

Development Management Control – North
Shropshire Council
Shirehall
Abbey Foregate
Shrewsbury
Shropshire
SY2 6ND

25th August 2021

Dear Sirs

DISCHARGE OF CONDITION APPLICATION – REF 20/02455/LBC ERECTION OF GARAGING AND ANCILLARY DOMESTIC STORAGE

Further to the permission gained on 11th August 2020 we write to provide further details of the proposed development.

3. All gutters, downpipes, soil and vent pipes and other external plumbing shall be of cast iron or cast aluminium.

It is acknowledged that this condition cannot be discharged but to confirm It is proposed to use Marley Alutec rainwater goods in cast aluminium.

4. Prior to the above ground works commencing samples and/or details of the roofing materials and the materials to be used in the construction of the external walls shall be submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in complete accordance with the approved details.

The materials to be used are reclaimed materials from the former piggeries.

The roof will use the reclaimed slate with any missing/broken slates replaced with other reclaimed material. Roof slates from the piggeries shown below;



The external walls will use the reclaimed brick from the piggeries with any missing/broken brick replaced with other reclaimed material. Image of the bricks shown below;



5. Details of exterior soil and vent pipes, waste pipes, rainwater goods, boiler flues and ventilation terminals, meter boxes, exterior cabling and electrical fittings shall be submitted to and approved in writing by the Local Planning Authority before the commencement of works. The development shall be carried out in accordance with the approved details.

There is no accommodation proposed in the garage so no boiler flues or soil vent pipes are required. It is also considered that all electrical meter boxes etc. can be housed inside. Annotated plans are submitted to confirm location of gutters as detailed by condition 3.

Please refer to plan *0933 Ramsay Annotated Elevations*

6. Before the relevant parts of the work are commenced, details of roofing materials, including ridge materials and detailing, together with the method of ventilating the roof voids and the method of fixing these items, shall be submitted and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the agreed details.

The roof materials from the former piggeries will be used as detailed by Condition 4.

Please refer to plan *2791 - 103 (garage roof details)* for details of ventilating the roof voids.

7. Details of the roof construction including details of eaves, undercloaks ridges, valleys and verges shall be submitted to and approved in writing by the Local Planning Authority before the development commences. The development shall be carried out in complete accordance with the approved details.

Please refer to plan *2791 - 103 (garage roof details)*

8. Details of the materials and form of the heads and sills to new openings in the external wall(s) of the building(s) shall be submitted to and approved in writing by the Local Planning Authority before any works commence. The development shall be carried out in accordance with the approved details.

Brick headers will be used for the windows utilising the bricks from the former piggeries at site.

Black painted softwood, stop chamfer on their leading edge will be used as a lintel above the garage.

9. No pointing or re-pointing of existing or proposed masonry shall commence until the Local Planning Authority has approved the following items in writing: a drawing showing the proposed area(s) of repointing

- *the mortar mix*
- *the method of removing existing mortar, please note that old mortar shall not be removed*
- *using any mechanical tool or angle grinder.*
- *an inconspicuous pointing sample provided on site following approval of the above items*

The mortar to be used is proposed to be a 5 in 1 lime mortar;

- 5 part sand
- 1 part hydraulic lime
- 1 part cement

The mortar panel is shown under condition 10 of this application.

Removal of mortar to be done in line with Historic England Guidance;

- Shallow hard cement to mortar can be removed using tungsten-carbide tipped chisel
- A hand held saw blade would be suitable for removing finely jointed work along with a hammer and chisel
- Mortar is to be removed from the top and bottom to leave a square cut joint
- It must be ensured there is no dry mortar left and this can be raked out using a hammer and chisel. The dust is removed using, for example, a vacuum.
- Masonry must be sprayed before the new mortar is placed

10. Prior to the commencement of work, details of the brick bond and type, shall be submitted to and agreed in writing by the Local Planning Authority. Following this approval, a freestanding sample panel of brickwork of approximately 1m square shall be provided on site and the mortar mix, colour, texture and joint finish shall be inspected and approved in writing by the Local Planning Authority before the relevant works commence.

A stretcher bond is proposed for the building utilising bricks used from the former piggeries as per condition 4. The mortar mix is as per condition 9.

The sample panel completed is shown below;



11. The external brickwork shall be repaired by cutting in or using replacement bricks to match the existing. Bedding and repointing (should be in a lime mortar to

include the mix and joint finish to a specification to be approved in writing by the Local Planning Authority.

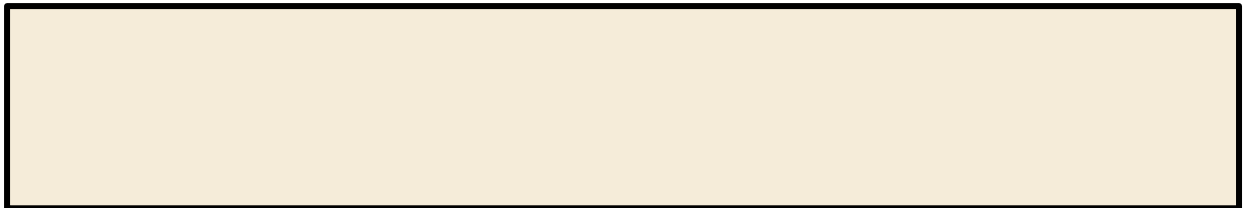
To confirm part of the former buildings have already been removed under 17/02632/LBC and bricks from that demolition will be used in the rebuild (images detailed under Condition 4) alongside the lime mortar detailed in Condition 9.

12. Prior to the commencement of the relevant work details of all external windows and doors and any other external joinery shall be submitted to and approved in writing by the Local Planning Authority. These shall include full size details, 1:20 sections and 1:20 elevations of each joinery item which shall then be indexed on elevations on the approved drawings. All doors and windows shall be carried out in complete accordance with the agreed details

Please refer to plan 2791 - 101 (garage window details) and 2791 - 102 (garage door details)

13. Before the relevant part of works commence details of the proposed decorative finishes and colour scheme shall be submitted to and approved in writing by the Local Planning Authority before commencement of relevant works. The development shall be carried out in accordance with the approved details.

The painted windows and doors are proposed to be coloured to match the windows on the existing house. The colour is Farrow & Ball No. 2002 White Tie.



We trust the information and plans provided is sufficient for you to allow the conditions to be discharged, however, if we can provide any further information.

Yours faithfully,

Holly Walker MRICS
Chartered Surveyor

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