



DESIGN ACCESS and HERITAGE IMPACT STATEMENT

REPLACEMENT SINGLE STOREY REAR EXTENSION and PORCHES, INTERNAL REPAIRS and ALTERATIONS, REBUILDING OF GARDEN OUTBUILDING and PROPOSED NEW DETACHED GARAGE / HOME OFFICE. ASSOCIATED EXTERNAL WORKS.

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1 INTRODUCTION

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This document is submitted in support of an application for **Listed Building Consent** and **Householder Planning Permission** for the replacement of a single storey rear extension and two modern porches along with internal repairs, refurbishment and alterations to the house and the replacement of a garden outbuilding and the erection of a proposed new detached garage / home office in the garden. Associated external works and repairs also form part of the works at The Shambles, 12 Bulwick, Corby, NN17 3DY.

2 THE SITE AND SUROUNDINGS

The site is located in East Northamptonshire in the heart of the village of Bulwick. The village consists of both traditional and modern examples of dwellings which are of mixed architecture style, scale, appearance and materials. The site itself sits within the **Bulwick Conservation Area** and is a **Grade II** listed residential dwelling: Built in natural coursed limestone under a Collyweston Roof it sits on a generous plot approximately 1100sqm.

Listing Description:

Name: *The Shambles. GV II*

Legacy ID: 232878

Location: *Bulwick, North Northamptonshire, Northamptonshire, NN17*

County: *Northamptonshire*

Civil Parish: *Bulwick*

Grade: *II*

Listing Date: *31 March 1988*

Listing Entry Description: House. Probably mid/late C18 altered early C19. Squared coursed limestone with Collyweston slate roof. L-shape plan. Single storey with attic. Elevation abutting road is 2-window range of C19 unhorned sash windows, with glazing bars, under stone lintels with keyblocks. Pair of hipped eaves dormers, to attic have C19 casement windows.

Chamfered plinth. Brick stacks at ends, Elevation to right has 3 hipped roof dormers similar to front elevation but with one C20 window to centre. C19 tripartite sash window, with glazing bars, under wood lintel to ground floor left. Other ground floor windows are C19 style casements under wood lintels. Part-glazed door, to far left, and 2 C20 porches to left and right of centre. Brick stacks at ridge and end. Interior: staircase rises between walls, two 6-panel doors in entrance hall. Room to left of entrance has early C19 fireplace and cupboard with domed back and curved shelves. Room to far right has c19 cast iron range. Room to left of entrance, abutting the road, was probably rebuilt early C19. (RCHM: An Inventory of Architectural Monuments in North Northamptonshire, p29)

The Site (The Shambles)

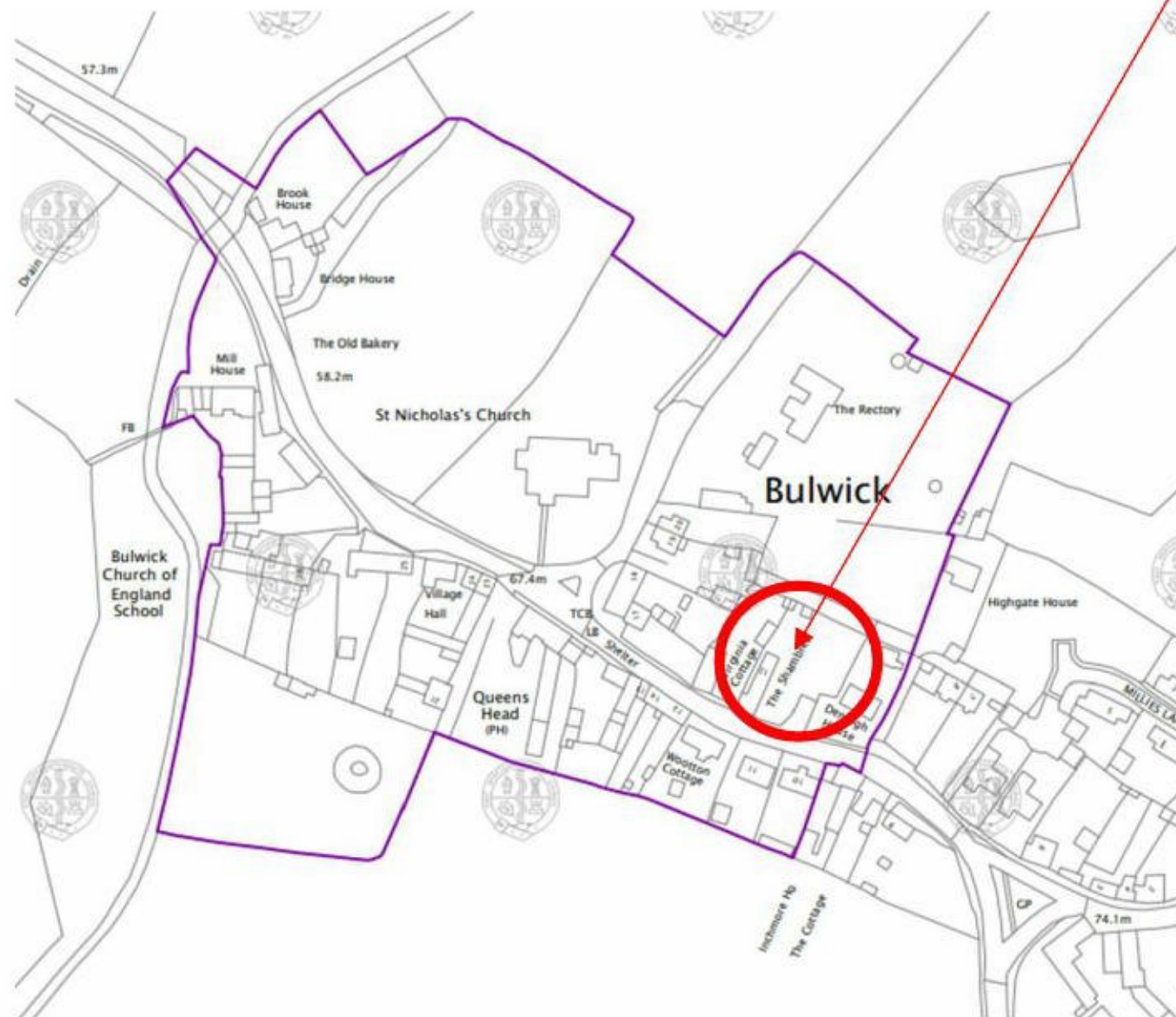


Figure 1 – Bulwick Conservation Area from NNC Website



Figure 2 – The Site from Google Maps

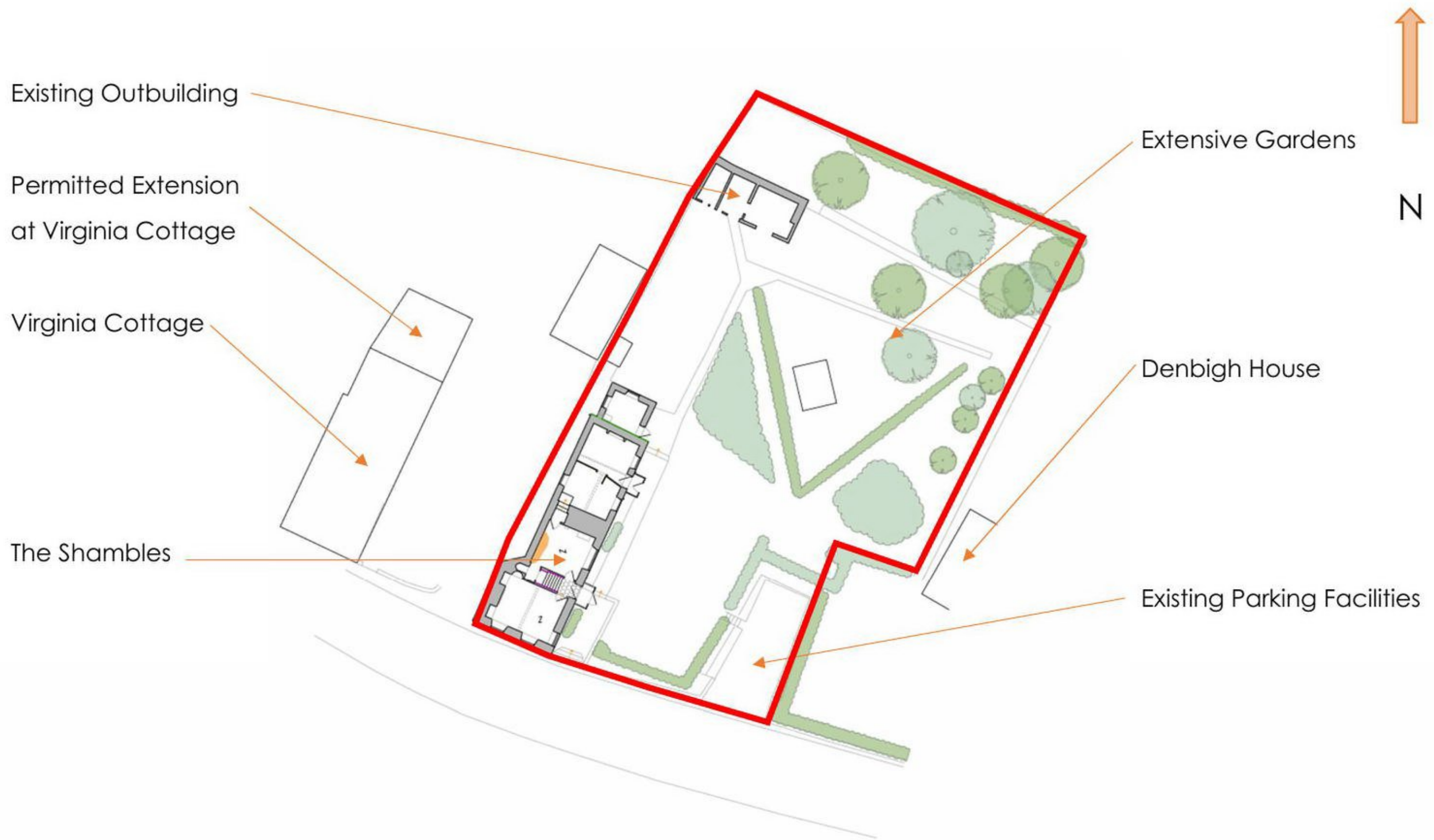


Figure 3 – Existing Site Plan

2.1 – Planning History

According to the record search on the **North Northamptonshire Council** website there is no accessible planning history for the site, but there are previous applications for adjacent houses as well as historical maps of the site.

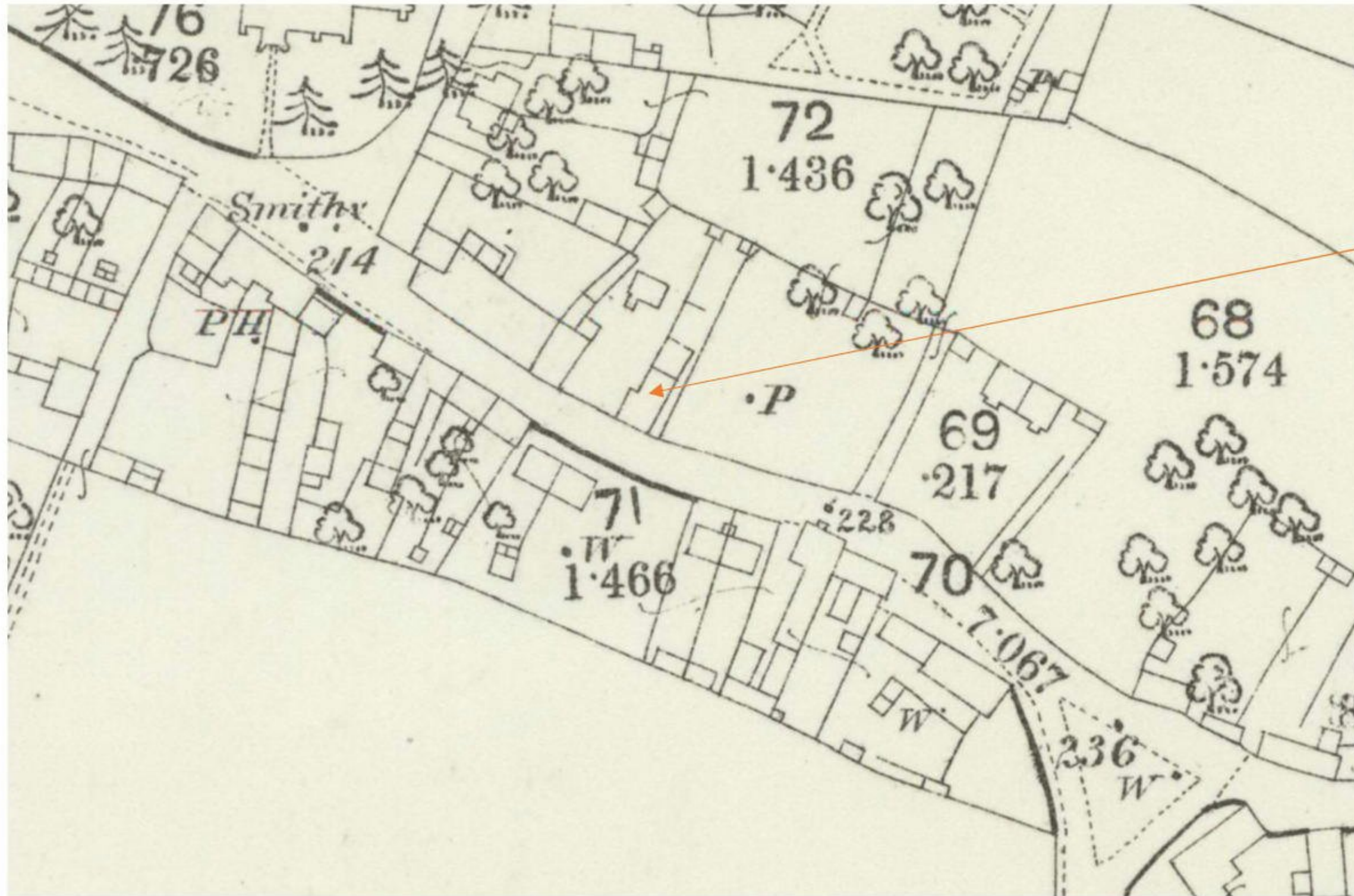
The following information highlights the planning history for the adjacent sites (Virginia Cottage & Denbigh House) and is shown in date order with the most recent application.

NE/21/00908/FUL | Virginia Cottage | Two Storey Rear Extension | Decision Date – Tue 03 Aug 2021 (Permitted)

19/01609/FUL | Virginia Cottage | Two Storey Side Extension | Decision Date – Wed 15 Jan 2020 (Withdrawn)

12/01324/FUL | Virginia Cottage | Double Storey Extension, Reinstate Windows & Rebuild Garage | Decision Date – Tue 27 Nov 2012 (Permitted)

93/00839/FUL | Denbigh House | Erection of New Dwelling House | Decision Date – Fri 12 Aug 1994 (Permitted)



The Shambles

Figure 4 – Historic Map from 1886 Showing the Site



The current northern lean-to is clearly modern. It is also likely that the northern part of the building highlighted in red to the left has been heavily rebuilt historically, with the straight ridge indicating a replacement roof, and the comparatively neat coursed rubblestone to the east indicating substantial historic rebuilding.

Figure 5 – East Elevation



The existing ground floor plan illustrates a significant change in levels between the road-facing southerly building and the northern elements. The modern lean-to extension cannot be accessed internally from the cottage, which makes this awkward and impractical for day-to-day use.

Figure 6 – Existing Ground Floor Plan

Leylandii Hedge to be Partially Removed



Figure 8 shows the site (The Shambles) in the background predominately screened from view with mature leylandii hedges. A significant change in levels can also be seen from the road to the site. It also shows the current unattractive car parking area dominated by concrete retaining walls and slabs.

Figure 8 – View from Main Street



Figure 9 – East Elevation - Side

This document is also intended as a **Heritage Impact Assessment** (HIA) in relation to proposals to the *Grade II* listed building. It is important that both the Design and Access Statement and Heritage Impact Assessment are read in conjunction with the application drawings.

- The Heritage Impact Assessment responds to the requirements of paragraphs 194 and 195 of the National Planning Policy Framework (NPPF - July 2021), which require that applicants for planning permission should describe the significance of any heritage assets affected by development proposals, including any contribution made by their setting, and that local planning authorities should take account of available evidence and any necessary expertise when considering the impact of a proposal on heritage assets.
- The relevant legislative provisions relating to listed buildings are set out in the Planning (Listed Buildings and Conservation Areas) Act 1990. Sections 16(2) and 66 (1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 make it a statutory duty for a local planning authority, in considering whether to grant listed building consent or planning permission for development which affects a listed building or its setting, to *'have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses'*.
- As well as having regard to the relevant legislation, the application proposal must be assessed in the context of prevailing Central Government planning policy. The Government's planning policies for England are set out in the National Planning Policy Framework (NPPF), published by the Ministry of Housing, Communities and Local Government in July 2021, and which replaces the earlier editions of the NPPF. The policies in the NPPF are a material consideration in planning decisions.
- The Government's policies on conservation and enhancement of the historic environment are set out in Section 16 of the NPPF.

- The policies in section 16 of the NPPF place an emphasis on *significance*, which is defined as *'the value of a heritage asset to this and future generations because of its heritage interest. That interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset's physical presence, but also from its setting'*.
- With regard to proposals affecting heritage assets paragraph 194 of the NPPF states that *'In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance'*. This document aims to satisfy this requirement.
- NPPF paragraphs 199-208 sets out the matters to be taken into account when considering the potential impacts of planning applications on the significance of designated heritage assets.
- Paragraph 199 states that *'When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance'*.
- NPPF paragraph 200 makes it clear that *'Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification'*.
- Paragraph 200 goes on to clarify that *'Substantial harm to or loss of':*
 - a) *grade II listed buildings, or grade II registered parks or gardens, should be exceptional;*
 - b) *assets of the highest significance, notably scheduled monuments, protected wreck sites, battlefields, grade I and II* listed buildings, grade I and II* registered parks and gardens, and World Heritage Sites, should be wholly exceptional'*.
- Interpretation of the policies in the NPPF is provided by the on-line Planning Practice Guidance (PPG), most recently updated on the 23 July 2019. In relation to the NPPF definition that significance is the value of a heritage asset to this

and future generations because of its heritage interest and that heritage interest may be archaeological, architectural, artistic or historic.

- The PPG stresses the importance of understanding the potential impact of development proposals on significance (paragraph: 007 Reference ID: 18a-007-20190723) and that understanding the significance of a heritage asset and its setting from an early stage in the design process can help to inform the development of proposals which avoid or minimise harm (paragraph: 008 Reference ID: 18a-008-20190723). The PPG goes on to advise that applicants' assessments of significance should include analysis of the significance of the asset and its setting, and, where relevant, how this has informed the development of the proposals (Paragraph: 009 Reference ID: 18a-009-20190723).
- The Historic Environment Good Practice Advice in Planning (GPA2), entitled '*Managing Significance in Decision-Taking in the Historic Environment*' was published by Historic England/English Heritage in March 2015. This guidance forms part of a suite of good practice advice documents that supersede the earlier *PPS5 Historic Environment Planning Practice Guide*. GPA2 reiterates earlier guidance that the assessment of the significance of heritage assets is an essential part of the planning process. Due regard has been had to this advice in preparing this Heritage Impact Assessment.

IN BRIEF (full description later in this document) -

The proposed alterations to the **existing cottage** focus on:

- The removal of a significant amount of 1970s subdivision at first floor level and replacement of the main bathroom: **NO LOSS OF HISTORIC FABRIC.**
- Replacement of inadequate and unsafe services (M+E): **NO LOSS OF HISTORIC FABRIC.**
- Repairs to failed structure – mainly limited to a section of ground floor timber floor structure identified in the application drawings: **MINIMAL LOSS – FABRIC DECAYED / ROTTED – REPLACEMENT IN SIMILAR MATERIALS.**
- Repairs (and replacement where modern sashes have been inserted) to the timber horizontal bar single glazed windows: **MINIMAL LOSS – FABRIC DECAYED / ROTTED – REPLACEMENT IN SIMILAR MATERIALS.**

The proposed alterations to the northern element of the cottage focus on:

- The reconfiguration of the kitchen layout: **REPLACE 1970s KITCHEN – MINIMAL LOSS OF HISTORIC FABRIC** with the removal of modern timber frame to improve the layout of the space.
- The formation of a modest opening from the end gable wall into the proposed new extension to improve the connectivity through the building. **SMALL LOSS OF (POSSIBLY) NON – ORIGINAL MASONRY AREA.**
- **NOTE:** RETENTION OF CHIMNEY BREAST AND CAST IRON STOVE.
- Replacement of inadequate and unsafe services (M+E): **NO LOSS OF HISTORIC FABRIC.**
- Refurbishment and replacement of first floor (1970s) bathroom suite – amended foul drainage. Formation of aperture in Collyweston roof to suit conservation rooflight.
- Loss of gable window – block up opening leaving reveals fully defined.

The proposed alterations to the later **20th century single storey lean-to extension** consists of:

- Carefully taking down – sorting and stacking materials (blue slate / limestone) for reuse in new extension.
- Replacement single storey extension – as detailed on application drawings.

Replacement outbuilding:

The proposed replacement of the garden building will result in a modest stone / brick built “potting shed” / garden store that will be used as an outdoor space for enhanced enjoyment of the large garden – a more acceptable proposal than the erection of a timber “summer house” or similar off the peg structure / garden shed.



Grade II Listed Inchmore House

The Site

Figure 13 – Existing Listed Buildings – View from Road



Grade II listed 13 and 14 Main Street and Bulwick Stores

The Site

Figure 14 – Existing Listed Buildings – View From Road

5 PROPOSED

As noted, the works to the existing listed property itself have been carefully designed with minimal impact on the heritage asset - Any works that are carried out shall be done in a sympathetic manner.

The single-storey extension, garden room and porches are all non-original alterations and detract from the aesthetic appeal of the property and have a negative impact upon the street scene. The proposed replacements promote a design that is more in-keeping with the Conservation Area and local vernacular and match that of the existing dwelling while still ensuring the alterations can be "read" as modern additions.

The proposed garage, for example, compliments the street scene and existing residential buildings. It does not appear at odds and will improve this rather awkward, unattractive part of the site. The setback will ensure the new building does not dominate, nor detract from the heritage asset.

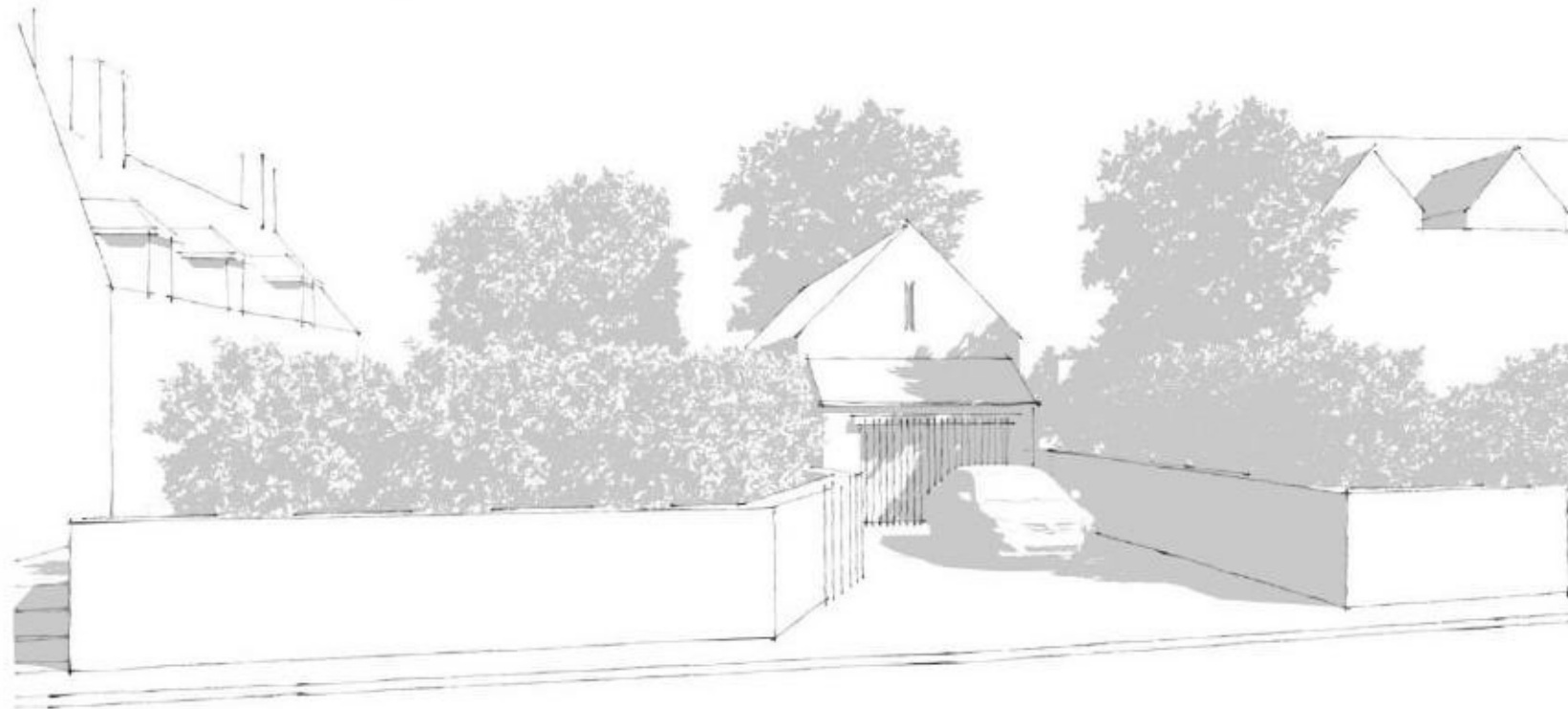


Figure 15 – Initial Front Concept Visualisation

4.1 - JUSTIFICATION

In accordance with the Heritage Impact Assessment, the impact of the proposed works on the Grade II listed building is further identified in the following text.

The report sets out the legislative and policy context in which proposals should be assessed. In accordance with the requirements of paragraph 194 of the NPPF, it describes the significance of The Shambles to enable an assessment to be made of the impact of the proposed works upon the significance of the listed building.

There are various elements to this application all of which will be assessed independently in the first instance before they are considered for their cumulative effect on the historic asset and the surroundings.

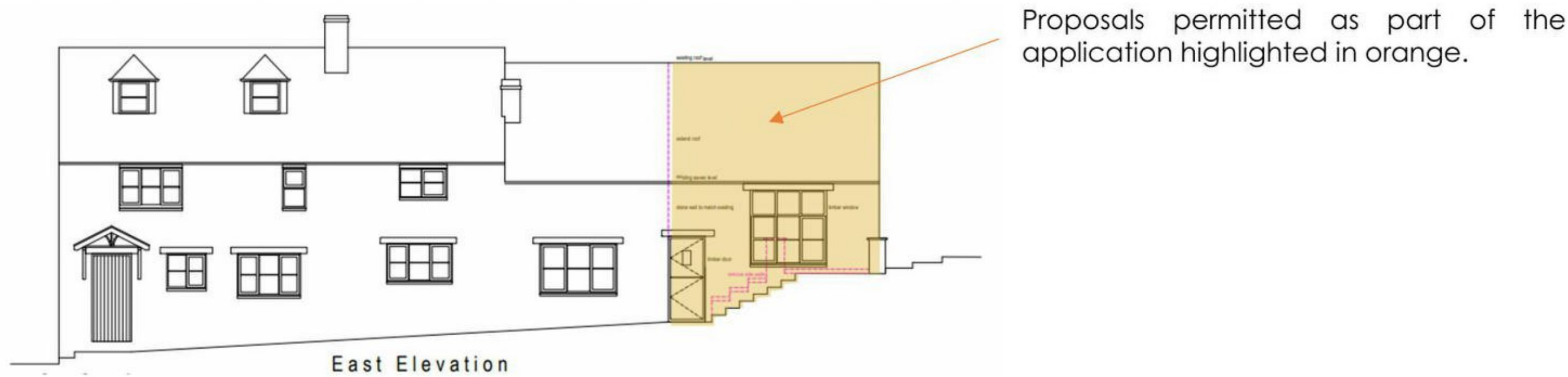
It is important that the development respects the existing features of the house and its setting.

Single Storey Rear Extension Replacement –

It is believed that the extension was added to the property probably in the 1970s and is small in scale and provides little in terms of usable space and aesthetic appearance. The proposal seeks to replace this extension with one that is more in keeping with the host dwelling and will provide better use of space for the occupants. In terms of internal footprint, the proposal offers 8.5sqm more space than the existing as well as higher ceilings due to the finished floor level being lowered to match the existing, a better interaction with the substantial gardens and direct access into the house. The applicant acknowledges that a taller, 1½ storey extension is not suitable for this dwelling, despite the additional accommodation it would provide.

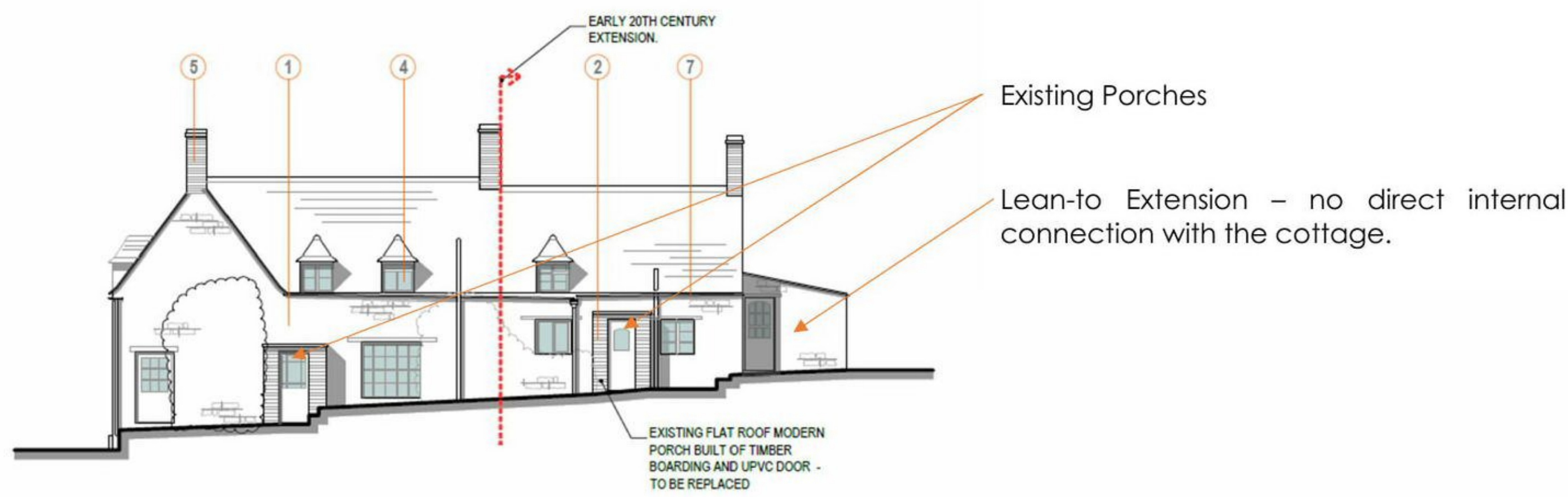
The neighbouring dwelling (Virginia Cottage) recently had an application permitted for a similar development – Ref: NE/21/00908/FUL. Although the property is not Listed it lies directly next to the application site and is of an almost identical style and form. It is also similar in terms of the original cottage undergoing subsequent linear extensions to improve the use of the house as part of its evolution and adaptation to “modern times”.

By permitting this extension (adjacent to the listed Shambles and within the Conservation Area) the LPA accepts that an extension of this form can be acceptable.



Proposals permitted as part of the application highlighted in orange.

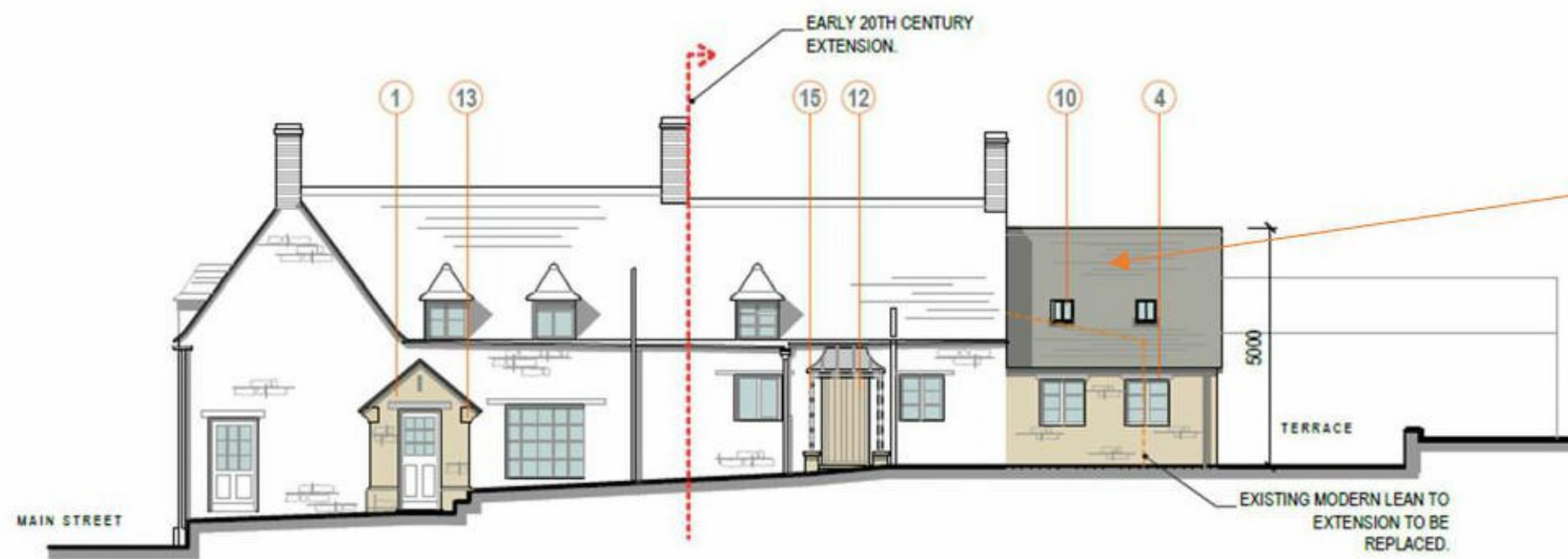
Figure 16 – Recent 2 Storey Extension Permitted at Virginia Cottage (NE/21/00908/FUL)



Existing Porches

Lean-to Extension – no direct internal connection with the cottage.

Figure 17 –Side Elevation at The Shambles



Proposed extension similar to recently approved at Virginia Cottage.

Figure 18 – Proposed Side Elevation

The extension does involve works to the existing listed asset including forming an opening between the proposed extension and the existing kitchen area. This will provide a better and more workable space for the occupants and has been carefully assessed to minimize the impact on any significant historic fabric.

Positioning the opening to the side of the existing chimney will ensure it does not have any affect upon it. This is a simple design solution that will allow the property to flow better while having minimal effect on the listed building.

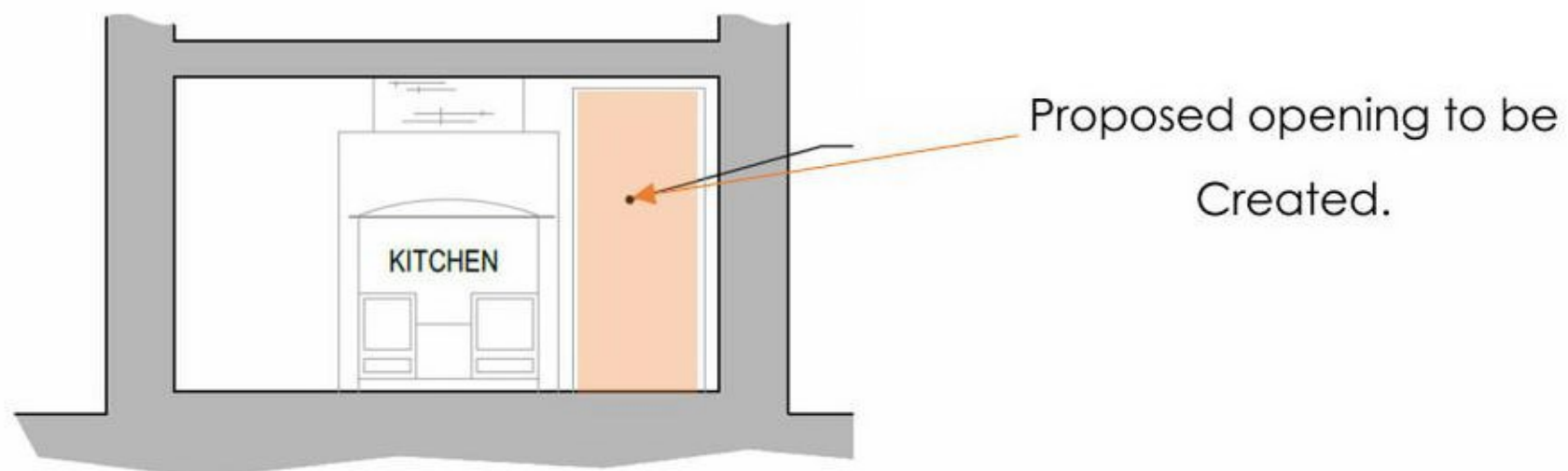


Figure 19 – Proposed Opening into Extension

Figure 20 – Existing Scenario

The extension will also involve the first-floor bathroom window having to be blocked up, in natural coursed limestone to match that of the existing and be recessed to have a clear distinction between old and new elements with the timber lintel remaining on show. There are many examples around the village where this feature has been adopted, even on the neighbouring Virginia Cottage where former windows have been blocked up in a similar way to the proposal.



Existing window blocked up at Virginia Cottage, many similar examples are dotted around on the village both on listed and non-listed assets.

Figure 21 – Neighbouring Virginia Cottage

Porches –

The existing porches are inappropriate non-original interventions which should be replaced.



Figure 22 – South-East Porch

Both porches are constructed of shiplap timber boarding with a felt flat roof and both timber and UPVC doors. The materials incorporated are not used elsewhere on the site or in the vicinity.



Figure 23 – North-East Porch

The proposed replacement porches much better reflect the surrounding built environment and still provide the shelter area that is much needed, but poorly executed in the first instance. The main porch over the front door is formal in design, and in keeping with the host building and will be built out of natural coursed limestone and a Collyweston slate roof to match that of the existing. It also includes finer detail such as stone kneelers, a timber lintel and an arrow slit window which all mirror local examples.



Both porches have been designed to avoid the need to break the roof and gutter line, in order to appear subservient to the main dwelling. The proposed external footprints of porches are similar to that of existing, ensuring that they are not built any larger than needed.

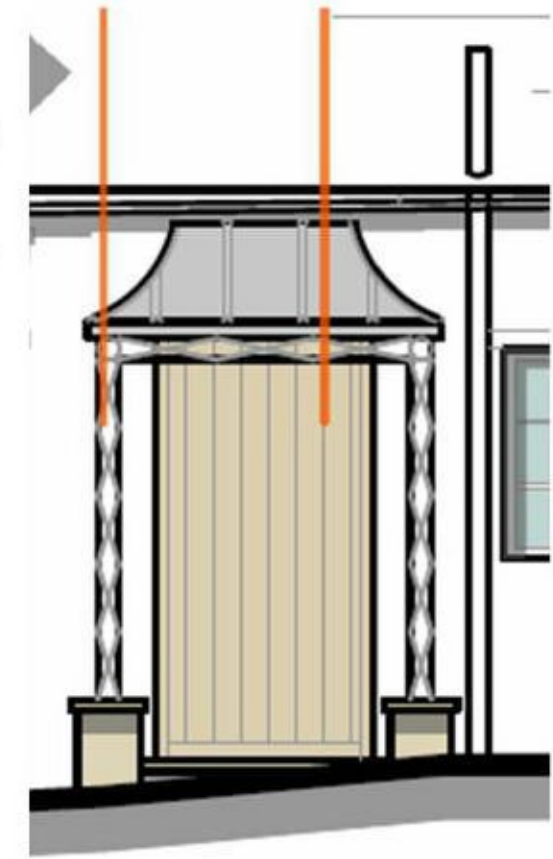


Figure 24 – Proposed Porch (Main Entrance)

Figure 25 – Proposed Porch (Rear Entrance)



Opposite the site and also on Main Street is the Grade II Listed Inchmore House. It also has a small road frontage with large side elevations similar to The Shambles. It also incorporates a porch thought to be early 20th century which closely resembles that of the main dwelling, with matching materials.

Figure 23 – Local Example of Porch



Example of a formal front porch within Bulwick and constructed of natural coursed limestone to match that of the host dwelling.

Figure 24 – Formal Front Stone Porch at Carbery House, Bulwick

Proposed Floor Plans Annotated with locations of Internal Alterations

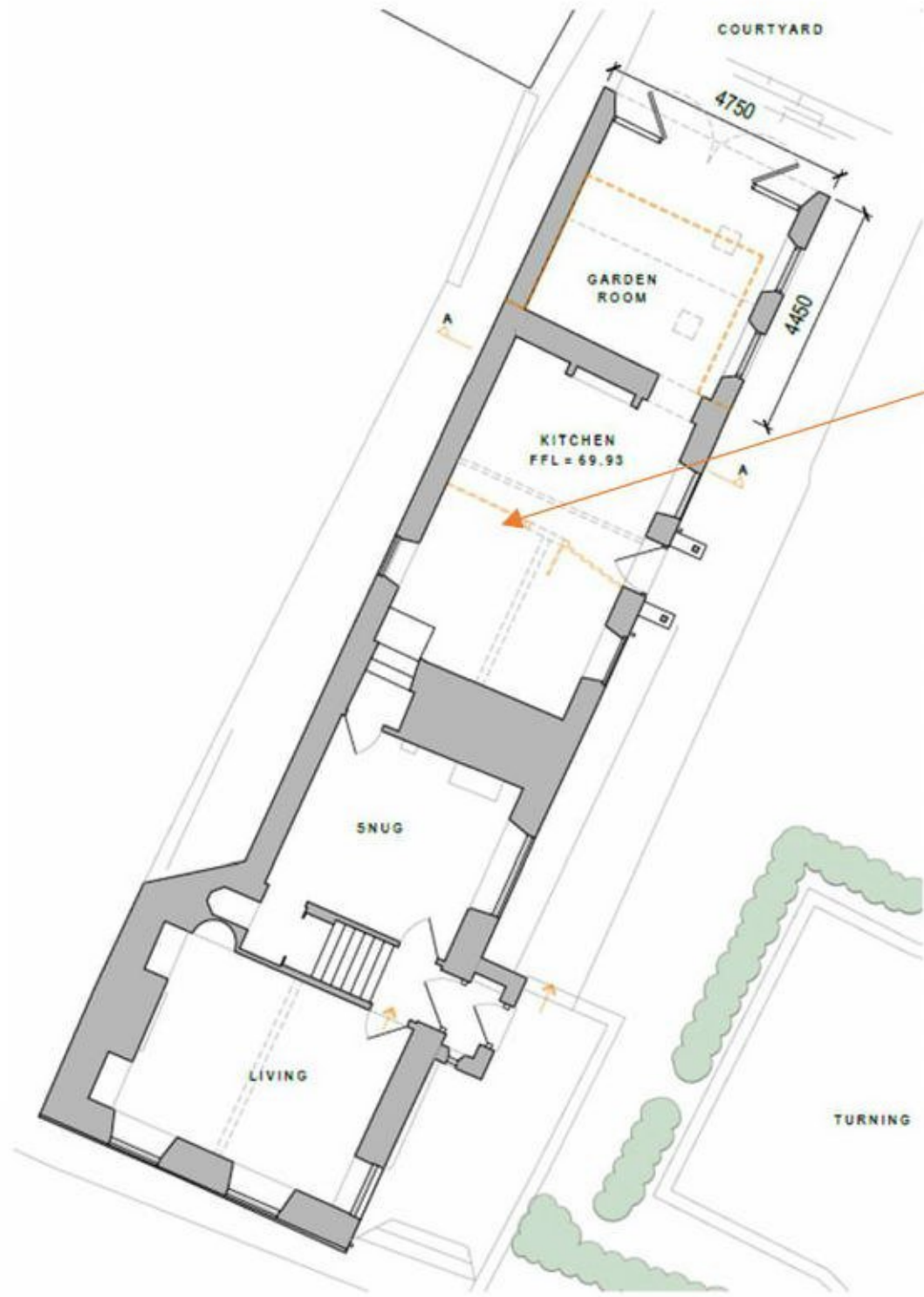


Figure 25 – Proposed Ground Floor Internal Works



Figure 26 – Proposed First Floor Internal Works

Internal Repairs and Alterations –

There are various works proposed to the inside of the property that not only allow for a better way of living for the occupants but also safeguard the future of the listed building, which currently has problems that could easily escalate and cause further deterioration and loss of fabric if left unchecked. It is important to note that the proposed alterations are mainly to modern partition stud walls.



1 – Remove modern sawn timber / plasterboard and skim partition walls in the front bedroom to create a single bedroom rather than two smaller, unfit for purpose spaces. The removal of the modern wall will reinstate the original layout and shall cause no loss of historical fabric due to the floor in this area also being a recent addition (pine tongue and groove).

Figure 27 – Modern Timber Floor



2 – Removal of walls surrounding the stairs. Predominantly they are made up of partition walls with modern plasterboard finish. Parts of the inside of the walls are lined with softwood tongue and groove boarding thought to be non-original. Opening up the stairs will allow natural light to flood the stairwell from the already present dormer window. Currently this does not happen due to staircase being enclosed and only a small internal window allowing light in.

It is clear these recent alterations were carried out to increase the level of accommodation in the cottage.

Modern Plasterboard Finish



Figure 29 – Modern Tongue and Groove

Figure 28 – Enclosed Staircase

5 – Partitions to be removed in kitchen are thought to be non-original. Removing the modern partitions reconfigures the layout to better suit the occupants and create a more usable space.

All internal works shall be done in a sensitive manner. Any proposed partitions will be lightweight stud frame construction with no loss of the original historic fabric. Where possible the partition walls shall be fixed to modern additions (pine floor and modern partition walls retained), with minimal fixing points to the older fabric.

6 – The addition of a conservation rooflight in the en-suite makes up for the loss of the end window.



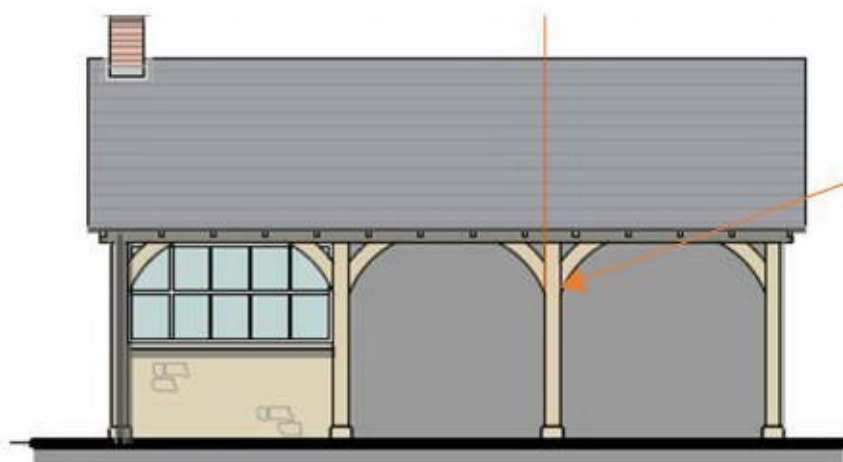
Figure 32 – Examples of Conservation Rooflights within Bulwick

Garden – Potting Shed Outbuilding Replacement –

The current outbuilding is beyond repair and not suitable for use. The current proposals look to erect a building more in-keeping with the local vernacular and the host dwelling (The Shambles). It shall be built on the same footprint as the existing garden / potting shed and provide a suitable space for the occupants. Constructed of materials matching the local built environment such as natural coursed limestone, oak timber frame and natural blue slate roof. It is considered that the existing outbuilding does nothing to enhance the character and appearance of the listed building and therefore the replacement is justified. The careful use of traditional building materials will preserve and enhance the character and appearance of the listed building and as such is considered to be an enhancement.



Figure 33 – Existing Garden Room / Potting Shed / Store



Oak timber frame frontage with low level natural coursed limestone wall and timber framed window under a blue slate roof.

Figure 34 – Proposed Garden Room / Potting Shed

New Detached Garage / Home Office –

Instead of un-necessarily extending the house to incorporate a home office and double garage, which would neither be acceptable nor desirable, it is considered that constructing a new building for these uses will not have an adverse impact on the listed building and local built environment and is placed more than 10m away from the host dwelling

Due to the large scale of the site it is important that the scale, orientation and positioning of the building is carefully assessed to avoid unnecessary impact on the heritage asset and the wider Conservation Area.

An opportunity to upgrade and improve the current parking / turning provisions for the site to allow for sufficient parking as stated on the North Northants Parking Standards a minimum of 11m is necessary for tandem spaces as well as sufficient room in front to allow a car to park and turning facilities. This somewhat defines the length, while the width is kept marginally smaller than The Shambles and Virginia Cottages front elevations: This (along with the separation between the buildings and the set back of the proposed garage) preserves its subservience whilst remaining in-keeping. The new building only occupies 6 % of the overall site which is minimal and clearly shows that the proposal will not cause the site to be overcrowded. The orientation is kept the same as the previously mentioned properties to continue the continuity of the street scene. Schemes were looked to rotate the orientation to align with the road similar to Denbigh House but this created a bulky presence in the street scene that appeared dominant over the surrounding buildings. Multiple positions were assessed for the building, including further away from the road into the garden, but this would leave a garden dominated by parking, turning and access facilities. The proposed positioning of the new building allows for sufficient turning facilities and ensures that the street scene isn't dominated by either the building or turning / drive facilities.

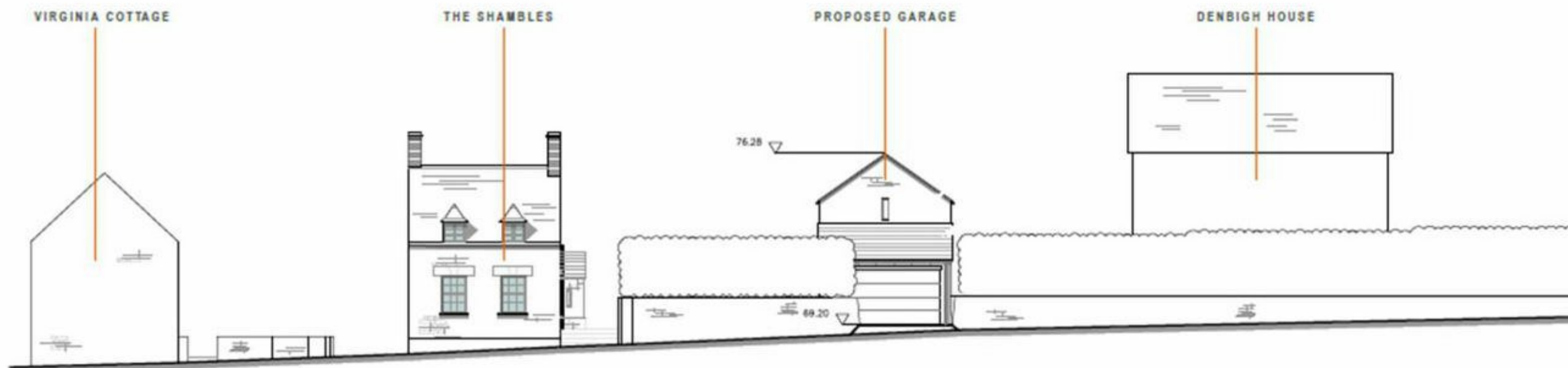
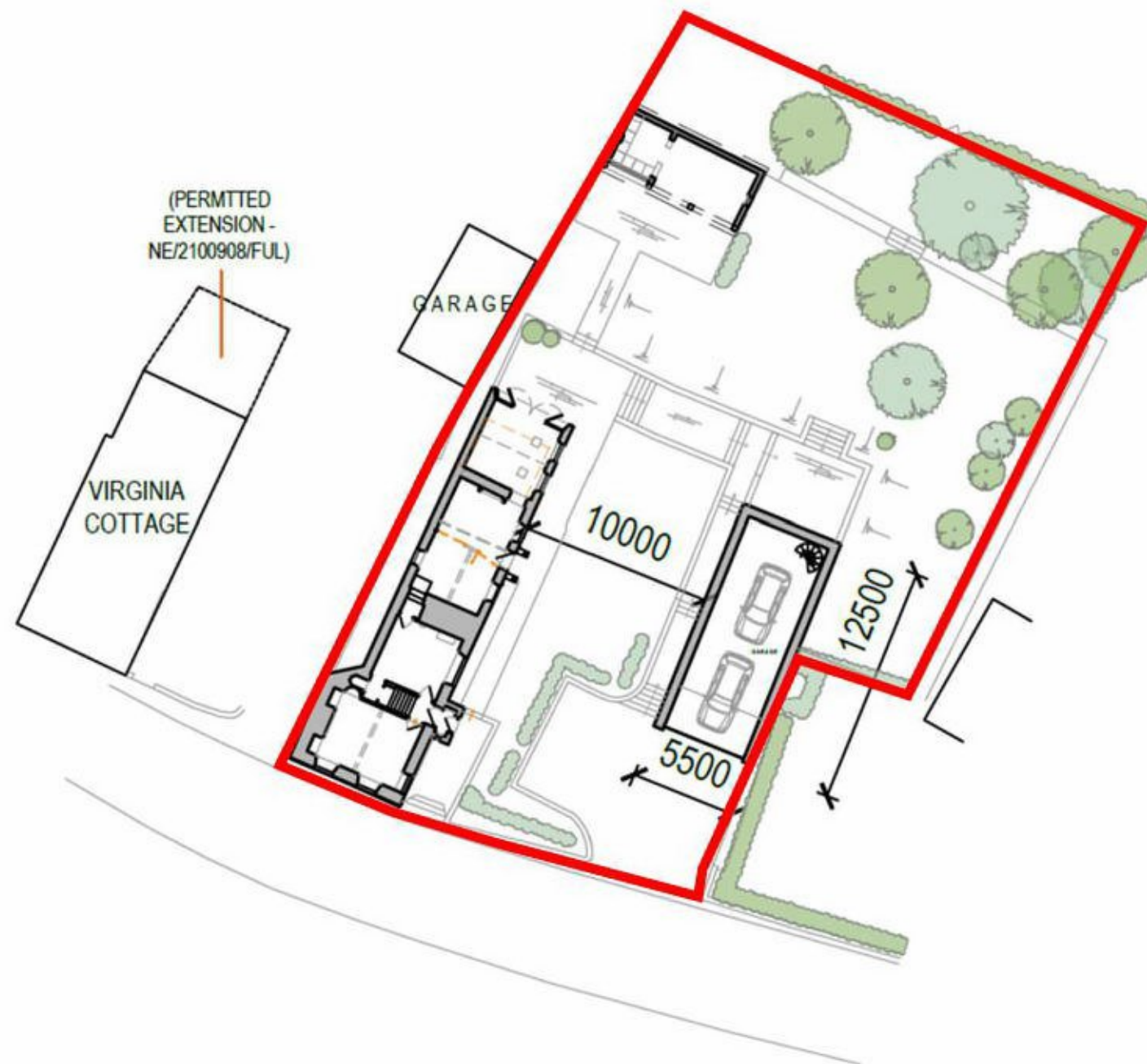


Figure 35 – Proposed Street Scene

The proposed new building shall be constructed of similar materials to that of the host dwelling including natural coursed limestone, natural blue slate, black RWG and timber windows. These materials are very common in the local area and examples can be seen on both traditional and modern buildings around the village.

It is considered that the proposed new build will have no detrimental impact upon the listed building, will be of an appropriate, but simple architectural style which along with the generosity of the site will allow it to be positioned far enough away from the host dwelling to not have any impact upon it or the wider street scape.



The spacious site ensures that it can accommodate the proposals without appearing overcrowded or congested. The majority of the garden will still remain laid to lawn with beds and retained trees.

Figure 36 – Proposed Site Plan

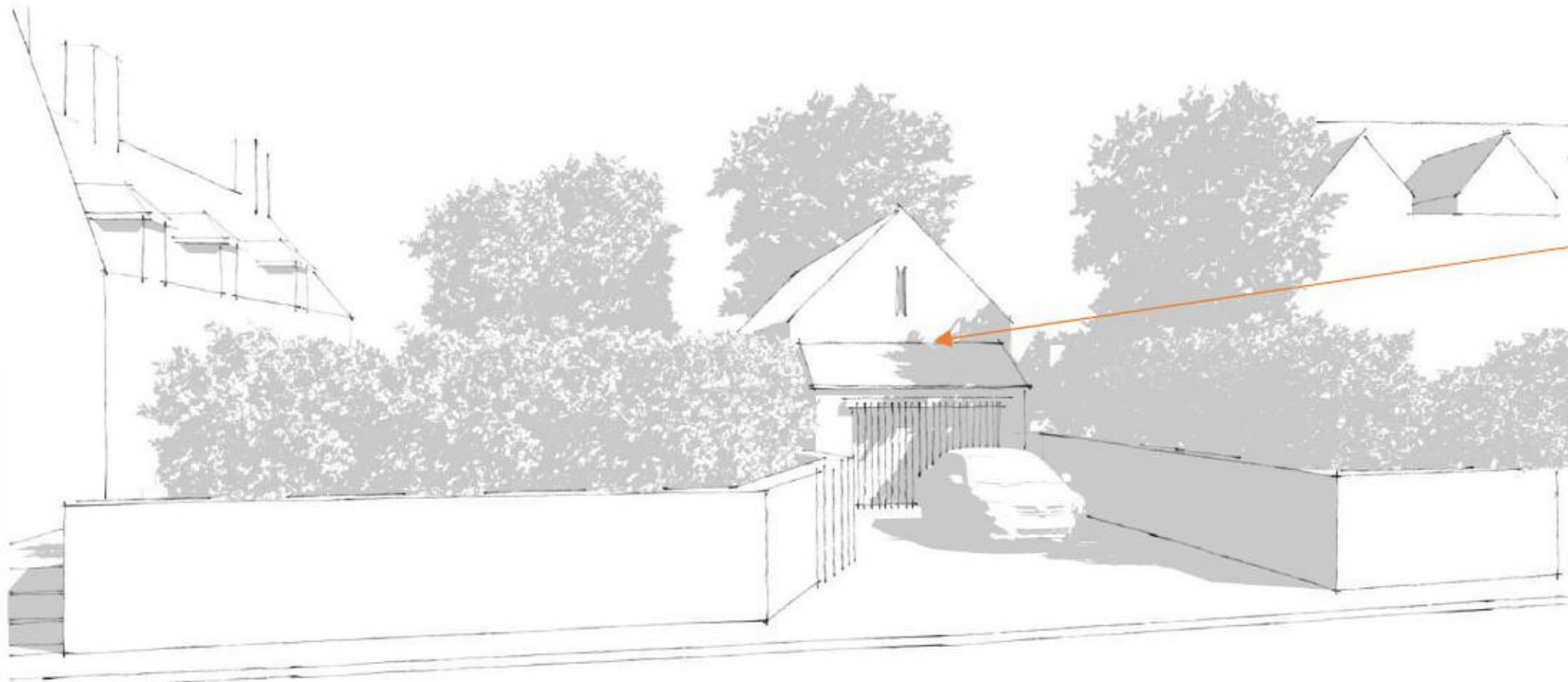


Natural blue / grey slate can be seen opposite the site.

Natural blue / grey slate

The Shambles

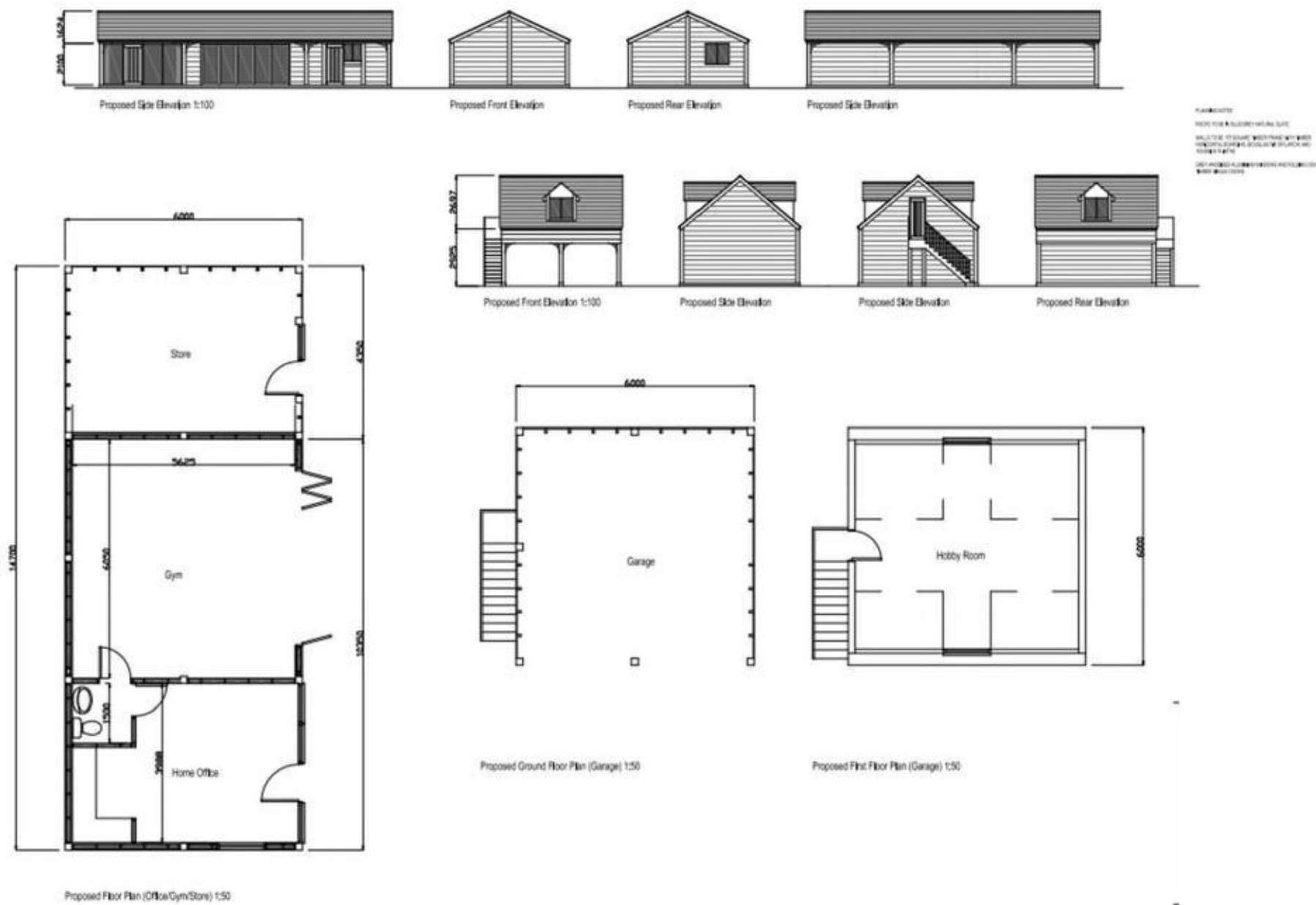
Figure 37 – Natural Blue Slate Example



Proposed garage / home office

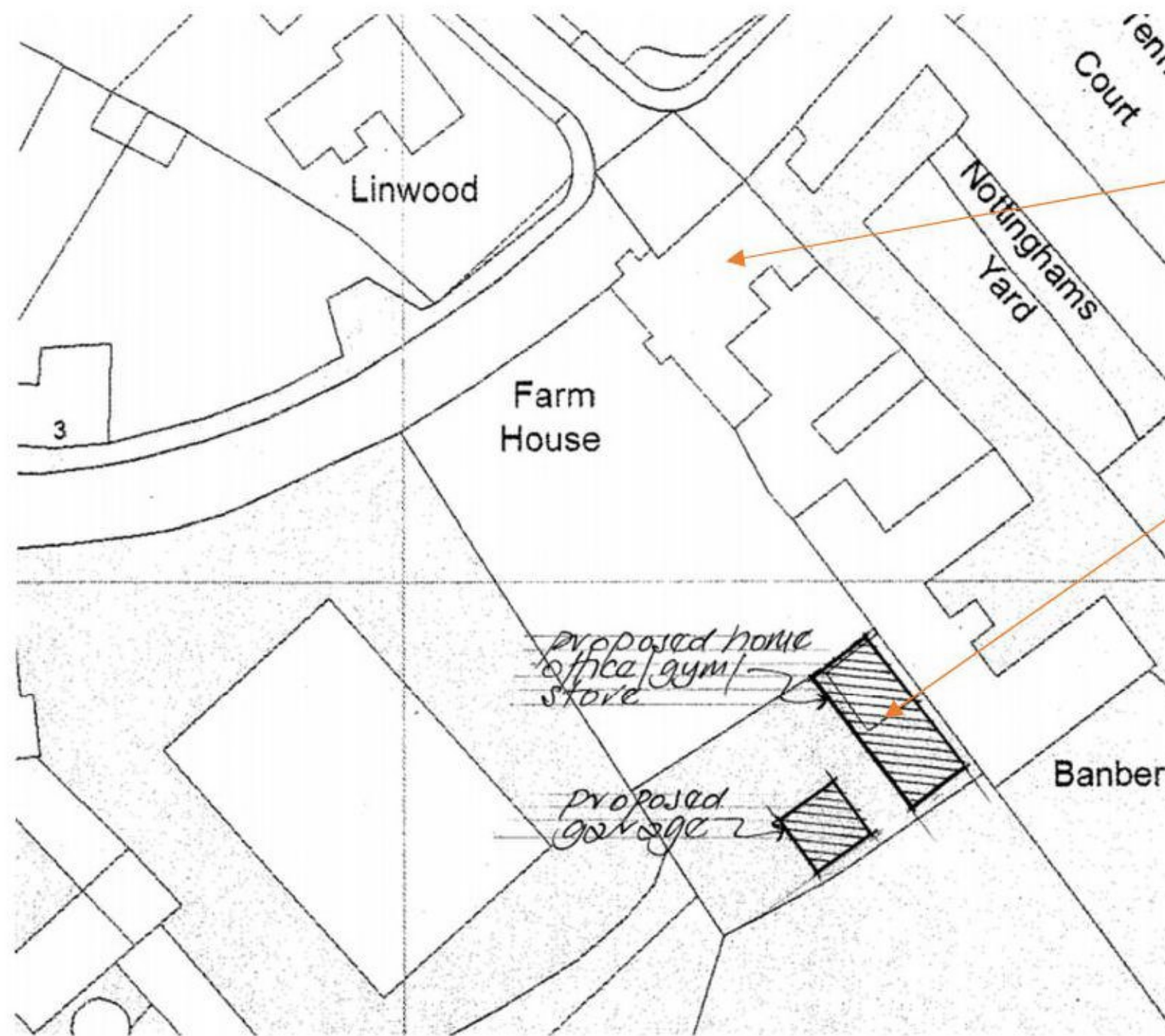
Figure 38 – Front Initial Concept Visualisation

A similar application for replacement outbuilding and an erection of a new garage was permitted in the village - Ref: 20/01058/FUL. The proposal was for the replacement of outbuilding with a larger building and detached garage at the Grade II Listed Farmhouse, Blatherwyke Road, Bulwick. As well as the outbuilding, permission was also granted for a 1.5 storey double garage. Both were deemed not to have a detrimental impact upon the Listed building and the surrounding buildings.



The permitted development (20/01058/FUL) is similar to the proposed garage / home office in terms of the scale, proximity to the listed building, large site and the overall proposals in principle. It is therefore deemed that the proposals for both buildings are acceptable in principle.

Figure 39 – Permitted Plans & Elevations (20/01058/FUL) at Farmhouse



Grade II Listed Farmhouse

Proposed Detached Outbuilding and Garage

Figure 40 – Permitted Block Plan (20/01058/FUL)

As well as the previous example another of a similar development in the village of Lower Benefield is presented. This is the erection of 1.5 storey detached garage with attached greenhouse within the Conservation Area and in close proximity to a Listed building (Berkeley House).

Permitted Development

Grade II Listed Berkeley House



Figure 41 – Map of Lower Benefield taken from Google

The application (12/00782/FUL) was first refused in 2012 on the following conditions: The proposed garage store/greenhouse by reasons of its scale, height design and siting would detract from the character and appearance of the existing dwelling and would therefore result in a detrimental visual impact on the character and appearance of the street scene and the Conservation Area. As such, the proposal is contrary to Policy 13 (h) of the North Northamptonshire Core Spatial Strategy, the National Planning Policy Framework, Residential Extension and Alterations Design Guide Supplementary Planning Guidance, Oct 1998 and Policy 2 of the East Midlands Regional Plan.



Figure 42 – Refused Application (12/00782/FUL)

An application (14/01182/FUL) was then re-submitted in 2014 for a building very similar to the previously submitted with minimal changes between the two in terms of scale and design. As well as suggesting the proposal is acceptable visually the delegated report also included:

“The proposed outbuilding would be significantly larger than the existing outbuilding. However, to the north and south there are no properties and the other half of the semi-detached property is set a sufficient distance away and would be relatively unaffected by the proposal. The main relationship would therefore be with the dwelling to the east. This is set well off the boundary, by approximately 13 metres at the nearest point, with the area between the boundary and the dwelling forming parking and a driveway. The proposed external staircase would be to the rear and set off the boundary. It is not considered this change would have a significant adverse impact on the amenity of the neighbouring properties.”



Permitted 1.5 Storey Garage

Grade II Listed Berkeley House

Figure 43 – Permitted Garage / Home Office in Lower Benefield

The proposed garage / home office is a similar arrangement to the permitted garage (14/01182/FUL) in terms of positioning, scale and appearance. It was deemed that the permitted application did not have any impact upon the listed asset adjacent the property as well as being sufficient distance away from neighbouring dwellings so they would be relatively unaffected. The proposed itself is positioned more than 10m away from any listed asset and more than 7.5m from any other buildings on a generous plot and therefore we believe it does not cause any detrimental harm to the street scene, neighbouring buildings and listed assets.

Associated Landscaping Works –

The large site is spread across various levels, gradually rising from the road (Main Street) towards the back of the site. The proposed works include extended turning facilities, widening access and hard landscaping such as terrace areas, paths and stone walls to manage with the change of levels and provide an easy access throughout the site. It is important to note that large areas of the site will remain unchanged and predominantly covered in grass, existing shrubbery and trees. All landscaping works shall be done in a sensitive manner and will not cause any detrimental impact on the main asset.

4.2 – MATERIALS

Proposed materials associated with the host dwelling (the porches and extension) shall match those of the existing, such as natural course limestone walls, timber windows and Collyweston slate roofs.

The proposed new garage / home office and garden room will also use natural coursed stone walls and timber windows but instead will use a natural blue slate roof. There are many examples of this used in the village and will ensure both buildings appear subservient to the host dwelling.

All the materials that are proposed have been carefully considered to reflect the surrounding built environment and have been used to match the existing dwelling but not to compete with it in a material sense.

4.3 – BOUNDARY TREATMENT

The boundary treatments shall remain the same throughout the site. The existing stone retaining wall fronting Main Street along with the existing mature hedge shall be shortened in terms of length to allow for the existing access to be widened slightly, but the height of the hedge shall remain the same so views from the road towards the dwelling and proposed garage / home office shall still remain marginally screened. The concrete slabbed retaining walls will be removed and rebuilt in coursed stone. A reduction in the leylandii roadside hedge should be considered as a positive enhancement.

4.4 – HIGHWAYS

It is proposed that the existing access is widened slightly to further improve the turning and visibility splays. This is only marginal but ensures that safer access and egress can be obtained at the property.

Leylandii hedge partially removed

Wall partially taken down and concrete slabs removed



Figure 44 – Existing Street Scene

4.5 – PARKING

In accordance with the North Northamptonshire Parking standards 2 parking spaces have been provided for a two-bedroom property with suitable turning, visibility splays, access and off-street parking.

4.6 – DRAINAGE

All new elements shall use soakaways within the site for the purposes of surface water drainage.

4.6 – FLOOD RISK

The site is in an area at very low risk of flooding which negates the need for a flood risk assessment.

6 PLANNING POLICIES

North Northamptonshire Joint Core Strategy

3.16 The conservation of heritage assets in a manner appropriate to their significance is a core planning principle in the NPPF. Great weight should be given to the conservation of designated assets with the greatest weight and protection being given to those of most importance (scheduled monuments and grade 1 and 2* listed buildings, parks and gardens). Any harm to a designated asset requires convincing justification. – **Great consideration has been given to the original historical assets of the property to ensure there is minimum impact caused upon them by the proposed works, as well as replacing existing non-complimentary features.**

3.17 Heritage assets are an irreplaceable resource and effective conservation delivers wider social, cultural, economic and environmental benefits. Conservation is an active process of maintenance and managing change. It requires a flexible and thoughtful approach to get the best out of diverse assets. – **The proposed works will ensure the long life of the property and guarantee its future for decades to come and prevent further deterioration of the historic asset.**

3.18 In the case of buildings, the risks of neglect and decay are best addressed by ensuring that they remain in active use that is consistent with their conservation. Ensuring such heritage assets remain used and valued may require sympathetic changes to be made. Appropriate marketing will be required to demonstrate the redundancy of a heritage asset, and that an appropriate viable use cannot be found. Where loss of historic features is unavoidable and justified, provision should be made for recording and the production of a suitable archive and report. – **The works internally to the existing**

dwelling are considerate and minimal and create a layout that suits the modern way of living with minimal impact caused upon historical features or layout. The extension and addition of porches is not only beneficial to the property visually but also creates a better layout and more usable space that interacts with the generous garden better.

3.20 It is important to create places that are sympathetic to the local character of the surrounding environment, achieved through the use of locally sourced materials where appropriate, which reflect the distinctive characteristics of the settlements in North Northamptonshire, and the creation of streetscapes that are visually sympathetic to the historic environment. It is expected that development will be of the highest standard of design in order to maintain and enhance the quality of the area or building, and be sensitive to its character and appearance. In considering applications for new development, the Councils will seek to ensure that the form, scale, design and materials of new buildings are complementary to the historic environment. Applications will need to be accompanied by a description of the significance of any heritage assets affected by the proposal and clear justification where any harm or loss of heritage asset is involved. – **All the proposals will be in materials appropriate to the local area and reflect the distinct characteristics of the village. The proposals to the host dwelling will be predominantly screened from view from the street scene but it is believed that these and the proposed new building have a positive impact on the streetscape. The garage / home office has been designed with a lean-to frontage to appear less dominant within the street scene as well as being set back further than the adjacent building. The natural incline of Main Street to the east reiterates the subservience of the garage building to both the adjacent properties, in particular Denbigh House which sits more than 3000 above the ridge of the garage.**

Policy 2 – Historic Environment

The distinctive North Northamptonshire historic environment will be protected, preserved and, where appropriate, enhanced. Where a development would impact upon a heritage asset and/or its setting. – **The proposals as a whole enhance the local visual amenity and improves the street scene. The existing parking area for the property is an unsightly area along the street with prominent large masses of concrete retaining walls which currently detract from the streetscape.**

a) Proposals should conserve and, where possible, enhance the heritage significance and setting of an asset or group of heritage assets in a manner commensurate to its significance. – **All of the proposals have been considered against the importance of the heritage asset and although they will be built in matching materials to the host dwelling, have still been designed to appear subservient and distinguishable from old to new.**

b) Proposals should complement their surrounding historic environment through the form, scale, design and materials; c) Proposals should protect and, where possible, enhance key views and vistas of heritage assets. – **As previously explained and demonstrated it is believed that the proposals will enhance and improve the streetscape.**

d) Proposals should demonstrate an appreciation and understanding of the impact of development on heritage assets and their setting in order to minimise harm to these assets and their setting. Where loss of historic features or archaeological remains is unavoidable and justified, provision should be made for recording and the production of a suitable archive and report; e) Where appropriate, flexible solutions to the re-use of buildings and conservation of other types of heritage assets at risk will be encouraged, especially, where this will result in their removal from the 'at risk' register.

7 SUMMARY

The existing site and surrounding areas have been carefully assessed to create a design which not only meets the client's brief and requirements but will achieve this in such a way as to maintain the architectural merit of the listed property within the village of Bulwick.

It is considered that the proposed works outlined would cause no overall harm to the significance of the Grade II listed building or impact adversely the setting. Taking these matters into account and having regard to the duties under s16 and s66 (1) of the Planning (Listed building and Conservation Areas) Act 1990, it is concluded that the listed building and its setting would be improved, and that consequently listed consent can be granted.

The proposals accord with National and Local Planning Policies and promote a carefully designed scheme that represents little impact on the surrounding buildings and better improves the street scene. Examples of recent similar developments within close proximity to the site have been identified and therefore it is considered that the proposals can be approved.

Once implemented, these alterations and additions will result in a significant improvement to house and garden as a desirable, family home – albeit modest in accommodation.