



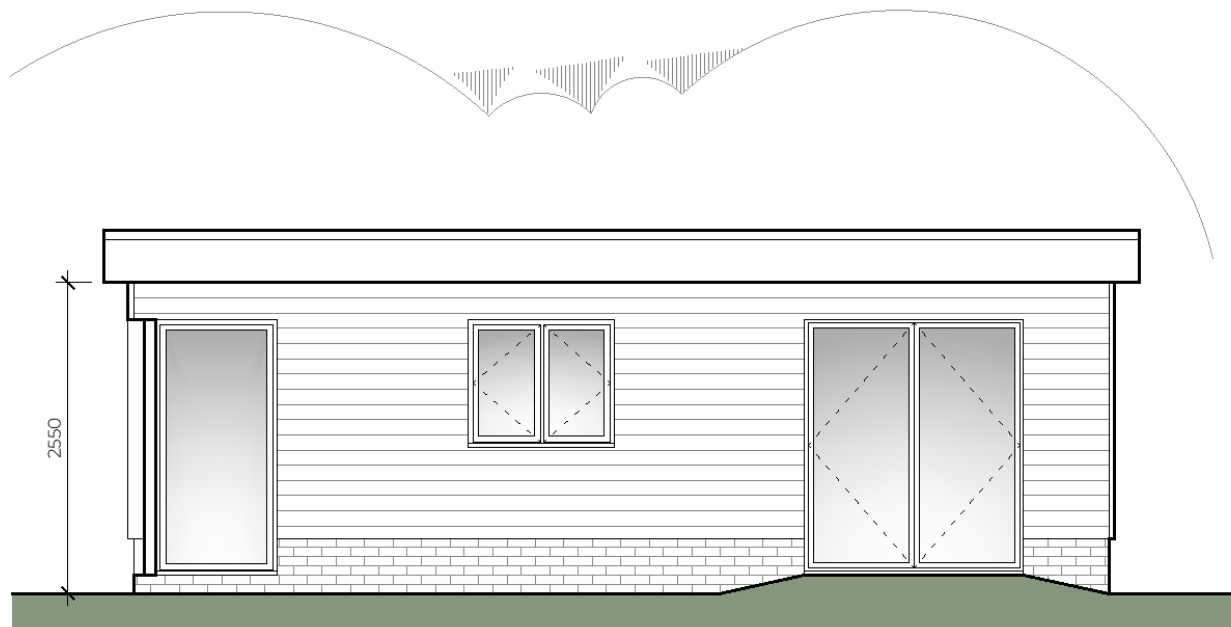
Architectural Services

August 2021

Ref: 1078-DAS

PROPOSED DOG GROOMING SALON AND ASSOCIATED WORKS
HALL FARM, CHURCH ROAD, BEDFIELD

DESIGN AND ACCESS STATEMENT



North Elevation

1. Introduction

1.1 This Design and Access Statement accompanies a Full Planning Application for a proposed dog grooming salon and associated works.

2. Appraisal

2.1 Context of the development

2.1.1 Site

The site is situated off a public road, Church Road, Bedfield. It is an unused area of grass forming part of the farmyard associated with Hall Farm. To the North of the site is an existing hard standing area with a large agricultural building further North. To the South are agricultural buildings with an existing vehicular access off Church Road to a concrete hardstanding area. To the East is a rubble track leading from the hardstanding area to the North down to the rear of the agricultural buildings to the South. To the West of the site is a public road, Church Road, which leads to St Nicholas's Church and Bedfield Hall. Beyond Church Road are further agricultural buildings

3. Design principles and concepts

The following information sets out the concept behind the proposed scheme and design principles that have been applied to the following aspects of the development: -

3.1 **Concept** – The proposal is to provide a detached building for the applicant's new dog grooming business - Handsome Hounds (Suffolk). The proposed building is sited to appear as part of the cluster of existing agricultural buildings rather than a standalone building.

3.2 **Design principles** – Materials and finishes are designed to complement and match in with the surrounding agricultural buildings.

The site is well screened from Bedfield Hall, a Grade II* Listed Building by an existing wooded area and the existing agricultural buildings, therefore the proposed building will not be visible and therefore have no impact on Bedfield Hall.

3. The Proposal

3.1 **Amount** – 1no detached single storey building.

3.2 **Layout** – Glazed double entrance doors leading to reception area with internal doors to the salon and a storage area.

3.3 **Scale** – Height to underside of eaves 2.55m; Footprint 6m deep and 8m long

3.4 **Landscaping** –Appropriate domestic-scale landscaping will be provided around the proposed building and maintained by the owner.

3.5 **Appearance** – Red brick plinth with horizontal fibre cement board over in a grey slate colour, windows, doors and rainwater goods are to be anthracite grey. All under a flat roof finished in grey fibreglass

4. Access

4.1 An existing vehicular access is to be retained off Church Road

4.2 The new footpath and access to the building will be constructed to Part M of the Building Regulations.

5. Ecology

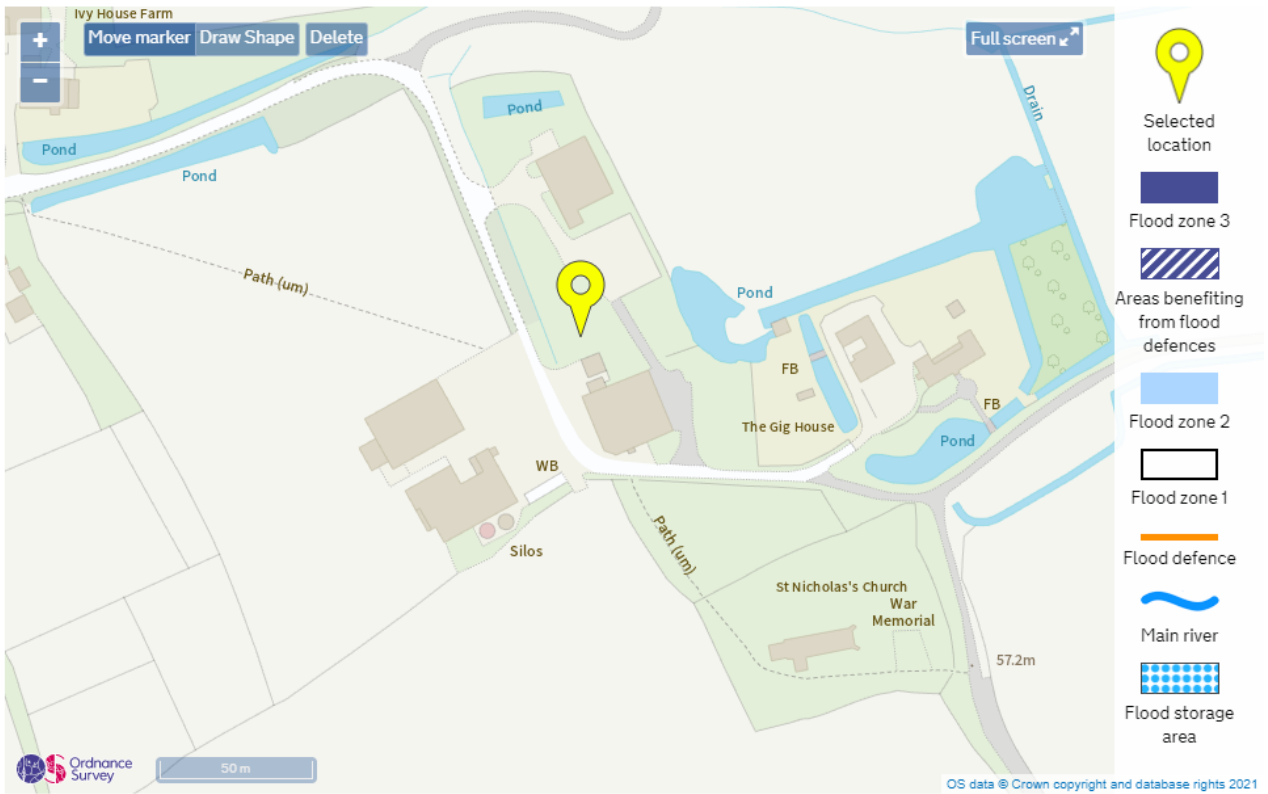
5.1 The site is an area of maintained grass land surrounded by agricultural buildings, farm tracks, hard standing areas and a public road. There is a pond situated some 25m to the West, but this is separated from the site by a separate area of maintained grass and also a rubble finished farm track.

6. Car Parking

6.1 Existing hard standing area will be utilised to provide 3no. car parking spaces for clients/customers to the salon

7. Flood Risk

7.1 The site lies within Flood Zone 1, an area with a low probability of flooding. Please see Environment Agencies Flood Map for Planning below



8. Photographs



Existing hard standing area off Church Road to be used as car parking area.



Existing Hard standing area and agricultural building to the North of the site.
White posts indicate approx. location of proposed new building.



Location of proposed building with existing agricultural buildings.
Tree screen beyond to Bedfield Hall and St Nicholas's Church.