree canopy.

9. Appearance

The surrounding area consists mainly of Georgian and Victorian structures along with modern infill in keeping with the traditional aesthetic. 29 Market Place is predominately of Georgian character with Victorian and modern extensions to the rear. There is a typically minimal material pallet with the property mainly being of red facing bricks, Norfolk orange/red clay roofing tiles which have been treated at the front of the property to provide a black finish and some natural stone i.e. flint and minimal chalk to the rear. The rear Victorian extension to the main element of the property has a natural slate roof. All Joinery is of white painted timber.

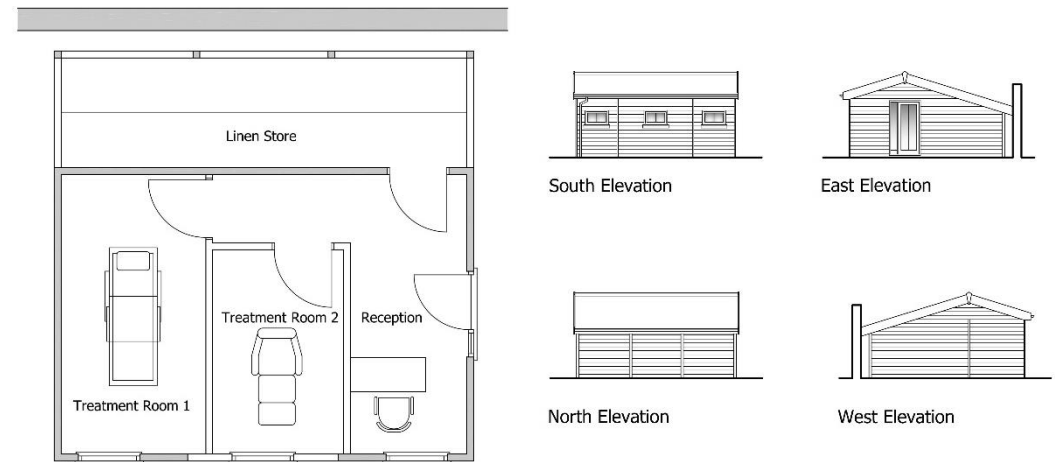
The single storey Orangery extension to the rear of the 29 Market Place utilizes the same pallet of red facing brickwork with flint infill and white painted timber joinery.

The "Old Stable" also on site has a similar material pallet.

The submitted proposals take inspiration from the existing structures on site and is very much a continuation of the existing Holiday Suites. The proposals utilize the same material pallet presenting red facing brickwork with flint infill, clay pantile and slate roofs, painted timber windows and doors and elements of natural timber boarding.



Photograph – existing outbuilding East elevation



Proposed plans for outbuilding conversion to provide Spa facilities.

In line with the latest environmental commitments, it is proposed not to provide a traditional construction wall utilising backing blocks for the flint infill but instead utilise the SureCav backing system. The system is eco friendly being manufactured from 100% recycled polypropylene, resulting in a lightweight system and a large reduction in carbon footprint. Construction time is also reduced.

As per the rest of the previous developments on site all proposed joinery is to be painted Farrow and Ball 'Pigeon'. Conservation roof lights are proposed to be in keeping with the surrounding aesthetic and conservation area.

Design features such as arched heads, solid timber posts with decorative features, roof overhangs and circular windows have been incorporated in effect to lessen any large monotonous areas of brick wall void of character. The design is intended to provide interest and contrast from every angle and is keen not to be a dominant structure and 'development of the sake of development.' As previously described every effort has been made to reduce any impression of overbearing mass via differing eaves and ridge heights, whilst remaining single storey. Contrasting gables, hipped and flat roofs fragment the structure giving the impression of the individualistic units rather than a single repetitive composition.



Example of SureCav backing system omitting additional blockwork leaf.



Photograph – Site viewed from South.

10. Landscaping

The landscaping on site is to remain largely unchanged. The positioning of the proposed suites in the North East corner was to ensure no loss of the sensory garden for patrons utilising the accommodation. This would also ensure minimum disruption during construction to residents. Some indicative planting is shown upon the submitted plans as well as amendments to internal fencing, low level gabion walls and shingled paths.

11. Access

The rear courtyard has gated access to Claytons Yard to the east. Claytons yard serves as an existing vehicular access from the main road. There is a further gated access at the north east corner of the site also allowing vehicular access to Claytons Yard. This access is currently assigned strictly for those providing maintenance of the property, such as the gardener, and will continue to be used as such.

The access from the market place to the narrow lane of Clayton's yard is strictly for resident or maintenance use and not patrons or staff of the proposed development or restaurant. Access to the development is strictly provided through the principal pedestrian entrance of the restaurant affronting the Market Place. All existing accesses are to remain unaltered and no new access is proposed.



Photograph – existing landscaping and Holm Oak tree viewed from South.



Photograph – North boundary wall and pleached tree line.

VEHICLE AND TRANSPORT LINKS

Burnham Market is a village and civil parish near the north coast of Norfolk. Burnham Market is one of the Burnhams, a group of adjacent villages in North Norfolk. It is the result of the merger of three of the original Burnham villages, namely Burnham Sutton, Burnham Ulph and Burnham Westgate. Burnham Market is regarded as a Key Rural Service Centre as part of the Council's Core Strategy Development Plan 2011.

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There are daily bus routes through the village and a bus stop is located directly outside of the property. Burnham Market is a sustainable village boasting a church, primary school, doctor's surgery, two public houses, many shops and eateries and a post office. Furthermore, the village now encompasses a large public car park constructed in conjunction with a large residential development at Foundry Field within the village. The applicant is to provide patrons of the suites with parking permits at the Foundry Field car park and run a shuttle service ferrying patrons to the principal entrance of the restaurant.

INCLUSIVE ACCESS

The proposals will be designed to allow access for disabled people. A hard surfaced alighting area will be provided. However, it should be noted that



Proposed West elevation – not to scale



Proposed East elevation – not to scale

access to the rear of the site is stepped and the existing 6no. Holiday suites will be prioritised for disabled users. In the event of disabled access being required for patrons of the proposed holiday suites and spa alike, the applicant will provide temporary ramped access.

A level access threshold will be provided between the inside and outside floor levels. Internally doors will be of at least 800mm clear width. The proposals are single storey and therefore the ground floor level will be made suitable for access by a disabled person.

12. Conclusion

The addition of 2no. single suites as a further development to the existing 6 suites granted permission in 2017 (17/01451/F) and constructed in 2019 is to be located in the North East corner at the rear of the site. Like the previous development, this proposal is also shielded by existing historic walls, structures and trees that have been respectfully retained whilst an innovative design is proposed for foundations to ensure there is no harm to tree roots. The trees and their retention are deemed an integral part of a development seeking to provide tranquil and peaceful accommodation for patrons whilst maintaining the same attributes for local residents.

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The structures surrounding the site are a mixture of shops, eateries and residential dwellings. This type of development takes into great consideration the latter and is essentially a quiet residential development but without the



Photograph – Existing landscaping viewed from the West.



Photograph – Existing landscaping detail.

onsite traffic increase associated with the aforementioned. As proven with the initial Holiday Suite development in 2019, the suites are in essence no different to the many holiday lets throughout Burnham Market simply providing private and peaceful accommodation.

Further employment is to be created, not just for those who will be part of the running of the establishment, but also importantly those who will contribute with the development and maintenance of the property such as construction workers and cleaners.

In summary, the proposals look to continue the reinvigoration of a property which has thrived since its rejuvenation making the No.TWENTY9 a key hub of Burnham Market. Importantly this will not be at the expense of the local residents and the idyllic surroundings as the proposals will have minimal impact, just as the current existing accommodation complex has proven.



Photograph – No. Twenty9 Bar and Restaurant viewed from The Green.



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